

SYMBOLS: DETAIL NO., SHEET NO., ELEV. NO., INTERIOR ELEVATION, SHEET NO., BUILDING SECTION, WALL SECTION, TITLE SCALE, EXTERIOR ELEVATION, DETAIL REFERENCE, LOBBY, ROOM NAME, ROOM FINISH NO., STORE FRONT & WINDOW TYPES, FURNISHINGS LEGEND, DOOR TYPE, DATUM ELEVATION, PARTITION TYPE, CENTER REFERENCE LINE, NOMINAL CEILING HGT.

DEFERRED SUBMITTAL REQUIREMENTS: THE CONTRACTOR SHALL NOT PROCEED WITH ANY OF THE WORK STATED BELOW PRIOR TO THE APPROVAL OF SUCH ITEMS BY THE LOCAL GOVERNING JURISDICTION. THE FOLLOWING ARE "DEFERRED SUBMITTAL" ITEMS WHICH SHALL BE FIRST SUBMITTED TO THE PROJECT ARCHITECT AND/OR ENGINEER FOR REVIEW & COORDINATION.

SPRINKLER SYSTEM NOTES: MAIN BUILDING & PORTE COCHERE ARE TO BE EQUIPPED THROUGHOUT WITH A SUPERVED AUTOMATIC SPRINKLER SYSTEM DESIGNED & INSTALLED IN COMPLIANCE WITH ALL REQUIREMENTS OF NFPA 13 AND COMPLY WITH APPLICABLE SECTIONS OF BUILDING CODE AND OTHER CODES HAVING JURISDICTION OVER CONSTRUCTION AND OCCUPANCY. PLANS AND SPECIFICATIONS OF SPRINKLER SYSTEM SHALL BE SUBMITTED TO LOCAL JURISDICTIONS FOR APPROVAL BEFORE CONSTRUCTION. THE ATTIC SPACES OF THE BUILDINGS ARE TO BE FULLY SPRINKLERED.

FIRE PREVENTION REQUIREMENTS: 1. THE STRUCTURE SHALL BE PROTECTED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM THE DESIGNED & INSTALLED PER N.F.P.A. STANDARDS #13 & 24.

ARCHITECT: LEE GAGE & ASSOCIATES INC. 7636 N. INGRAM SUITE #107 FRESNO, CA. 93711 TEL.: (559) 439-2222 FAX: (559) 439-2288

STRUCTURAL ENGINEER: RICHARD M. BITTKOFER 323 W. CROMWELL SUITE #111 FRESNO, CA. 93711 TEL.: (559) 438-4432 FAX: (559) 438-1973

SOILS ENGINEER: CONSTRUCTION TESTING & ENGINEERING, INC 3628 MADISON AVENUE SACRAMENTO, CA. 95660 TEL.: (800) 576-4955 FAX: (916) 331-6037

SPECIAL INSPECTIONS: 1. OWNER TO ENGAGE THE SERVICES OF A SPECIAL INSPECTOR OR SPECIAL INSPECTION COMPANY TO PROVIDE SPECIAL INSPECTION AS SPECIFIED BY THE 1997 UBC, SECTION 1701.

PROJECT INFORMATION: GENERAL, BUILDING CRITERIA, CODE PROVISIONS (1997 UBC), REFERENCES, MEANS OF EGRESS, BUILDING DESCRIPTION, BUILDING AREA, OCCUPANT LOAD BY USE, SITE RELATED DATA, BUILDING INSULATION, SOUND RATINGS, GENERAL NOTES.

APPLICABLE CODES: GOVERNING CODE: UBC 1997 EDITION, UMC 1997 EDITION, UPC 1997 EDITION, UFC 1997 EDITION, NEC 1996 EDITION, LATEST UBC EDITION AMENDMENTS & APPLIED CODES, TITLE 24 ENERGY CODE AND ANY MUNICIPAL CODES & ORDINANCES APPLICABLE BY THE LOCAL GOVERNING AUTHORITY.

MEANS OF EGRESS: 1. NUMBER OF EXITS, 2. TRAVEL DISTANCE, 3. DEAD END CORRIDOR, 4. CORRIDOR WIDTH, 5. SIZE OF EGRESS DOORS, 6. STAIR WIDTH.

BUILDING DESCRIPTION: HOTEL BUILDING, THREE STORY WOOD FRAME ONE HOUR PROTECTED WITH AUTOMATIC SPRINKLER SYSTEM. USED FOR GUESTROOMS, REGISTRATION OFFICE, LAUNDRY AND ELECTRICAL/MECHANICAL ROOMS. STAIR ENCLOSURES ARE TWO HOUR RATED. HANDICAP ACCESSIBLE ROOMS ARE LOCATED ON THE FIRST SECOND & THIRD FLOORS. THE ROOF IS CLASS "A". FIRE PROTECTION SYSTEMS (DETECTORS, ALARMS, SPRINKLERS) ARE DESIGNED, PLANS AND SPECIFICATIONS OF SPRINKLER SYSTEM SHALL BE SUBMITTED FOR LOCAL JURISDICTION'S APPROVAL.

BUILDING AREA (GROSS): FIRST FLOOR = 9,368 S.F., SECOND FLOOR = 9,877 S.F., THIRD FLOOR = 9,877 S.F., TOTAL = 29,122 S.F.

OCCUPANT LOAD BY USE: HOTEL & ACCESSORY USE (R1) - GUEST ROOMS, LOBBY, BREAKFAST, CORRIDOR, OFFICE, ETC., LAUNDRY ROOM (B). TOTAL OCCUPANTS = 234 PEOPLE.

SITE RELATED DATA: SEE SHEET S01.

BUILDING INSULATION: EXTERIOR WALL ASSEMBLY, ROOF ASSEMBLY, FLOOR ASSEMBLY.

SOUND RATINGS: BETWEEN UNITS - FLOOR, BETWEEN UNITS - WALL.

GENERAL NOTES: 1. ALL WORK AND CONSTRUCTION SHALL COMPLY WITH REQUIREMENTS OF CALIFORNIA ENERGY REGULATIONS. 2. ALL CONSTRUCTION AND DEMOLITION FOR THE PROTECTION OF PEDESTRIANS SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 44 OF 1997 U.B.C.

PROPOSED 50 UNIT HOTEL FOR:



1628 WEBSTER STREET
ALAMEDA, CALIFORNIA

DRAWING		INDEX	
SHEET NUMBER	SHEET TITLE	SHEET NUMBER	SHEET TITLE
COVER SHEET		ARCHITECTURAL (CONTINUED)	
STA1	STATE OF CALIFORNIA ENERGY COMPLIANCE	A11	DETAILS
STA2	TITLE 24 CERTIFICATE OF COMPLIANCE FORMS (WHOLE BUILDING ENVELOPE & LIGHTING)	A11B	DETAILS
STA3	TITLE 24 CERTIFICATE OF COMPLIANCE FORMS (MECH FORMS - PUBLIC AREAS)	A12	ROOF PLAN
STA4	TITLE 24 CERTIFICATE OF COMPLIANCE FORMS (MECH FORMS - PUBLIC AREAS & CORRIDORS)	A12B	ROOF DETAILS
STA5	TITLE 24 CERTIFICATE OF COMPLIANCE FORMS (GUEST ROOM MECH & LTG FORMS)	A13	MAIN FLOOR REFLECTED CEILING PLAN
		A13B	2nd FLOOR REFLECTED CEILING PLANS
		A13C	3rd FLOOR REFLECTED CEILING PLANS
		A14	INTERIOR SOFFIT SECTIONS
		A15	GUESTROOM INTERIOR ELEVATIONS
		A15B	GUESTROOM INTERIOR ELEVATIONS
		A16	GUEST BATHROOM INTERIOR ELEVATION
		A17	DETAILS
		A18	(NOT USED)
		A19	PUBLIC AREA INTERIOR ELEVATIONS
		A19B	REGISTRATION COUNTER DETAILS
		FS1	FIRE RATED ASSEMBLY KEY PLAN / MAIN FLOOR
		FS2	FIRE RATED ASSEMBLY KEY PLAN / 2nd & 3rd FLOORS
		FS3	FIRE RATED ASSEMBLY DETAILS
		ACCESSIBILITY STANDARDS	
		HS1	HANDICAP STANDARDS
		HS2	HANDICAP STANDARDS
		HS3	HANDICAP STANDARDS
		STRUCTURAL	
		S1	STANDARD NOTES & DETAILS
		S1B	STANDARD STRUCTURAL DETAILS
		S2	FOUNDATION - FOOTING PLAN
		S2A	SHEAR WALL KEY PLANS & SCHEDULE - MAIN FLOOR
		S2B	SHEAR WALL KEY PLANS & SCHEDULE - 2nd FLOOR
		S2C	SHEAR WALL KEY PLANS & SCHEDULE - 3rd FLOOR
		S3	2nd FLOOR FRAMING PLAN
		S4	3rd FLOOR FRAMING PLAN
		S5	ROOF FRAMING PLAN
		S6	STRUCTURAL DETAILS
		S7	STRUCTURAL DETAILS
		S8	STRUCTURAL DETAILS
		QT1	QUAKE-TIE DETAILS
		QT2	QUAKE-TIE SCHEDULES & NOTES
		PLUMBING	
		P1	MAIN FLOOR PLUMBING PLAN - WATER & GAS PIPING
		P2	2nd FLOOR PLUMBING FLOOR PLAN - WATER PIPING
		P3	3rd FLOOR PLUMBING FLOOR PLAN - WATER PIPING
		P4	MAIN FLOOR PLUMBING PLAN - SANITARY SEWER PIPING
		P5	2nd FLOOR PLUMBING FLOOR PLAN - SANITARY SEWER PIPING
		P6	3rd FLOOR PLUMBING FLOOR PLAN - SANITARY SEWER PIPING
		P7	PLUMBING SCHEDULES & DETAILS
		MECHANICAL	
		M1	MAIN FLOOR MECHANICAL FLOOR PLAN
		M2	2nd FLOOR MECHANICAL FLOOR PLAN
		M2B	3rd FLOOR MECHANICAL FLOOR PLAN
		M3	ENLARGED MECHANICAL FLOOR PLAN - LOBBY & MEETING ROOM
		M3B	ENLARGED MECHANICAL FLOOR PLAN - POOL & LAUNDRY
		M4	MECHANICAL SCHEDULES & DETAILS
		M5	MECHANICAL DETAILS & NOTES
		ELECTRICAL	
		E0	ELECTRICAL SITE PLAN
		E1	MAIN FLOOR ELECTRICAL FLOOR PLAN
		E2	2nd FLOOR ELECTRICAL FLOOR PLAN
		E2B	3rd FLOOR ELECTRICAL FLOOR PLAN
		E3	ENLARGED ELECTRICAL POWER FLOOR PLAN - LOBBY/PUBLIC AREA
		E3B	ENLARGED ELECTRICAL LIGHTING FLOOR PLAN - LAUNDRY/POOL AREA
		E4	ENLARGED ELECTRICAL FLOOR PLAN - TYPICAL GUEST ROOMS
		E4B	ENLARGED ELECTRICAL FLOOR PLAN - TYPICAL GUEST ROOMS
		E5	ROOF ELECTRICAL PLAN
		E6	ELECTRICAL NOTES
		E7	ELECTRICAL SCHEDULES
		E8	PANEL SCHEDULES
		E9	PANEL SCHEDULES
		E10	ELECTRICAL SINGLE LINE DIAGRAMS & DETAILS
		E11	ELECTRICAL DETAILS AND FIRE ALARM SYSTEM SCHEMATIC
		E12	ENLARGED ELECTRICAL FLOOR PLAN -- REGISTRATION DESK/PBX ROOM
		E13	PBX & WORK AREA ELEVATIONS
		EXTERIOR ELEVATIONS	
		ENLARGED FLOOR PLAN - LOBBY & MEETING ROOM	
		ENLARGED FLOOR PLANS - TYPICAL GUEST ROOMS	
		ACCESSIBLE GUESTROOM/HOUSEKEEPING LAYOUTS	
		ENLARGED SANITARY	
		ENLARGED ELEVATOR/LIFTH CHUTE LAYOUTS & SECTIONS	
		SECTION	
		SECTION	
		SECTION	
		SECTION	
		STAIRS/MECH. DETAILS & SECTION	
		FINISH SCHEDULE	
		DOOR & WINDOW SCHEDULE	
		PARTITION S & ASSEMBLIES	

ARCHITECT'S STATEMENT: UPON REVIEWING THE REQUIREMENTS OF TITLE 24, CALIFORNIA ENERGY REGULATIONS, I CERTIFY THAT THESE PLANS CONFORM SUBSTANTIALLY.

CONTRACTOR'S COMPLIANCE: AT THE TIME OF REQUEST FOR FINAL INSPECTION, THE GENERAL CONTRACTOR SHALL DELIVER TO THE ENFORCING AGENCY, A CERTIFICATE OF CONSTRUCTION COMPLIANCE WITH TITLE 24, CALIFORNIA ENERGY REGULATIONS, BASED ON OBSERVATION OF CONSTRUCTION SIGNED BY THE GENERAL CONTRACTOR, AND SHALL INDICATE THAT THE WORK APPEARS TO HAVE BEEN PERFORMED, AND THE MATERIALS USED AND INSTALLED APPEAR IN EVERY MATERIAL RESPECT IN COMPLIANCE WITH THE APPROVED PLANS AND SPEC'S. FOR WHICH THE BUILDING PERMIT WAS ISSUED.

ENGINEER'S STATEMENT: I HAVE DESIGNED THIS STRUCTURE TO SUPPORT A UNIFORM FIRE SPRINKLER LOAD OF 15 LBS./SQ.FT. ADDITIONALLY, I HAVE DESIGNED ALL PURLINS, FRAMES, BEAMS, TRUSSES, ETC., TO SUPPORT THE CONCENTRATED LOADS OF ALL WATER-FILLED SPRINKLER LINES.

SIGNED: RICHARD M. BITTKOFER, ENGINEER, DATE: 7/3/02

LICENSE # C-30228 (RICHARD M. BITTKOFER)

TO THE BEST OF THE ARCHITECTS/ENGINEERS KNOWLEDGE, THESE PLANS AND SPECIFICATIONS COMPLY WITH MINIMUM ADA & BUILDING CODES LISTED HEREON.

NOTE: ANY CHANGES TO THESE PLANS SHALL ONLY BE BY WRITTEN PERMISSION FROM THE OWNER.

CONTRACTOR SHALL COMPLY WITH ALL FIRE DEPARTMENT REQUIREMENTS FOR FIRE APPARATUS ACCESS DURING CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL VERIFY ALL & NOTIFY THE OWNER OF SUCH REQUIREMENTS PRIOR TO BIDDING.

REVISIONS INCLUDED WITH THIS SET: 1. REVISIONS PER CITY OF ALAMEDA 7/3/02, 2. REVISIONS PER OWNER REQUEST 7/3/02, 3. REVISIONS PER ARCHITECT CLARIFICATION 7/3/02.

RECEIVED: JUL 11 2002, CITY OF ALAMEDA, PLANNING & BUILDING DEPARTMENT.

LEE GAGE & ASSOCIATES, INC. architecture • engineering • planning

7936 N. INGRAM SUITE 107 FRESNO, CALIFORNIA 93711 PHONE (559) 439-2222

PROPOSED: 1628 WEBSTER STREET, ALAMEDA, CA. 94601

OWNERS: HAWTHORN SUITES LTD., 1628 WEBSTER STREET, ALAMEDA, CA. 94601

REGISTERED ARCHITECT: RICHARD M. BITTKOFER, LICENSE # C-30228

DATE: 7/3/02

SHEET 1 OF 1

LOBBY
CERTIFICATE OF COMPLIANCE

Part 1 of 2 MECH-1

PROJECT NAME HAWTHORN SUITES	DATE MAY 10, 2002
PROJECT ADDRESS 1628 WEBSTER STREET ALAMEDA, CA.	
PRINCIPAL DESIGNER - MECHANICAL LEE GAGE & ASSOCIATES	TELEPHONE (559) 439-2222
DOCUMENTATION AUTHOR JON FRAME	Checked by/Date (559) 439-2222

GENERAL INFORMATION	
DATE OF PLANS 5/7/02	BUILDING CONDITIONED FLOOR AREA 1,700 S.F.
BUILDING TYPE <input checked="" type="checkbox"/> NONRESIDENTIAL <input type="checkbox"/> HIGH RISE RESIDENTIAL <input type="checkbox"/> HOTEL/MOTEL GUEST ROOM	CLIMATE ZONE 3
PHASE OF CONSTRUCTION <input checked="" type="checkbox"/> NEW CONSTRUCTION <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION	
METHOD OF MECHANICAL COMPLIANCE <input checked="" type="checkbox"/> PRESCRIPTIVE <input type="checkbox"/> PERFORMANCE	
PROOF OF ENVELOPE COMPLIANCE <input type="checkbox"/> PREVIOUS ENVELOPE PERMIT <input checked="" type="checkbox"/> ENVELOPE COMPLIANCE ATTACHED	

STATEMENT OF COMPLIANCE	
This Certificate of Compliance lists the building features and performance specifications needed to comply with Title 24, Parts 1 and 6 of the California Code of Regulations. This certificate applies only to building mechanical requirements.	
The documentation preparer hereby certifies that the documentation is accurate & complete.	
DOCUMENTATION AUTHOR JON FRAME	DATE
The Principal Mechanical Designer hereby certifies that the proposed building design represented in this set of construction documents is consistent with the other compliance forms and worksheets, with the specifications, and with any other calculations submitted with this permit application. The proposed building has been designed to meet the mechanical requirements contained in sections 100 through 115, 120 through 124, 140 through 142, 144 and 145.	
Please check one: <input checked="" type="checkbox"/> I hereby affirm that I am eligible under the provisions of Division 3 of the Business & Professions Code to sign this document as the person responsible for its preparation; and that I am licensed in the State of California as a civil engineer or mechanical engineer, or I am a licensed architect. <input type="checkbox"/> I affirm that I am eligible under the provisions to Division 3 of the Business & Professions Code by Section 5537.2 or 6737.3 to sign this document as the person responsible for its preparation; and that I am a licensed contractor performing this work. <input type="checkbox"/> I affirm that I am eligible under Division 3 of the Business and Professions Code to sign this document because it pertains to a structure or type of work described as exempt pursuant to Business and Professions Code Sections 5537, 5538 and 6737.1.	
(These sections of the Business and Professions Code are printed in full in the Nonresidential Manual.)	
PRINCIPAL MECHANICAL DESIGNER - NAME LEE GAGE	SIGNATURE LEE GAGE
LIC. NO. C8718	DATE

MECHANICAL MANDATORY MEASURES	
Indicate location on plans of Note Block for Mandatory Measures CF1	

HAWTHORN ROOM
CERTIFICATE OF COMPLIANCE

Part 1 of 2 MECH-1

PROJECT NAME HAWTHORN SUITES	DATE MAY 10, 2002
PROJECT ADDRESS 1628 WEBSTER STREET ALAMEDA, CA.	
PRINCIPAL DESIGNER - MECHANICAL LEE GAGE & ASSOCIATES	TELEPHONE (559) 439-2222
DOCUMENTATION AUTHOR JON FRAME	Checked by/Date (559) 439-2222

GENERAL INFORMATION	
DATE OF PLANS 5/7/02	BUILDING CONDITIONED FLOOR AREA 1055 S.F.
BUILDING TYPE <input checked="" type="checkbox"/> NONRESIDENTIAL <input type="checkbox"/> HIGH RISE RESIDENTIAL <input type="checkbox"/> HOTEL/MOTEL GUEST ROOM	CLIMATE ZONE 3
PHASE OF CONSTRUCTION <input checked="" type="checkbox"/> NEW CONSTRUCTION <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION	
METHOD OF MECHANICAL COMPLIANCE <input checked="" type="checkbox"/> PRESCRIPTIVE <input type="checkbox"/> PERFORMANCE	
PROOF OF ENVELOPE COMPLIANCE <input type="checkbox"/> PREVIOUS ENVELOPE PERMIT <input checked="" type="checkbox"/> ENVELOPE COMPLIANCE ATTACHED	

STATEMENT OF COMPLIANCE	
This Certificate of Compliance lists the building features and performance specifications needed to comply with Title 24, Parts 1 and 6 of the California Code of Regulations. This certificate applies only to building mechanical requirements.	
The documentation preparer hereby certifies that the documentation is accurate & complete.	
DOCUMENTATION AUTHOR JON FRAME	DATE
The Principal Mechanical Designer hereby certifies that the proposed building design represented in this set of construction documents is consistent with the other compliance forms and worksheets, with the specifications, and with any other calculations submitted with this permit application. The proposed building has been designed to meet the mechanical requirements contained in sections 100 through 115, 120 through 124, 140 through 142, 144 and 145.	
Please check one: <input checked="" type="checkbox"/> I hereby affirm that I am eligible under the provisions of Division 3 of the Business & Professions Code to sign this document as the person responsible for its preparation; and that I am licensed in the State of California as a civil engineer or mechanical engineer, or I am a licensed architect. <input type="checkbox"/> I affirm that I am eligible under the provisions to Division 3 of the Business & Professions Code by Section 5537.2 or 6737.3 to sign this document as the person responsible for its preparation; and that I am a licensed contractor performing this work. <input type="checkbox"/> I affirm that I am eligible under Division 3 of the Business and Professions Code to sign this document because it pertains to a structure or type of work described as exempt pursuant to Business and Professions Code Sections 5537, 5538 and 6737.1.	
(These sections of the Business and Professions Code are printed in full in the Nonresidential Manual.)	
PRINCIPAL MECHANICAL DESIGNER - NAME LEE GAGE	SIGNATURE LEE GAGE
LIC. NO. C8718	DATE

MECHANICAL MANDATORY MEASURES	
Indicate location on plans of Note Block for Mandatory Measures CF1	

FITNESS ROOM
CERTIFICATE OF COMPLIANCE

Part 1 of 2 MECH-1

PROJECT NAME HAWTHORN SUITES	DATE MAY 10, 2002
PROJECT ADDRESS 1628 WEBSTER STREET ALAMEDA, CA.	
PRINCIPAL DESIGNER - MECHANICAL LEE GAGE & ASSOCIATES	TELEPHONE (559) 439-2222
DOCUMENTATION AUTHOR JON FRAME	Checked by/Date (559) 439-2222

GENERAL INFORMATION	
DATE OF PLANS 5/7/02	BUILDING CONDITIONED FLOOR AREA 2,540 S.F.
BUILDING TYPE <input checked="" type="checkbox"/> NONRESIDENTIAL <input type="checkbox"/> HIGH RISE RESIDENTIAL <input type="checkbox"/> HOTEL/MOTEL GUEST ROOM	CLIMATE ZONE 3
PHASE OF CONSTRUCTION <input checked="" type="checkbox"/> NEW CONSTRUCTION <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION	
METHOD OF MECHANICAL COMPLIANCE <input checked="" type="checkbox"/> PRESCRIPTIVE <input type="checkbox"/> PERFORMANCE	
PROOF OF ENVELOPE COMPLIANCE <input type="checkbox"/> PREVIOUS ENVELOPE PERMIT <input checked="" type="checkbox"/> ENVELOPE COMPLIANCE ATTACHED	

STATEMENT OF COMPLIANCE	
This Certificate of Compliance lists the building features and performance specifications needed to comply with Title 24, Parts 1 and 6 of the California Code of Regulations. This certificate applies only to building mechanical requirements.	
The documentation preparer hereby certifies that the documentation is accurate & complete.	
DOCUMENTATION AUTHOR JON FRAME	DATE
The Principal Mechanical Designer hereby certifies that the proposed building design represented in this set of construction documents is consistent with the other compliance forms and worksheets, with the specifications, and with any other calculations submitted with this permit application. The proposed building has been designed to meet the mechanical requirements contained in sections 100 through 115, 120 through 124, 140 through 142, 144 and 145.	
Please check one: <input checked="" type="checkbox"/> I hereby affirm that I am eligible under the provisions of Division 3 of the Business & Professions Code to sign this document as the person responsible for its preparation; and that I am licensed in the State of California as a civil engineer or mechanical engineer, or I am a licensed architect. <input type="checkbox"/> I affirm that I am eligible under the provisions to Division 3 of the Business & Professions Code by Section 5537.2 or 6737.3 to sign this document as the person responsible for its preparation; and that I am a licensed contractor performing this work. <input type="checkbox"/> I affirm that I am eligible under Division 3 of the Business and Professions Code to sign this document because it pertains to a structure or type of work described as exempt pursuant to Business and Professions Code Sections 5537, 5538 and 6737.1.	
(These sections of the Business and Professions Code are printed in full in the Nonresidential Manual.)	
PRINCIPAL MECHANICAL DESIGNER - NAME LEE GAGE	SIGNATURE LEE GAGE
LIC. NO. C8718	DATE

MECHANICAL MANDATORY MEASURES	
Indicate location on plans of Note Block for Mandatory Measures CF1	

Part 2 of 2 MECH-1

PROJECT NAME HAMPTON INN & SUITES, LATHROP	DATE 2/7/02
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SYSTEM FEATURES			
MECHANICAL SYSTEM			
SYSTEM NAME	HP-5	HP-3	NOTE TO FIELD
TIME CONTROL	S	S	
SETBACK CONTROL	B	B	
ISOLATION ZONES	-	-	
HEAT PUMP THERMOSTATS?	Y	Y	
ELECTRIC HEAT?	N	N	
FAN CONTROL	-	-	
VAV MINIMUM POSITION CONTROL?	-	-	
SIMULTANEOUS HEAT/COOL?	N	N	
HEAT AND COOL SUPPLY RESET?	Y	Y	
HEAT REJECTION CONTROL?	-	-	
VENTILATION	B	B	
OUTDOOR DAMPER CONTROL?	A	A	
ECONOMIZER TYPE	-	-	
DESIGN O.A. CFM (MECH-3, COLUMN H)	90	135	
HEATING EQUIP. TYPE	HEAT PUMP	HEAT PUMP	
HIGH EFFICIENCY? IF YES ENTER EFF. #	N	N	
MAKE AND MODEL NUMBER	BRYANT 681C030A	BRYANT 681C036	
COOLING EQUIP. TYPE	HEAT PUMP	PT HEAT PUMP	
HIGH EFFICIENCY? IF YES ENTER EFF. #	N	N	
MAKE AND MODEL NUMBER	BRYANT 681C030A	BRYANT 681C036	
PIPE INSULATION REQUIRED?	-	-	
PIPE/DUCT INSULATION PROTECTED?	-	-	
PIPE TYPE (SUPPLY, RETURN, ETC.)	-	-	
HEATING DUCT LOCATION	R-VALUE FLOOR/CEIL 4.2	R-VALUE FLOOR/CEIL 4.2	
COOLING DUCT LOCATION	R-VALUE FLOOR/CEIL 4.2	R-VALUE FLOOR/CEIL 4.2	
VERIFY SEALED DUCTS IN CEILING/ROOF SPACE	% FAN FLOW		

CODE TABLES: Enter code from table below into columns above.				
HEAT PUMP THERMOSTAT?	TIME CONTROL	SETBACK CONTROL	ISOLATION ZONES	FAN CONTROL
ELECTRIC HEAT?	S: Prog. Switch O: Occupancy Sensor M: Manual Timer	H: Heating C: Cooling B: Both	Enter number of Isolation Zones	I: Inlet Valve P: Variable Pitch V: VFD O: Other C: Curve
VAV MINIMUM POSITION CONTROL?	Y: Yes N: No			
SIMULTANEOUS HEAT/COOL?				
HEAT AND COOL SUPPLY RESET?				
HIGH EFFICIENCY?				
PIPE INSULATION REQUIRED?				
PIPE/DUCT INSULATION PROTECTED?				
SEALED DUCTS IN CEILING/ROOF SPACE?				

Part 2 of 2 MECH-1

PROJECT NAME HAMPTON INN & SUITES, LATHROP	DATE 2/7/02
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SYSTEM FEATURES			
MECHANICAL SYSTEM			
SYSTEM NAME	HP-5		NOTE TO FIELD
TIME CONTROL	S		
SETBACK CONTROL	B		
ISOLATION ZONES	-		
HEAT PUMP THERMOSTATS?	Y		
ELECTRIC HEAT?	N		
FAN CONTROL	-		
VAV MINIMUM POSITION CONTROL?	-		
SIMULTANEOUS HEAT/COOL?	N		
HEAT AND COOL SUPPLY RESET?	Y		
HEAT REJECTION CONTROL?	-		
VENTILATION	B		
OUTDOOR DAMPER CONTROL?	A		
ECONOMIZER TYPE	N/A		
DESIGN O.A. CFM (MECH-3, COLUMN H)	375		
HEATING EQUIP. TYPE	HEAT PUMP		
HIGH EFFICIENCY? IF YES ENTER EFF. #	N		
MAKE AND MODEL NUMBER	BRYANT 681C030		
COOLING EQUIP. TYPE	HEAT PUMP		
HIGH EFFICIENCY? IF YES ENTER EFF. #	N		
MAKE AND MODEL NUMBER	BRYANT 681C030		
PIPE INSULATION REQUIRED?	Y		
PIPE/DUCT INSULATION PROTECTED?	Y		
PIPE TYPE (SUPPLY, RETURN, ETC.)	-		
HEATING DUCT LOCATION	R-VALUE FLOOR/CEIL 4.2		
COOLING DUCT LOCATION	R-VALUE FLOOR/CEIL 4.2		
VERIFY SEALED DUCTS IN CEILING/ROOF SPACE	% FAN FLOW		

CODE TABLES: Enter code from table below into columns above.				
HEAT PUMP THERMOSTAT?	TIME CONTROL	SETBACK CONTROL	ISOLATION ZONES	FAN CONTROL
ELECTRIC HEAT?	S: Prog. Switch O: Occupancy Sensor M: Manual Timer	H: Heating C: Cooling B: Both	Enter number of Isolation Zones	I: Inlet Valve P: Variable Pitch V: VFD O: Other C: Curve
VAV MINIMUM POSITION CONTROL?	Y: Yes N: No			
SIMULTANEOUS HEAT/COOL?				
HEAT AND COOL SUPPLY RESET?				
HIGH EFFICIENCY?				
PIPE INSULATION REQUIRED?				
PIPE/DUCT INSULATION PROTECTED?				
SEALED DUCTS IN CEILING/ROOF SPACE?				

Part 2 of 2 MECH-1

PROJECT NAME HAMPTON INN & SUITES, LATHROP	DATE 2/7/02
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SYSTEM FEATURES			
MECHANICAL SYSTEM			
SYSTEM NAME	HP-2/FC-2		NOTE TO FIELD
TIME CONTROL	S		
SETBACK CONTROL	B		
ISOLATION ZONES	-		
HEAT PUMP THERMOSTATS?	Y		
ELECTRIC HEAT?	N		
FAN CONTROL	-		
VAV MINIMUM POSITION CONTROL?	-		
SIMULTANEOUS HEAT/COOL?	N		
HEAT AND COOL SUPPLY RESET?	Y		
HEAT REJECTION CONTROL?	-		
VENTILATION	B		
OUTDOOR DAMPER CONTROL?	A		
ECONOMIZER TYPE	N/A		
DESIGN O.A. CFM (MECH-3, COLUMN H)	90		
HEATING EQUIP. TYPE	HEAT PUMP		
HIGH EFFICIENCY? IF YES ENTER EFF. #	N		
MAKE AND MODEL NUMBER	BRYANT 681C018		
COOLING EQUIP. TYPE	HEAT PUMP		
HIGH EFFICIENCY? IF YES ENTER EFF. #	N		
MAKE AND MODEL NUMBER	BRYANT 681C018		
PIPE INSULATION REQUIRED?	Y		
PIPE/DUCT INSULATION PROTECTED?	Y		
PIPE TYPE (SUPPLY, RETURN, ETC.)	-		
HEATING DUCT LOCATION	R-VALUE FLOOR/CEIL 4.2		
COOLING DUCT LOCATION	R-VALUE FLOOR/CEIL 4.2		
VERIFY SEALED DUCTS IN CEILING/ROOF SPACE	% FAN FLOW		

CODE TABLES: Enter code from table below into columns above.				
HEAT PUMP THERMOSTAT?	TIME CONTROL	SETBACK CONTROL	ISOLATION ZONES	FAN CONTROL
ELECTRIC HEAT?	S: Prog. Switch O: Occupancy Sensor M: Manual Timer	H: Heating C: Cooling B: Both	Enter number of Isolation Zones	I: Inlet Valve P: Variable Pitch V: VFD O: Other C: Curve
VAV MINIMUM POSITION CONTROL?	Y: Yes N: No			
SIMULTANEOUS HEAT/COOL?				
HEAT AND COOL SUPPLY RESET?				
HIGH EFFICIENCY?				
PIPE INSULATION REQUIRED?				
PIPE/DUCT INSULATION PROTECTED?				
SEALED DUCTS IN CEILING/ROOF SPACE?				

LEE GAGE & ASSOCIATES, INC.
architecture • engineering • planning
93711 phone (559) 439-2222
7636 n. Ingram suite 107 fremont, california

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HAWTHORN SUITES LTD.

1628 WEBSTER STREET
ALAMEDA, CA.
ALAMEDA HOSPITALITY, LLC
1940 FRANCISCAN WAY, SUITE #110
ALAMEDA, CA 94501 PHONE/FAX(510) 814-9881

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JUL 10 2002
CENTRAL PERMITS OFFICE
ALAMEDA, CA 94501

05/15/02
LEE GAGE & ASSOCIATES, INC.
C8718
1-31-03
STATE OF CALIFORNIA

CF2
SHEET
OF

MEETING ROOM
CERTIFICATE OF COMPLIANCE

Part 1 of 2 MECH-1

PROJECT NAME
HAWTHORN SUITES
PROJECT ADDRESS
1628 WEBSTER STREET ALAMEDA, CA.
PRINCIPAL DESIGNER - MECHANICAL
LEE GAGE & ASSOCIATES
DOCUMENTATION AUTHOR
JON FRAME
TELEPHONE
(559) 439-2222
TELEPHONE
(559) 439-2222
Building Permit #
Checked by/Date
Enforcement Agency Use

GENERAL INFORMATION
DATE OF PLANS
5/7/02
BUILDING CONDITIONED FLOOR AREA
755 S.F.
CLIMATE ZONE
3
BUILDING TYPE
☒ NONRESIDENTIAL ☐ HIGH RISE RESIDENTIAL ☐ HOTEL/MOTEL GUEST ROOM
PHASE OF CONSTRUCTION
☒ NEW CONSTRUCTION ☐ ADDITION ☐ ALTERATION
METHOD OF MECHANICAL COMPLIANCE
☒ PRESCRIPTIVE ☐ PERFORMANCE
PROOF OF ENVELOPE COMPLIANCE
☐ PREVIOUS ENVELOPE PERMIT ☒ ENVELOPE COMPLIANCE ATTACHED

STATEMENT OF COMPLIANCE

This Certificate of Compliance lists the building features and performance specifications needed to comply with Title 24, Parts 1 and 6 of the California Code of Regulations. This certificate applies only to building mechanical requirements.

The documentation preparer hereby certifies that the documentation is accurate & complete.

DOCUMENTATION AUTHOR
JON FRAME
SIGNATURE
DATE

The Principal Mechanical Designer hereby certifies that the proposed building design represented in this set of construction documents is consistent with the other compliance forms and worksheets, with the specifications, and with any other calculations submitted with this permit application. The proposed building has been designed to meet the mechanical requirements contained in sections 100 through 115, 120 through 124, 140 through 142, 144 and 145.

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(These sections of the Business and Professions Code are printed in full in the Nonresidential Manual.)
PRINCIPAL MECHANICAL DESIGNER - NAME
LEE GAGE
SIGNATURE
LIC. NO.
C6718
DATE

MECHANICAL MANDATORY MEASURES

Indicate location on plans of Note Block for Mandatory Measures
CF1

Part 2 of 2 MECH-1

PROJECT NAME
HAMPTON INN & SUITES, LATHROP
DATE
2/7/02

SYSTEM NAME	HP-2	MECHANICAL SYSTEM	NOTE TO FIELD
TIME CONTROL	S		
SETBACK CONTROL	B		
ISOLATION ZONES	-		
HEAT PUMP THERMOSTATS?	Y		
ELECTRIC HEAT?	N		
FAN CONTROL	-		
VAV MINIMUM POSITION CONTROL?	-		
SIMULTANEOUS HEAT/COOL?	N		
HEAT AND COOL SUPPLY RESET?	Y		
HEAT REJECTION CONTROL?	-		
VENTILATION	B		
OUTDOOR DAMPER CONTROL?	A		
ECONOMIZER TYPE	-		
DESIGN O.A. CFM (MECH-3, COLUMN H)	338		
HEATING EQUIP. TYPE	HEAT PUMP		
HIGH EFFICIENCY? IF YES ENTER EFF. #	N		
MAKE AND MODEL NUMBER	BRYANT 681C024		
COOLING EQUIP. TYPE	HEAT PUMP		
HIGH EFFICIENCY? IF YES ENTER EFF. #	N		
MAKE AND MODEL NUMBER	BRYANT 681C024		
PIPE INSULATION REQUIRED?	-		
PIPE/DUCT INSULATION PROTECTED?	-		
PIPE TYPE (SUPPLY, RETURN, ETC.)	-		
HEATING DUCT LOCATION	R-VALUE	FLOOR/CEIL 4.2	
COOLING DUCT LOCATION	R-VALUE	FLOOR/CEIL 4.2	
VERIFY SEALED DUCTS IN CEILING/ROOF SPACE	% FAN FLOW		

CODE TABLES: Enter code from table below into columns above.					
HEAT PUMP THERMOSTAT?	Y: Yes N: No	TIME CONTROL	SETBACK CONTROL	ISOLATION ZONES	FAN CONTROL
ELECTRIC HEAT?		S: Prog. Switch O: Occupancy Sensor M: Manual Timer	H: Heating C: Cooling B: Both	Enter number of Isolation Zones	I: Inlet Valves P: Variable Pitch VFD O: Other C: Curve
VAV MINIMUM POSITION CONTROL?					
SIMULTANEOUS HEAT/COOL?					
HEAT AND COOL SUPPLY RESET?					
HIGH EFFICIENCY?					
PIPE INSULATION REQUIRED?					
PIPE/DUCT INSULATION PROTECTED?					
SEALED DUCTS IN CEILING/ROOF SPACE?					
		VENTILATION	OUTDOOR DAMPER	ECONOMIZER	O.A. CFM
		B: Air Balance C: Outside Air Cert. M: Qu. Air Measure D: Demand Control N: Natural	A: Auto G: Gravity	A: Air W: Water N: Not Required E: Economizer Control See Section 144(k)(3)	Enter Design Outdoor Air CFM. Note: This shall be no less than Column H on MCH-2.

RETAIL SPACE 'A'
CERTIFICATE OF COMPLIANCE

Part 1 of 2 MECH-1

PROJECT NAME
HAWTHORN SUITES-RETAIL SPACE 'A'
PROJECT ADDRESS
1628 WEBSTER STREET ALAMEDA, CA.
PRINCIPAL DESIGNER - MECHANICAL
LEE GAGE & ASSOCIATES
DOCUMENTATION AUTHOR
JON FRAME
TELEPHONE
(559) 439-2222
TELEPHONE
(559) 439-2222
Building Permit #
Checked by/Date
Enforcement Agency Use

GENERAL INFORMATION
DATE OF PLANS
5/7/02
BUILDING CONDITIONED FLOOR AREA
780 S.F.
CLIMATE ZONE
3
BUILDING TYPE
☒ NONRESIDENTIAL ☐ HIGH RISE RESIDENTIAL ☐ HOTEL/MOTEL GUEST ROOM
PHASE OF CONSTRUCTION
☒ NEW CONSTRUCTION ☐ ADDITION ☐ ALTERATION
METHOD OF MECHANICAL COMPLIANCE
☒ PRESCRIPTIVE ☐ PERFORMANCE
PROOF OF ENVELOPE COMPLIANCE
☐ PREVIOUS ENVELOPE PERMIT ☒ ENVELOPE COMPLIANCE ATTACHED

STATEMENT OF COMPLIANCE

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DOCUMENTATION AUTHOR
JON FRAME
SIGNATURE
DATE

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(These sections of the Business and Professions Code are printed in full in the Nonresidential Manual.)
PRINCIPAL MECHANICAL DESIGNER - NAME
LEE GAGE
SIGNATURE
LIC. NO.
C6718
DATE

MECHANICAL MANDATORY MEASURES

Indicate location on plans of Note Block for Mandatory Measures
CF1

Part 2 of 2 MECH-1

PROJECT NAME
HAMPTON INN & SUITES, LATHROP
DATE
2/7/02

SYSTEM NAME	HP-2	MECHANICAL SYSTEM	NOTE TO FIELD
TIME CONTROL	S		
SETBACK CONTROL	B		
ISOLATION ZONES	-		
HEAT PUMP THERMOSTATS?	Y		
ELECTRIC HEAT?	N		
FAN CONTROL	-		
VAV MINIMUM POSITION CONTROL?	-		
SIMULTANEOUS HEAT/COOL?	N		
HEAT AND COOL SUPPLY RESET?	Y		
HEAT REJECTION CONTROL?	-		
VENTILATION	B		
OUTDOOR DAMPER CONTROL?	A		
ECONOMIZER TYPE	-		
DESIGN O.A. CFM (MECH-3, COLUMN H)	225		
HEATING EQUIP. TYPE	HEAT PUMP		
HIGH EFFICIENCY? IF YES ENTER EFF. #	N		
MAKE AND MODEL NUMBER	BRYANT 681C024		
COOLING EQUIP. TYPE	HEAT PUMP		
HIGH EFFICIENCY? IF YES ENTER EFF. #	N		
MAKE AND MODEL NUMBER	BRYANT 681C024		
PIPE INSULATION REQUIRED?	Y		
PIPE/DUCT INSULATION PROTECTED?	Y		
PIPE TYPE (SUPPLY, RETURN, ETC.)	-		
HEATING DUCT LOCATION	R-VALUE	FLOOR/CEIL 4.2	
COOLING DUCT LOCATION	R-VALUE	FLOOR/CEIL 4.2	
VERIFY SEALED DUCTS IN CEILING/ROOF SPACE	% FAN FLOW		

HEAT PUMP THERMOSTAT?	TIME CONTROL	SETBACK CONTROL	ISOLATION ZONES	FAN CONTROL
ELECTRIC HEAT?	S: Prog. Switch O: Occupancy Sensor M: Manual Timer	H: Heating C: Cooling B: Both	Enter number of Isolation Zones	E: Inlet Valves P: Variable Pitch V: VFD O: Other C: Curve
VAV MINIMUM POSITION CONTROL?				
SIMULTANEOUS HEAT/COOL?				
HEAT AND COOL SUPPLY RESET?				
HIGH EFFICIENCY?				
PIPE INSULATION REQUIRED?				
PIPE/DUCT INSULATION PROTECTED?				
SEALED DUCTS IN CEILING/ROOF SPACE?				

RETAIL SPACE 'B'
CERTIFICATE OF COMPLIANCE

Part 1 of 2 MECH-1

PROJECT NAME
HAWTHORN SUITES-RETAIL SPACE 'B'
PROJECT ADDRESS
1628 WEBSTER STREET ALAMEDA, CA.
PRINCIPAL DESIGNER - MECHANICAL
LEE GAGE & ASSOCIATES
DOCUMENTATION AUTHOR
JON FRAME
TELEPHONE
(559) 439-2222
TELEPHONE
(559) 439-2222
Building Permit #
Checked by/Date
Enforcement Agency Use

GENERAL INFORMATION
DATE OF PLANS
5/7/02
BUILDING CONDITIONED FLOOR AREA
395 S.F.
CLIMATE ZONE
3
BUILDING TYPE
☒ NONRESIDENTIAL ☐ HIGH RISE RESIDENTIAL ☐ HOTEL/MOTEL GUEST ROOM
PHASE OF CONSTRUCTION
☒ NEW CONSTRUCTION ☐ ADDITION ☐ ALTERATION
METHOD OF MECHANICAL COMPLIANCE
☒ PRESCRIPTIVE ☐ PERFORMANCE
PROOF OF ENVELOPE COMPLIANCE
☐ PREVIOUS ENVELOPE PERMIT ☒ ENVELOPE COMPLIANCE ATTACHED

STATEMENT OF COMPLIANCE

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DOCUMENTATION AUTHOR
JON FRAME
SIGNATURE
DATE

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(These sections of the Business and Professions Code are printed in full in the Nonresidential Manual.)
PRINCIPAL MECHANICAL DESIGNER - NAME
LEE GAGE
SIGNATURE
LIC. NO.
C6718
DATE

MECHANICAL MANDATORY MEASURES

Indicate location on plans of Note Block for Mandatory Measures
CF1

Part 2 of 2 MECH-1

PROJECT NAME
HAMPTON INN & SUITES, LATHROP
DATE
2/7/02

SYSTEM NAME	HP-2	MECHANICAL SYSTEM	NOTE TO FIELD
TIME CONTROL	S		
SETBACK CONTROL	B		
ISOLATION ZONES	-		
HEAT PUMP THERMOSTATS?	Y		
ELECTRIC HEAT?	N		
FAN CONTROL	-		
VAV MINIMUM POSITION CONTROL?	-		
SIMULTANEOUS HEAT/COOL?	N		
HEAT AND COOL SUPPLY RESET?	Y		
HEAT REJECTION CONTROL?	-		
VENTILATION	B		
OUTDOOR DAMPER CONTROL?	A		
ECONOMIZER TYPE	N/A		
DESIGN O.A. CFM (MECH-3, COLUMN H)	105		
HEATING EQUIP. TYPE	HEAT PUMP		
HIGH EFFICIENCY? IF YES ENTER EFF. #	N		
MAKE AND MODEL NUMBER	BRYANT 681C024		
COOLING EQUIP. TYPE	HEAT PUMP		
HIGH EFFICIENCY? IF YES ENTER EFF. #	N		
MAKE AND MODEL NUMBER	BRYANT 681C024		
PIPE INSULATION REQUIRED?	Y		
PIPE/DUCT INSULATION PROTECTED?	Y		
PIPE TYPE (SUPPLY, RETURN, ETC.)	-		
HEATING DUCT LOCATION	R-VALUE	FLOOR/CEIL 4.2	
COOLING DUCT LOCATION	R-VALUE	FLOOR/CEIL 4.2	
VERIFY SEALED DUCTS IN CEILING/ROOF SPACE	% FAN FLOW		

HEAT PUMP THERMOSTAT?	TIME CONTROL	SETBACK CONTROL	ISOLATION ZONES	FAN CONTROL
ELECTRIC HEAT?	S: Prog. Switch O: Occupancy Sensor M: Manual Timer	H: Heating C: Cooling B: Both	Enter number of Isolation Zones	E: Inlet Valves P: Variable Pitch V: VFD O: Other C: Curve
VAV MINIMUM POSITION CONTROL?				
SIMULTANEOUS HEAT/COOL?				
HEAT AND COOL SUPPLY RESET?				
HIGH EFFICIENCY?				
PIPE INSULATION REQUIRED?				
PIPE/DUCT INSULATION PROTECTED?				
SEALED DUCTS IN CEILING/ROOF SPACE?				

LEE GAGE & ASSOCIATES, INC.
architecture • engineering • planning
93711 phone (559) 439-2222
fresno, california 107
7636 n. Ingram suite 107

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HAWTHORN SUITES LTD.

ALAMEDA HOSPITALITY, LLC
1940 FRANCISCAN WAY, SUITE #10
ALAMEDA, CA 94601 PHONE/FAX(510) 814-9881

RECEIVED
JUL 11 2002
CENTRAL CITY
ALAMEDA, CA 94601

LICENSED ARCHITECT
LEE GAGE
C6718
REN. 11-31-03
STATE OF CALIFORNIA

CF3
SHEET
OF

TYPICAL 2nd & 3rd FLOOR CORRIDOR
CERTIFICATE OF COMPLIANCE

Part 1 of 2 MECH-1

PROJECT NAME HAWTHORN SUITES	DATE MAY 10, 2002
PROJECT ADDRESS 1628 WEBSTER STREET ALAMEDA, CA.	
PRINCIPAL DESIGNER - MECHANICAL LEE GAGE & ASSOCIATES	TELEPHONE (559) 439-2222
DOCUMENTATION AUTHOR JON FRAME	TELEPHONE (559) 439-2222
Building Permit #	Checked by/Date
Enforcement Agency Use	

GENERAL INFORMATION	
DATE OF PLANS 5/7/02	BUILDING CONDITIONED FLOOR AREA 1072 S.F.
CLIMATE ZONE 3	
BUILDING TYPE <input type="checkbox"/> NONRESIDENTIAL <input type="checkbox"/> HIGH RISE RESIDENTIAL <input checked="" type="checkbox"/> HOTEL/MOTEL GUEST ROOM	
PHASE OF CONSTRUCTION <input checked="" type="checkbox"/> NEW CONSTRUCTION <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION	
METHOD OF MECHANICAL COMPLIANCE <input checked="" type="checkbox"/> PRESCRIPTIVE <input type="checkbox"/> PERFORMANCE	
PROOF OF ENVELOPE COMPLIANCE <input type="checkbox"/> PREVIOUS ENVELOPE PERMIT <input checked="" type="checkbox"/> ENVELOPE COMPLIANCE ATTACHED	

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DOCUMENTATION AUTHOR JON FRAME	SIGNATURE <i>[Signature]</i>
DATE	
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(These sections of the Business and Professions Code are printed in full in the Nonresidential Manual.)	
PRINCIPAL MECHANICAL DESIGNER - NAME LEE GAGE	SIGNATURE <i>[Signature]</i>
LIC. NO. C6718	DATE

MECHANICAL MANDATORY MEASURES	
Indicate location on plans of Note Block for Mandatory Measures	
CF1	

Part 2 of 2 MECH-1

PROJECT NAME HAMPTON INN & SUITES, LATHROP	DATE 2/7/02
-----------------------------------------------	----------------

SYSTEM FEATURES	
SYSTEM NAME	MECHANICAL SYSTEM
TIME CONTROL	M
SETBACK CONTROL	B
ISOLATION ZONES	-
HEAT PUMP THERMOSTATS?	Y
ELECTRIC HEAT?	N
FAN CONTROL	-
VAV MINIMUM POSITION CONTROL?	-
SIMULTANEOUS HEAT/COOL?	N
HEAT AND COOL SUPPLY RESET?	Y
HEAT REJECTION CONTROL?	-
VENTILATION	N
OUTDOOR DAMPER CONTROL?	-
ECONOMIZER TYPE	-
DESIGN O.A. CFM (MECH-3, COLUMN H)	90
HEATING EQUIP. TYPE	PT HEAT PUMP
HIGH EFFICIENCY? IF YES ENTER EFF. #	N ---
MAKE AND MODEL NUMBER	AMANA PTHC123A
COOLING EQUIP. TYPE	PT HEAT PUMP
HIGH EFFICIENCY? IF YES ENTER EFF. #	N ---
MAKE AND MODEL NUMBER	AMANA PTHC123A
PIPE INSULATION REQUIRED?	Y
PIPE/DUCT INSULATION PROTECTED?	Y
PIPE TYPE (SUPPLY, RETURN, ETC.)	
HEATING DUCT LOCATION	R-VALUE
COOLING DUCT LOCATION	N/A
VERIFY SEALED DUCTS IN CEILING/ROOF SPACE	% FAN FLOW
	N/A

CODE TABLES: Enter code from table below into columns above.	
HEAT PUMP THERMOSTAT?	TIME CONTROL
ELECTRIC HEAT?	SETBACK CONTROL
VAV MINIMUM POSITION CONTROL?	ISOLATION ZONES
SIMULTANEOUS HEAT/COOL?	FAN CONTROL
HEAT AND COOL SUPPLY RESET?	
HIGH EFFICIENCY?	
PIPE INSULATION REQUIRED?	
PIPE/DUCT INSULATION PROTECTED?	
SEALED DUCTS IN CEILING/ROOF SPACE?	
Y: Yes N: No	

TYPICAL GUESTROOMS
CERTIFICATE OF COMPLIANCE

Part 1 of 2 MECH-1

PROJECT NAME HAWTHORN SUITES	DATE MAY 10, 2002
PROJECT ADDRESS 1628 WEBSTER STREET ALAMEDA, CA.	
PRINCIPAL DESIGNER - MECHANICAL LEE GAGE & ASSOCIATES	TELEPHONE (559) 439-2222
DOCUMENTATION AUTHOR JON FRAME	TELEPHONE (559) 439-2222
Building Permit #	Checked by/Date
Enforcement Agency Use	

GENERAL INFORMATION	
DATE OF PLANS 5/7/02	BUILDING CONDITIONED FLOOR AREA VARIES
CLIMATE ZONE 3	
BUILDING TYPE <input type="checkbox"/> NONRESIDENTIAL <input type="checkbox"/> HIGH RISE RESIDENTIAL <input checked="" type="checkbox"/> HOTEL/MOTEL GUEST ROOM	
PHASE OF CONSTRUCTION <input checked="" type="checkbox"/> NEW CONSTRUCTION <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION	
METHOD OF MECHANICAL COMPLIANCE <input checked="" type="checkbox"/> PRESCRIPTIVE <input type="checkbox"/> PERFORMANCE	
PROOF OF ENVELOPE COMPLIANCE <input type="checkbox"/> PREVIOUS ENVELOPE PERMIT <input checked="" type="checkbox"/> ENVELOPE COMPLIANCE ATTACHED	

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DOCUMENTATION AUTHOR JON FRAME	SIGNATURE <i>[Signature]</i>
DATE	
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PRINCIPAL MECHANICAL DESIGNER - NAME LEE GAGE	SIGNATURE <i>[Signature]</i>
LIC. NO. C6718	DATE

MECHANICAL MANDATORY MEASURES	
Indicate location on plans of Note Block for Mandatory Measures	
CF1	

Part 2 of 2 MECH-1

PROJECT NAME HAMPTON INN & SUITES, LATHROP	DATE 2/7/02
-----------------------------------------------	----------------

SYSTEM FEATURES	
SYSTEM NAME	MECHANICAL SYSTEM
TIME CONTROL	M
SETBACK CONTROL	B
ISOLATION ZONES	-
HEAT PUMP THERMOSTATS?	Y
ELECTRIC HEAT?	N
FAN CONTROL	-
VAV MINIMUM POSITION CONTROL?	-
SIMULTANEOUS HEAT/COOL?	N
HEAT AND COOL SUPPLY RESET?	Y
HEAT REJECTION CONTROL?	-
VENTILATION	N
OUTDOOR DAMPER CONTROL?	-
ECONOMIZER TYPE	-
DESIGN O.A. CFM (MECH-3, COLUMN H)	30
HEATING EQUIP. TYPE	PT HEAT PUMP
HIGH EFFICIENCY? IF YES ENTER EFF. #	N ---
MAKE AND MODEL NUMBER	AMANA PTHC123A
COOLING EQUIP. TYPE	PT HEAT PUMP
HIGH EFFICIENCY? IF YES ENTER EFF. #	N ---
MAKE AND MODEL NUMBER	AMANA PTHC123A
PIPE INSULATION REQUIRED?	Y
PIPE/DUCT INSULATION PROTECTED?	Y
PIPE TYPE (SUPPLY, RETURN, ETC.)	
HEATING DUCT LOCATION	R-VALUE
COOLING DUCT LOCATION	N/A
VERIFY SEALED DUCTS IN CEILING/ROOF SPACE	% FAN FLOW
	N/A

CODE TABLES: Enter code from table below into columns above.	
HEAT PUMP THERMOSTAT?	TIME CONTROL
ELECTRIC HEAT?	SETBACK CONTROL
VAV MINIMUM POSITION CONTROL?	ISOLATION ZONES
SIMULTANEOUS HEAT/COOL?	FAN CONTROL
HEAT AND COOL SUPPLY RESET?	
HIGH EFFICIENCY?	
PIPE INSULATION REQUIRED?	
PIPE/DUCT INSULATION PROTECTED?	
SEALED DUCTS IN CEILING/ROOF SPACE?	
Y: Yes N: No	

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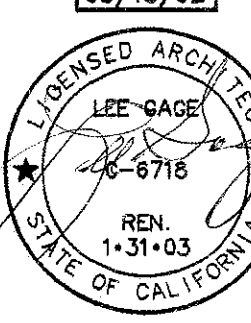
LEE GAGE & ASSOCIATES, INC.
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93711 phone (559) 439-2222
7636 n. Ingram suite 107 fresno, california

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PROPOSED: HAWTHORN SUITES LTD.
1628 WEBSTER STREET
ALAMEDA, CA
OWNERS: ALAMEDA HOSPITALITY, LLC
1940 FRANCISCAN WAY, SUITE #10
ALAMEDA, CA 94601 PHONE/FAX (510) 814-9881

05/15/02



CF4
SHEET
OF



5. ALL HANDICAPPED PARKING STALLS SHALL BE PLACED ADJACENT TO FACILITY ACCESS RAMPS OR IN STRAIGHT AREA WHERE THE HANDICAPPED SHALL NOT HAVE TO WHEEL OR WALK BEHIND PARKED VEHICLES WHILE TRAVELING TO OR FROM HANDICAPPED PARKING STALLS & RAMPS.
6. SIGNS ARE NOT APPROVED FOR INSTALLATION AS PART OF THIS SPECIAL PERMIT. SUBMIT FOR SEPARATE SIGN REVIEW.
7. ALL CONSTRUCTION WORK ON THIS PROJECT IS SUBJECT TO INTERRUPTION IF THE ROAD SYSTEM BECOMES IMPASSABLE FOR FIRE APPARATUS DUE TO RAIN OR OTHER OBSTACLES.
8. REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE LOCAL JURISDICTION PRIOR TO OCCUPANCY.
9. 2 WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND UTILITY SURVEYORS.

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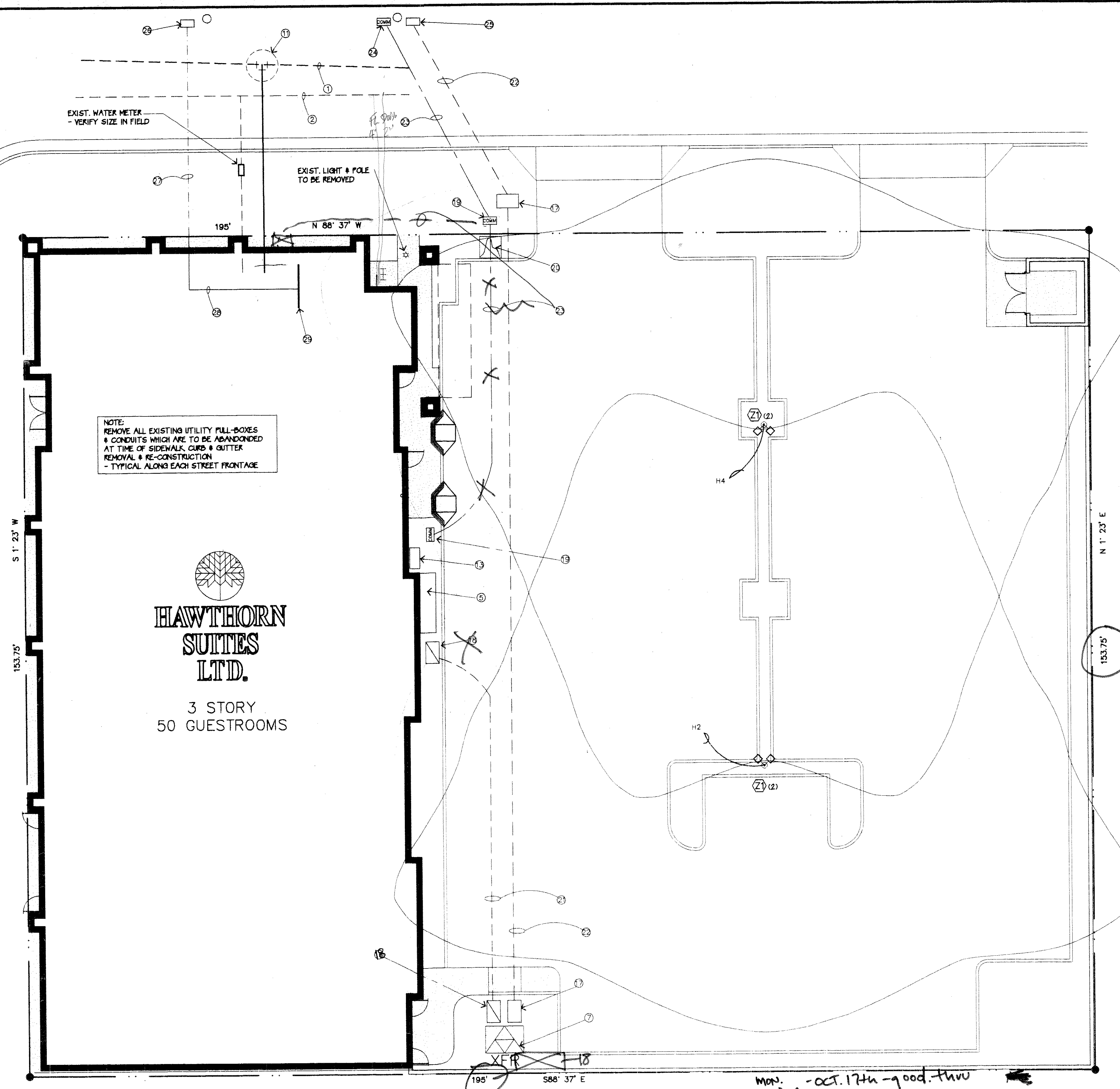
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STATE OF CALIFORNIA

CD1

SHEET

OF

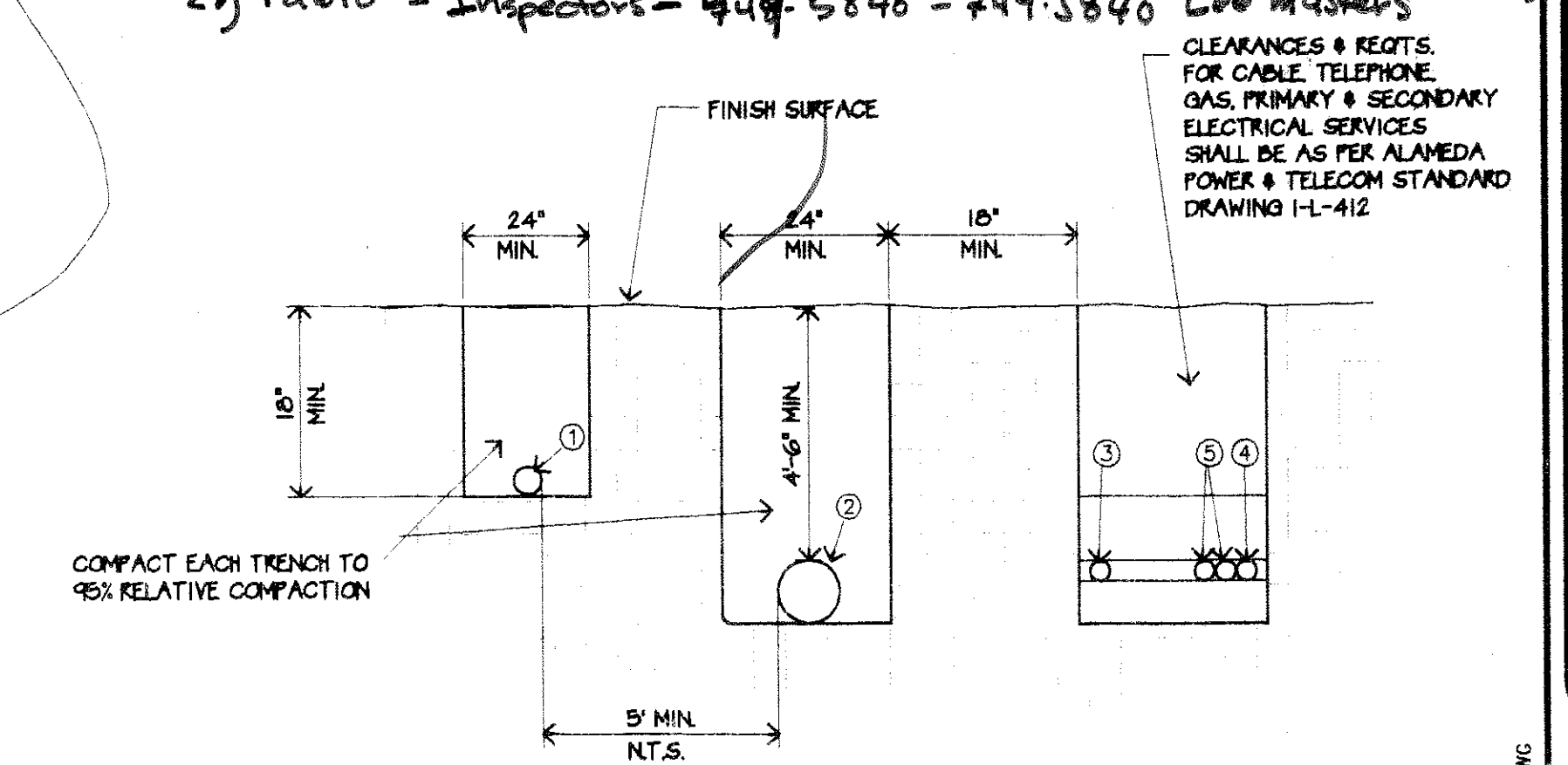


KEY NOTES

- EXISTING SEWER MAIN IN STREET - VERIFY SIZE & LOCATION IN FIELD PRIOR TO BIDDING
- EXISTING WATER MAIN - VERIFY SIZE & LOCATION IN FIELD PRIOR TO BIDDING
- NEW FIRE SERVICE LINE - FIRE SPRINKLER SERVICE & SYSTEM TO BE DESIGN/BUILD BY OTHERS - SEPARATE REVIEW & APPROVAL REQUIRED BY LOCAL JURISDICTION
- STUB & CAP 1 1/2" WATER LINE FOR IRRIGATION SYSTEM - SYSTEM SHALL BE DESIGN/BUILD OTHERS - CONTR. TO PROVIDE BACKFLOW PREVENTION DEVICE ON IRRIGATION SYSTEM
- ELECTRICAL MAIN SERVICE & METER LOCATED IN PLANTER (NEMA TYPE 3R) - REFER TO ELECTRICAL DRAWINGS
- TELEPHONE TERMINAL BOARD LOCATED IN UTILITY ROOM (4' x 6' PLYWOOD / VERIFY W/SERVING UTILITY CO.)
- TRANSFORMER PAD LOCATION (7'x5' CONC. PAD PER ALAMEDA P&T DWG. 1-L-406) 10 FT. x 10 FT. EASEMENT REQ'D. (VERIFY W/SERVING UTILITY CO.)
- LOCATE & TIE-TO EXISTING WATER MAIN IN STREET PER APPL. CODES & STDS. - EXTEND AS SHOWN ON PLAN
- 1 1/2" WATER RISER UP ALONG INSIDE FACE OF WALL - VERIFY W/OWNER
- MAIN WATER S.O.V. IN BOX - LOCATE S.O.V. BOX IN PLANTER
- LOCATE & TIE-TO EXISTING 6" SEWER MAIN IN ALLEY PER APPL. CODES & STDS. - CONSTRUCT NEW TYPE "A" MANHOLE AROUND EXIST. SANITARY SEWER MAIN - THERE SHALL BE NO WYES AT THIS CONNECTION - EXTEND AS SHOWN ON PLAN
- NEW FIRE SPRINKLER RISER - FIRE SPRINKLER SERVICE & SYSTEM TO BE DESIGN/BUILD BY OTHERS - SEPARATE REVIEW & APPROVAL REQUIRED BY LOCAL JURISDICTION
- GAS METER LOCATION - LOCATE AS PER SERVING UTILITY CO. REQ'TS.
- 2-WAY MAIN BUILDING SEWER CLEANOUT TO GRADE - PER CITY STANDARD PLAN DRAWING 9387, CASE 34, STANDARD TWO-WAY CLEANOUT
- LOCATION OF R.P. TYPE BACKFLOW PREVENTION DEVICE AS PER CITY OF ALAMEDA P.W. STDS. - 1 1/2" FEBCO MODEL 825YA (OR EQUAL)
- WATER METERS & BOXES IN SIDEWALK - INSTALL 1-1/2" METER FOR DOMESTIC WATER & 1-1 1/2" METER IRRIGATION SYSTEM PER CITY OF ALAMEDA P.W. STDS.
- PROVIDE 30 IN. WIDE x 48 INCH LONG x 34 IN. DEEP PRIMARY PULL BOX (H-10 RATED) PER ALAMEDA P&T DRAWING 1-L-447
- PROVIDE 30 IN. WIDE x 48 INCH LONG x 34 IN. DEEP SECONDARY PULL BOX (H-10 RATED) PER ALAMEDA P&T DRAWING 1-L-447
- PROVIDE 17 IN. WIDE x 30 INCH LONG x 24 IN. DEEP COMMUNICATIONS PULL BOX (H-10 RATED) PER ALAMEDA P&T DRAWING 1-L-447
- ALAMEDA P&T WILL PROVIDE ROCK-PEDESTAL (4 FT. x 4 FT. EASEMENT REQ'D.)
- 8-3 1/2" CONDUIT W/4-#500 MCM COPPER (THWN) CONDUCTORS EA. CONDUIT (SECONDARY POWER SERVICE FROM TRANSFORMER TO MAIN PANEL) - PROVIDE ADEQUATE SLACK AT SECONDARY BOX TO THE TRANSFORMER SECONDARY TERMINALS
- 2-4" CONDUIT FROM ALAMEDA P&T PRIMARY PULL BOX TO TRANSFORMER
- 2-2" CONDUIT BY ALAMEDA P&T (COMMUNICATIONS)
- INTERCEPT EXISTING ALAMEDA P&T COMMUNICATION BOX
- INTERCEPT EXISTING ALAMEDA P&T PRIMARY POWER PULL BOX
- INTERCEPT EXISTING PAC-BELL SPLICE BOX
- PAC-BELL TO PLACE 1-4" CONDUIT FROM SPLICE BOX ACROSS PACIFIC AVE. TO PROPERTY LINE
- OWNER (CONTRACTOR) TO PLACE 1-4" CONDUIT FROM PROPERTY LINE TO TELEPHONE TERMINAL BOARD
- TELEPHONE TERMINAL BOARD IN PBX ROOM (REFER TO FLOOR PLAN FOR EXACT LOCATION) - VERIFY W/SERVING UTILITY CO.

Wed 10a.m. - Field meet - all members Fri: 10:30
 Out 18th - ATT, ATT Broadband City, City of
 16th - OAKLAND E. Bay MUNI, E. Bay water,
 ICG Access, page, Pac Bell,
 TCI Hayward. # 418-513
 Ticket

D.P. 9.10 - CHRIS. PAGE - 510-437-2153
 2) Fabio - Inspectors - 418-5130 - 249-5840 Lee Masters public works



- WATER PIPE
- SEWER PIPE
- GAS PIPE
- ELECTRICAL CONDUIT
- TELEPHONE & CABLE T.V. CONDUIT

COMMON TRENCH DETAIL

SCALE: 3/4"=1'-0"

UTILITIES SITE PLAN

SCALE: 1"=10'-0"

NOTES

CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THE WORK OF ALL UTILITY COMPANIES WHICH ARE APPROPRIATE TO SUBJECT SITE

ALL NECESSARY SAFETY PRECAUTIONS SHOULD BE TAKEN DURING TRENCHING FOR ALL UTILITIES. FOLLOW RECOMMENDATIONS INCLUDED WITHIN GEOTECHNICAL ENGINEERING REPORT

CONNECTIONS TO EXISTING UTILITIES SHALL BE DONE W/ APPROVAL AND IN ACCORDANCE WITH THE UTILITY(S) COMPANY'S REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL REQUIREMENTS FROM THOSE SERVICES APPLICABLE TO PROJECT PRIOR TO INSTALLATION OF THE SAME

ALL ABANDONED UTILITIES AND HOOK-UPS SHALL BE REMOVED.

2 WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS, ALL EXISTING UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND SERVICES ALERT (USA) CALL 1-800-642-2444

FIRE SYSTEM DESIGN/FIRE PERMIT:

FIRE SPRINKLER SERVICE LINE IS SHOWN HEREON FOR BIDDING PURPOSES AND UTILITY COORDINATION ONLY. FIRE PROTECTION CONTRACTOR SHALL REVIEW THE SIZE AND LOCATION OF FIRE SPRINKLER SERVICE FOR ADEQUACY TO MEET FIRE FLOW DEMANDS. SUCH REVIEW SHALL CONSIDER FIRE SPRINKLER SERVICE DEMAND FOR PROPOSED BUILDING.

AS A RESULT OF CONTRACTOR'S REVIEW AND DESIGN, FINAL LINE SIZE, LOCATION AND ADEQUACY TO MEET FIRE FLOW DEMANDS ARE CONTRACTOR'S RESPONSIBILITY.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR OR THE DEVELOPER TO OBTAIN A FIRE PERMIT PRIOR TO THE INSTALLATION OF ANY FIRE RELATED UTILITIES.

Ticket# 416-930 - on site
 10.3.02 - OCT. 17th - good thru

LEE GAGE & ASSOCIATES, INC.
 architecture • engineering • planning
 7636 n. Ingram suite 107 freemont, california 94711 phone (510) 438-2222

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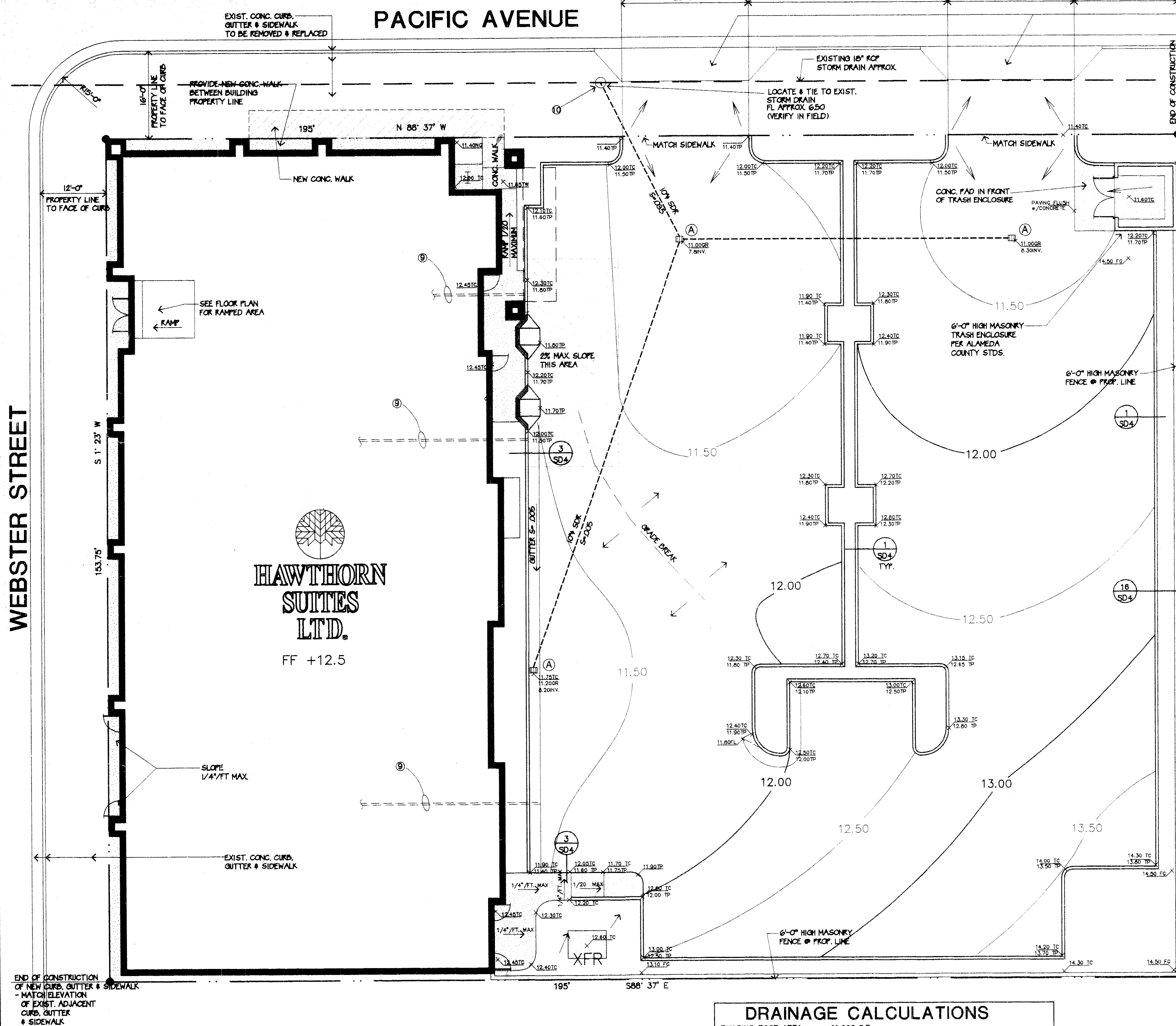
HAWTHORN SUITES LTD.
 1628 WEBSTER STREET
 ALAMEDA, CA
 OWNERS: ALAMEDA HOSPITALITY, LLC
 1940 FRANCISCAN WAY, SUITE #110
 ALAMEDA, CA 94601 PHONE/FAX (510) 811-9881

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SD2



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LTD.**
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DRAIN FILTER NOTES

- (A) AT EACH CATCH BASIN
PROVIDE FLOORWASH
CATCH BASIN FILTER INSERTS
SEE DETAIL 503A
BY KRI-STAR ENTERPRISES
MODEL # F01-24F (FITS 24"x24" ID)
PROVIDE CITY WITH MAINTENANCE AGREEMENT
FROM INSTALLER OF SYSTEM

DRAINAGE CALCULATIONS

BUILDING ROOF AREA	11,000 S.F.
PAVED AREA	15,700
WALKS	600
	27,300 S.F. x 0.90 = 24,570
LANDSCAPING/OPEN AREA	2,800 S.F. x 0.30 = 840
TOTAL LOT/SITE AREA	30,100 S.F.
	25,410
A = 30,100	I = 25,410
43,560	30,100
R = 2 in/HR.	
	Q = (A x I x R) = (0.89 x 0.84 x 2) = 1.15 CFS
	CARRYING CAPACITY OF 10" S. STORM DRAIN PIPE
	Q = 785 x D ² x 1.486 x (S/4) ^{1/2} x S ^{1/2} ASSUME n = 0.010
	= 785 x .83 ² x 1.486 x (.83/4) ^{1/2} x 0.005 ^{1/2} S = 0.050
	= 785 x .694 x 148.6 x .35 x .071 D = 0.83
	= 2.01 CFS > 1.15 OK

NOTE:
REFER TO BOUNDARY & TOPOGRAPHIC SURVEY FOR EXISTING GRADES ON SITE
& ON ADJACENT PROPERTIES.
- PREPARED BY STORRS LAND SURVEYING
11881 SKYLINE BLVD., SUITE C
OAKLAND, CA 94619
(510) 462-9154
DATED: NONE
JOB NO. 00-75.DWG
NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES
BETWEEN INDICATED GRADE & EXISTING FIELD GRADES

LEGEND

12.00 TC	PROPOSED GRADE
11.50 TP	EXISTING GRADE
BM	BENCHMARK
BW	BACK OF WALK
DI	DRAIN INLET
FF	FINISHED FLOOR
FG	FINISHED GRADE
FL	FLOWLINE
GS	GUTTER ELEVATION
GB	GRADE BREAK
GR	GRATE ELEVATION
IN	INVERT ELEVATION (FLOW LINE)
NG	NATURAL GRADE
TP	TOP OF PAVING
TC	TOP OF CURB/CONC.
TRW	TOP OF CONCRETE RETAINING WALL
TS	TOP OF SLAB
TW	TOP OF WALK
FI	FIRE HYDRANT
CB	EXISTING CATCH BASIN
D.I.	DROP INLET
4	REFER TO DETAIL 503B
12.00 TC	EXISTING S.D. PIPING (TO BE REMOVED)
11.50 TP	PROPOSED S.D. PIPING 10" SDR-35 (SLOPE AS SHOWN)
12.00 TC	PROPERTY LINE

KEY NOTES

- TYPE 1 PAVING
NEW A.C. PAVING 1/2" AGGREGATE BASE
- 4" A.C. 1/4" 1/2" AGGREGATE BASE
- TYPICAL PAVED DRIVE-WAY AREAS
- REFER TO 14/SD4
- TYPE 2 PAVING
NEW A.C. PAVING 1/2" AGGREGATE BASE
- 2 1/2" A.C. 1/4" 1/2" AGGREGATE BASE
- TYPICAL PAVED PARKING STALL AREAS
- REFER TO 14/SD4
- NEW 6" CONC. SLAB W/ #3 BARS
AT 18" O.C. E.W.
1/2" AGGREGATE BASE
(EXTERIOR SLAB)
- NEW 5 1/2" CONC. SLAB W/ #3 BARS
AT 18" O.C. E.W.
1/2" AGGREGATE BASE
- TRASH ENCLOSURE APRON INCLUDED
- SLOPE CONCRETE SLAB @ TRASH ENCLOSURE
TO DRAIN UNDER GATES (1/4" FT. MIN.)
- NEW 4" CONC. SLAB W/ #3 BARS
AT 18" O.C. E.W.
1/2" SAND 1/2" MIL VISCQUEEN 1/2" AGGREGATE
BASE (90% RELATIVE COMPACTION)
1/2" MIN. COMPACTED NATIVE SOIL OR
ENGINEERED FILL (90% RELATIVE COMPACTION)
- BUILDING SLAB
- EXISTING 12" STORM DRAIN PIPE & CATCH BASIN @ CURB LINE
- LOCATE & PROTECT DURING CONSTRUCTION
- EXISTING CATCH BASIN (TO BE REMOVED)
- NOT USED
- TERMINATE ROOF DRAIN PIPING TO CURB FACE & DAYLIGHT
- REFER TO SHEET A12 FOR CONTINUATION
- NEW 10" SDR35 STORM DRAIN LINE
- LOCATE & TIE TO EXISTING STORM DRAIN WITH TYPE 'A' MANHOLE
PER CITY OF ALAMEDA P.W. STANDARD DRAWING #2B15

NOTES:

- MAINTAIN MINIMUM FINISHED FLOOR ELEVATION AS SHOWN FOR BUILDING. PAD ELEVATION IS DEPENDENT UPON THICKNESS OF FLOOR SYSTEM SPECIFIED BY BUILDING DESIGNER(S). MAINTAIN A MINIMUM 4% SLOPE AWAY FROM BUILDING FOR A MINIMUM OF 5 FEET (OR TO TOP OF ADJACENT CURB).
- ALL GRADING SHALL COMPLY WITH SECTION APPENDIX CHAPTER 33 OF THE 1997 UNIFORM BUILDING CODE.
- PROVIDE COMPACTION REPORTS PREPARED BY AN APPROVED TESTING AGENCY. (IF REQUIRED BY LOCAL GOVERNING AUTHORITY)
- TOTAL SQUARE FOOTAGE OF A.C. PAVEMENT IS 15,300 SQ. FT.
- ESTIMATED GRADING QUANTITIES:
CUT 100 CU. YDS.
FILL 100 CU. YDS.
NOTE: GRADING QUANTITIES ARE SHOWN FOR PERMIT PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE FINAL BID QUANTITIES. IMPORT FILL TO BE AS PER GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
- NO DRAINAGE SHALL BE ONTO ADJACENT PROPERTY.
- DRAINAGE PIPE TO BE REINFORCED CONC. OR PVC SDR35 PIPE
- SOILS ENGINEER OF RECORD TO CERTIFY A.C. PAVEMENT SECTION.
- FOR ADDITIONAL DETAILS AND SITE DIMENSIONS, SEE ARCHITECTURAL SITE PLANS.
- A SOILS GRADING REPORT PREPARED BY THE SOILS ENGINEER SHALL BE SUBMITTED UPON COMPLETION OF GRADING IN CONFORMANCE WITH THE 1997 UBC, APP. CHAPTER 3316 (IF APPLICABLE).
- THE OVERALL BUILDING SITE SHALL HAVE A MINIMUM SLOPE OF 1% IN ALL AREAS TO AN APPROVED DRAINAGE FACILITY.
- NO PERMANENT ON-SITE WATER RETENTION IS ALLOWED.
- ANY VERTICAL CUT OR FILL DIFFERENTIAL EQUAL TO OR GREATER THAN TWELVE (12) INCHES BETWEEN ADJACENT PROPERTIES SHALL BE SUPPORTED BY AN APPROVED RETAINING WALL DIFFERENTIALS LESS THAN TWELVE (12) ARE TO HAVE A MAXIMUM SLOPE OF ONE (1) VERTICAL TO THREE (3) HORIZONTAL.
- PROVIDE WEAKENED PLANE JOINTS @ 15 FT. O.C. (MAX.) & EXPANSION JOINTS AT 45 FT. O.C. (MAX.) AT ALL CONCRETE SLABS.
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO BEGINNING ANY WORK ON THIS SITE.
- UNDERGROUND SERVICE ALERT - CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT FOR LOCATION OF UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION - PHONE (800) 642-2444.
- CONTRACTOR SHALL PROVIDE DUST CONTROL MEASURE TO THE SATISFACTION OF THE GOVERNING AUTHORITY HAVING JURISDICTION.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS REPORT DATED: DEC 22, 2000
PREPARED BY: GLOBE SOIL ENGINEERS
PROJECT NO.: SR001103
- ALL FILL SHALL BE COMPACTED PER SOILS REPORT WITH APPROPRIATE TESTS TO VERIFY COMPACTION VALUES
- ORGANIC MATERIALS SHALL BE STRIPPED TO THE DEPTH DEEMED NECESSARY BY THE SOILS ENGINEER AND ONLY USED IN AREAS OF NON-ENGINEERED FILL (LANDSCAPE MOUNDS, ETC.)
- NO ADJUSTMENT TO THE GRADES SHOWN ON THE PLANS SHALL BE PERMITTED WITHOUT APPROVAL OF THE ARCHITECT/ENGINEER. DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THE PLANS SHALL BE IMMEDIATELY CALLED TO THE ATTENTION OF THE ARCHITECT/ENGINEER
- CATCH BASINS AND AREA DRAINS ARE TO BE ACCURATELY LOCATED BY THEIR RELATIONSHIP TO THE BUILDING, ROOF DRAINS, AND CURB LAYOUT, NOT BY THE LENGTH OF PIPE SPECIFIED IN THE DRAWINGS (WHICH IS APPROXIMATE).
- TOP OF ALL CONCRETE CURBS ARE 0.50' (6") ABOVE ADJACENT TOP OF PAVING GRADES, EXCEPT WHERE SPECIFICALLY NOTED.
- THE CONTRACTOR SHALL READ AND CONSIDER THE PROVISIONS OF THE SOILS REPORT WHEN BIDDING THIS PROJECT.
- ALL WORK ON-SITE AND IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE GOVERNING AUTHORITY HAVING JURISDICTION.
- ALL MATERIAL TO BE REMOVED SHALL BE PROPERLY DISPOSED OF AT APPROPRIATE LEGAL LOCATION(S) AWAY FROM SITE.
- CONTRACTOR SHALL PROTECT SITE IMPROVEMENTS (BOTH ON-SITE & OFF-SITE) NOT SCHEDULED FOR REMOVAL DURING CONSTRUCTION. HE SHALL REPAIR ANY DAMAGE TO SAME-BACK TO NEW CONDITION AT HIS EXPENSE.

NOTES:
AGGREGATE BASE UNDER PAVED AREAS
TO BE COMPACTED TO 95% RELATIVE
COMPACTION (MIN)

PAVING SLOPES

MINIMUM = 0.015
MAXIMUM = 0.050

CONCRETE GUTTER SLOPES

MINIMUM = 0.003

* INDICATES MAXIMUM SLOPE OF 2%
@ HANDICAP PARKING AREAS

HANDICAP RAMP SLOPES

MAXIMUM = 1/20 W/ HANDRAILS
1/20 W/OUT HANDRAILS

NOTE:
HANDRAILS ARE NOT REQUIRED
@ RAMP'S WHICH DO NOT EXCEED
6" HEIGHT DIFFERENCE

NOTE:
REFER TO SHEET T1 (BY OTHERS)
FOR EXISTING GRADES

REFER TO SHEET SD3A & SD4
FOR SITE DETAILS

REFER TO SHEET SD1 FOR SITE
PLAN DIMENSIONS



**GRADING & DRAINAGE
SITE PLAN**
SCALE: 1"=10'-0"

11/6 - 2/2002

CENTRAL PERMITS OFFICE
ALAMEDA, CA 94501

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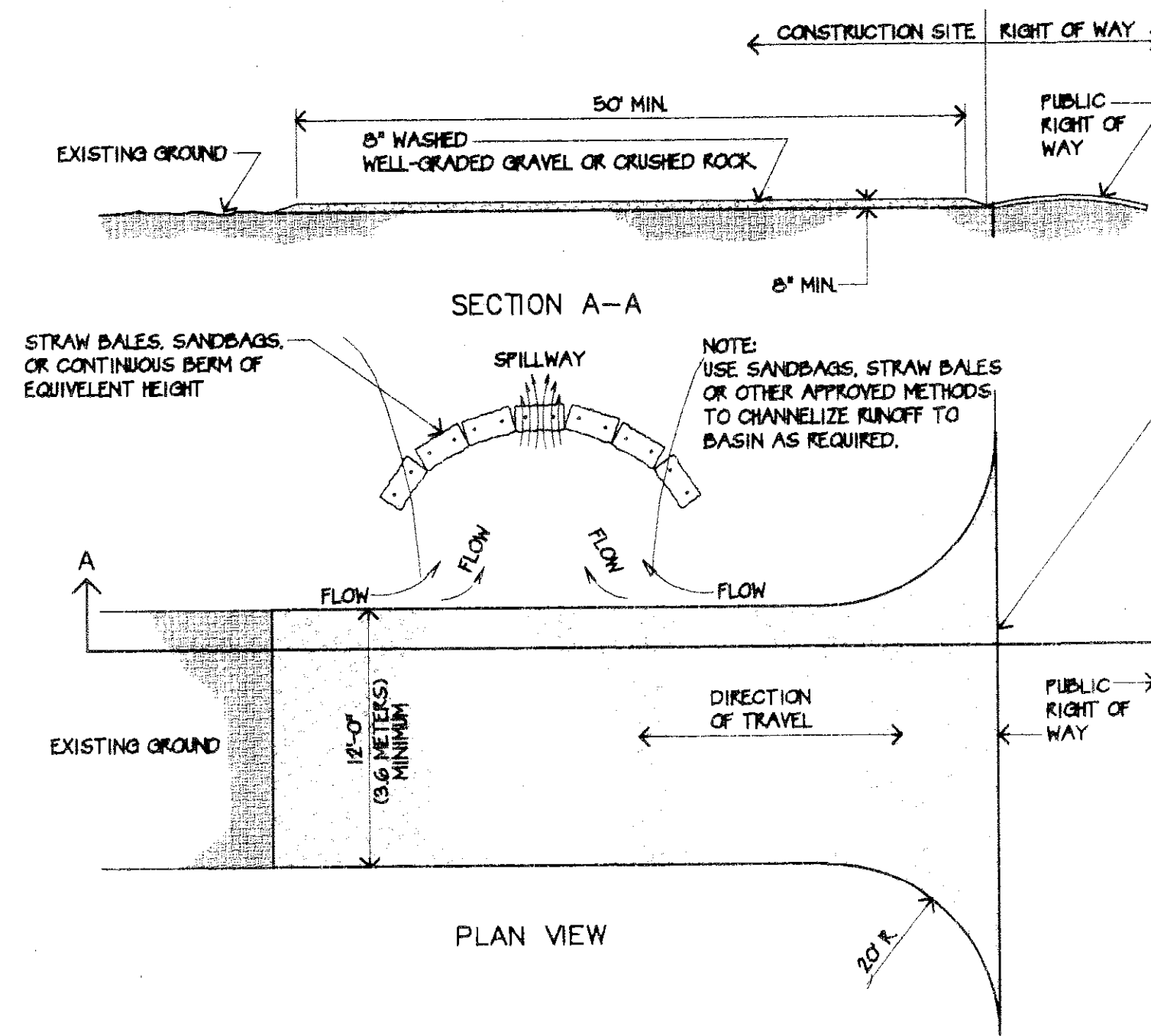
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**HAWTHORN
SUITES
LTD.**

PROPOSED:
1622 WEBSTER STREET
ALAMEDA, CA
HAWTHORN SUITES LTD., LLC
1840 FRANCIS WAY, SUITE #10
ALAMEDA, CA 94501 PHONE/FAX (510) 814-9881

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11/6-6718
REN. 11-31-03
STATE OF CALIFORNIA

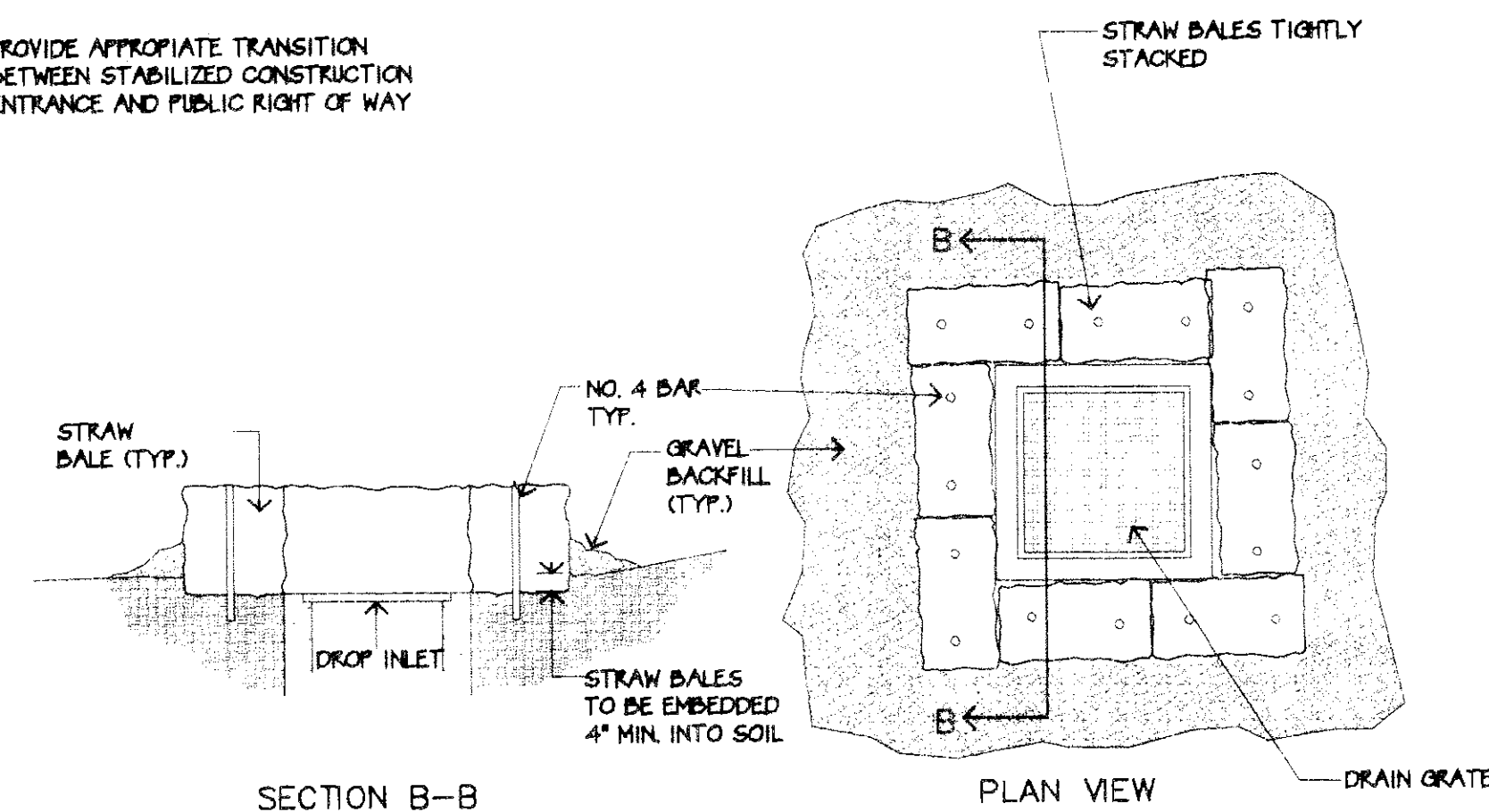
SD3
SHEET
OF



1 STABILIZED CONSTRUCTION ENTRANCE
SD3a NOT TO SCALE

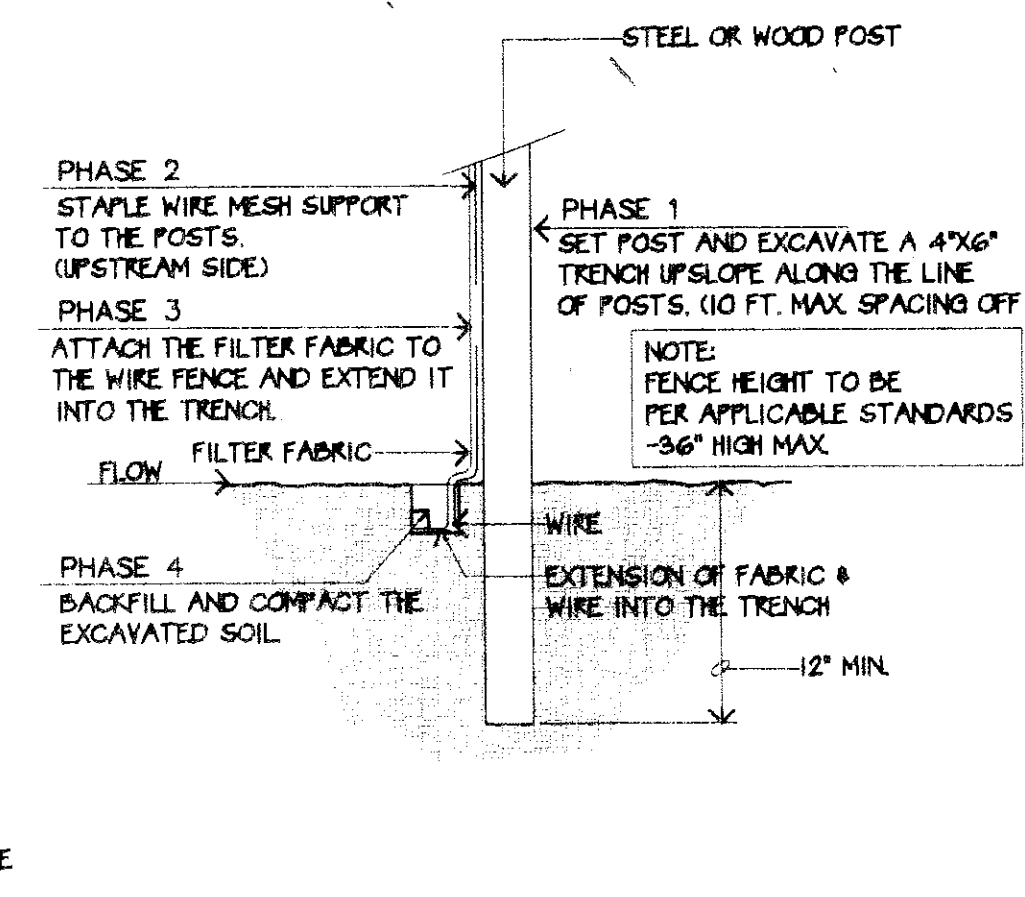
- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURE USED.
 2. WHEN NECESSARY WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

PROVIDE APPROPRIATE TRANSITION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND PUBLIC RIGHT OF WAY



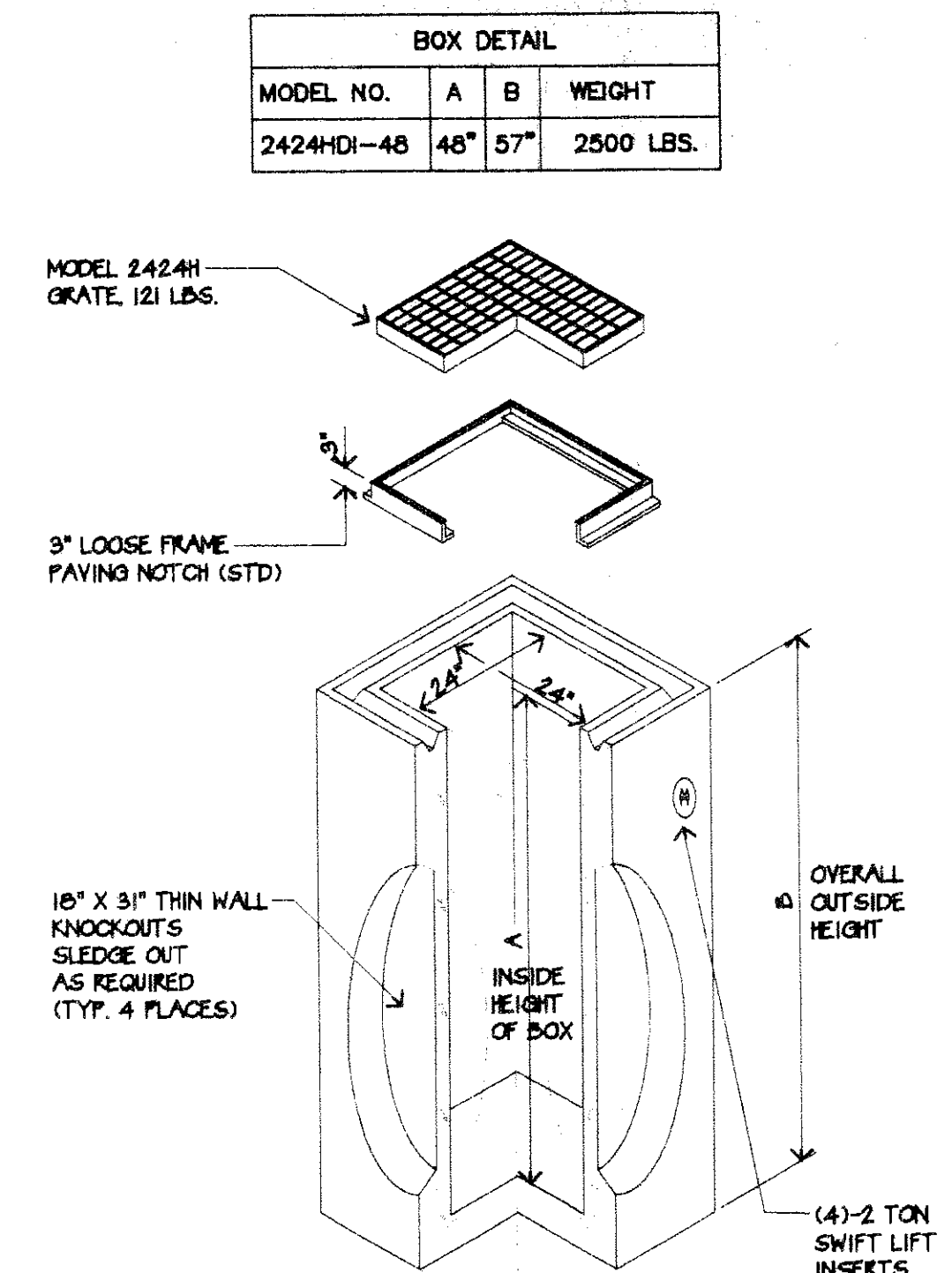
2 TEMPORARY SILT BARRIER
SD3a NOT TO SCALE

- NOTES:
1. DROP INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL NEARLY LEVEL DRAINAGE AREAS. (LESS THAN 5%).
 2. EMBED THE BALES 4" (100MM) INTO THE SOIL AND OFFSET CORNERS OR PLACE BALES WITH ENDS TIGHTLY ADJUTING GRAVEL BACKFILL WILL PREVENT EROSION OR FLOW AROUND THE BALES.
 3. THE TOP OF THE STRUCTURE (FONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BYPASSING THE INLET. EXCAVATION OF A BASIN ADJACENT TO THE DROP INLET OR A TEMPORARY DIKE ON THE DOWNSLOPE OF THE STRUCTURE MAY BE NECESSARY.



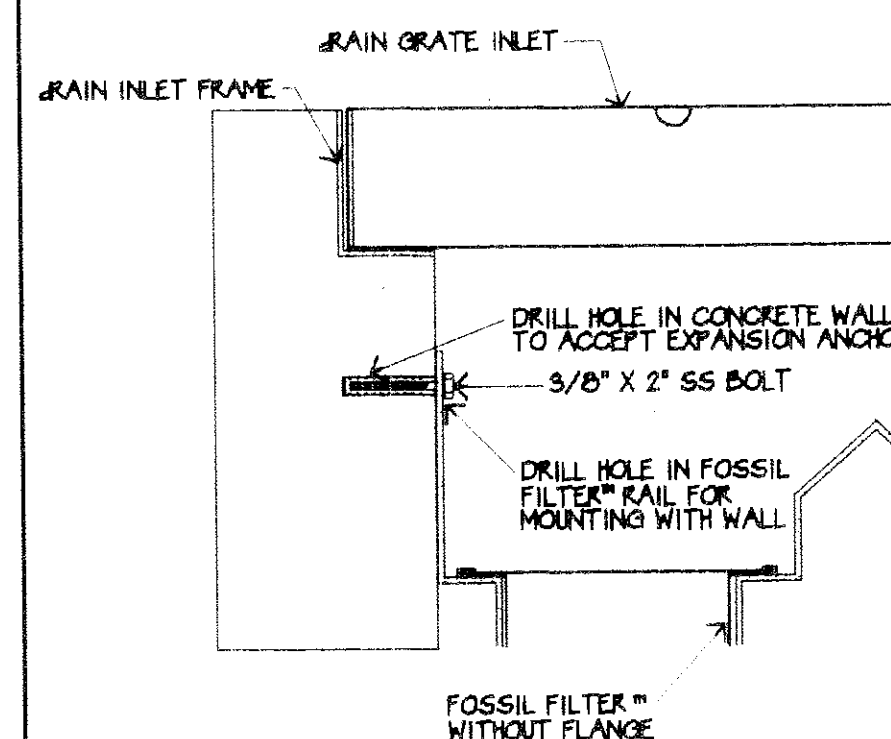
3 SILT FENCE DETAIL
SD3a NOT TO SCALE

- NOTES:
1. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE FONDING EFFICIENCY.
 2. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY 9" (225MM) MAXIMUM RECOMMENDED STORAGE HEIGHT.
 3. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

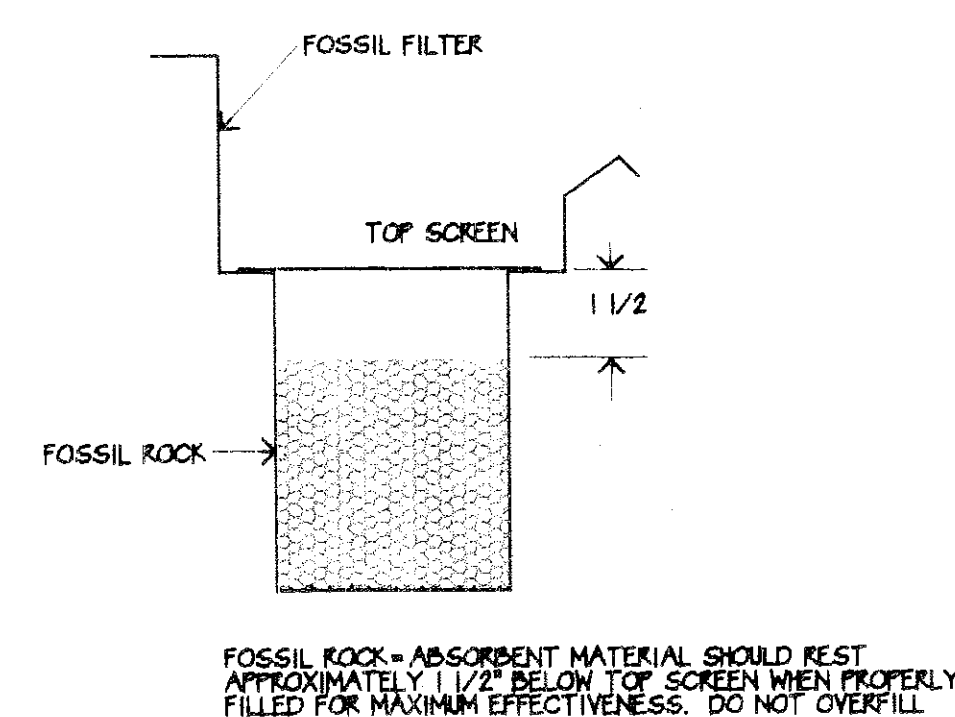
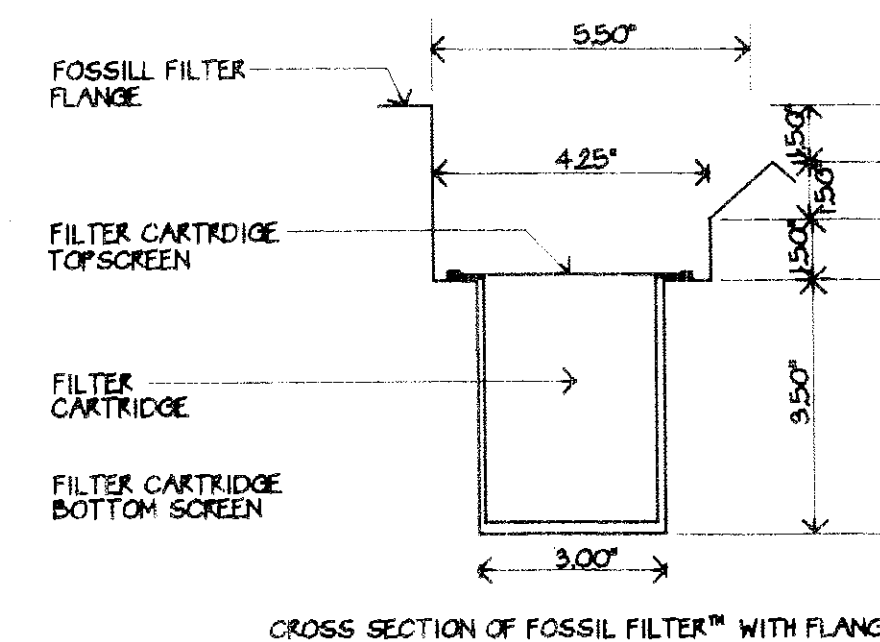


4 DROP INLET DETAIL
SD3a NOT TO SCALE

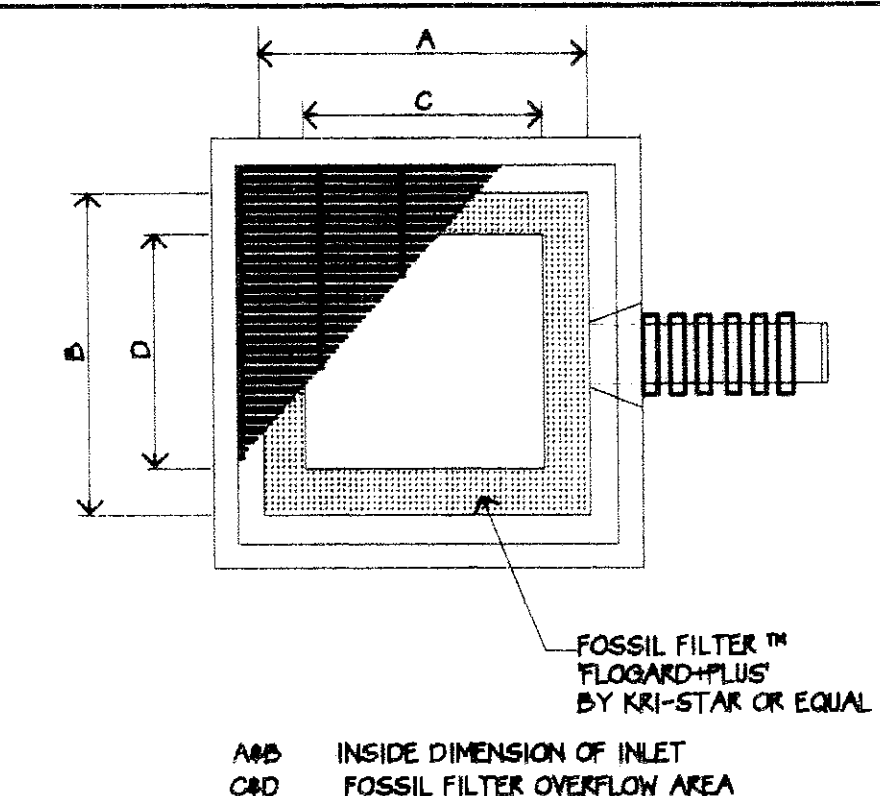
NOTE:
DESIGN LOAD
H-20 TRAFFIC,
UP TO 12' DEPTH
FOR COMPLETE DESIGN
AND PRODUCT INFORMATION
CONTACT JENSEN PRECAST



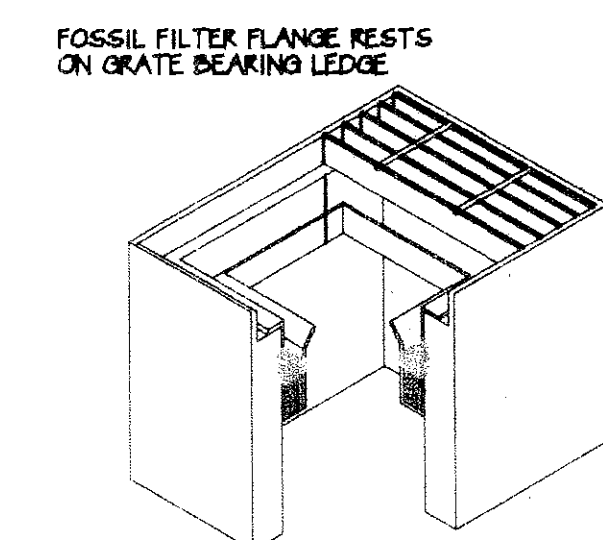
FILTER MOUNTING DETAIL
NOT TO SCALE



FOSSIL FILTER DETAIL
NOT TO SCALE

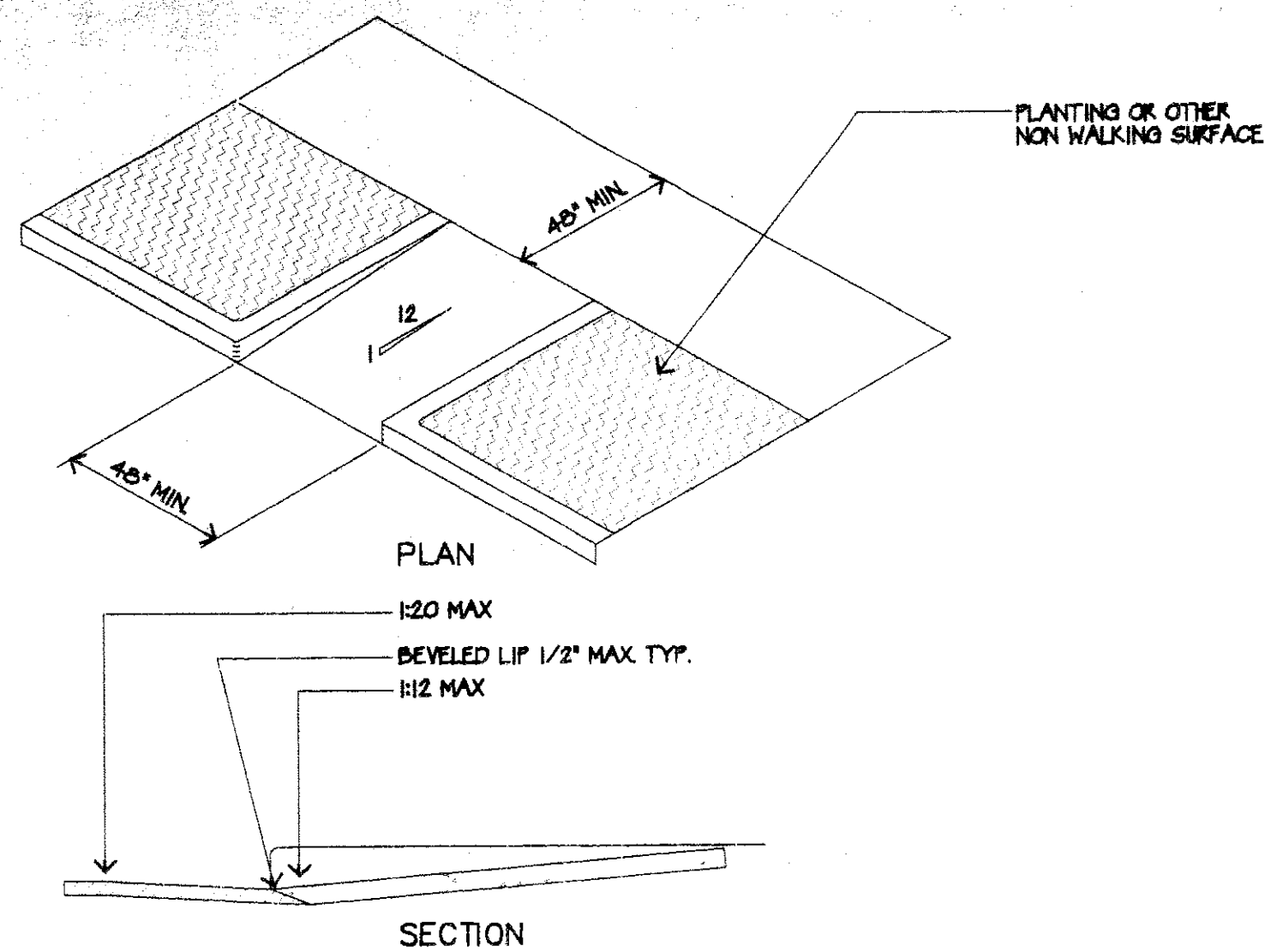


GRATE INLET - TOP VIEW
NOT TO SCALE

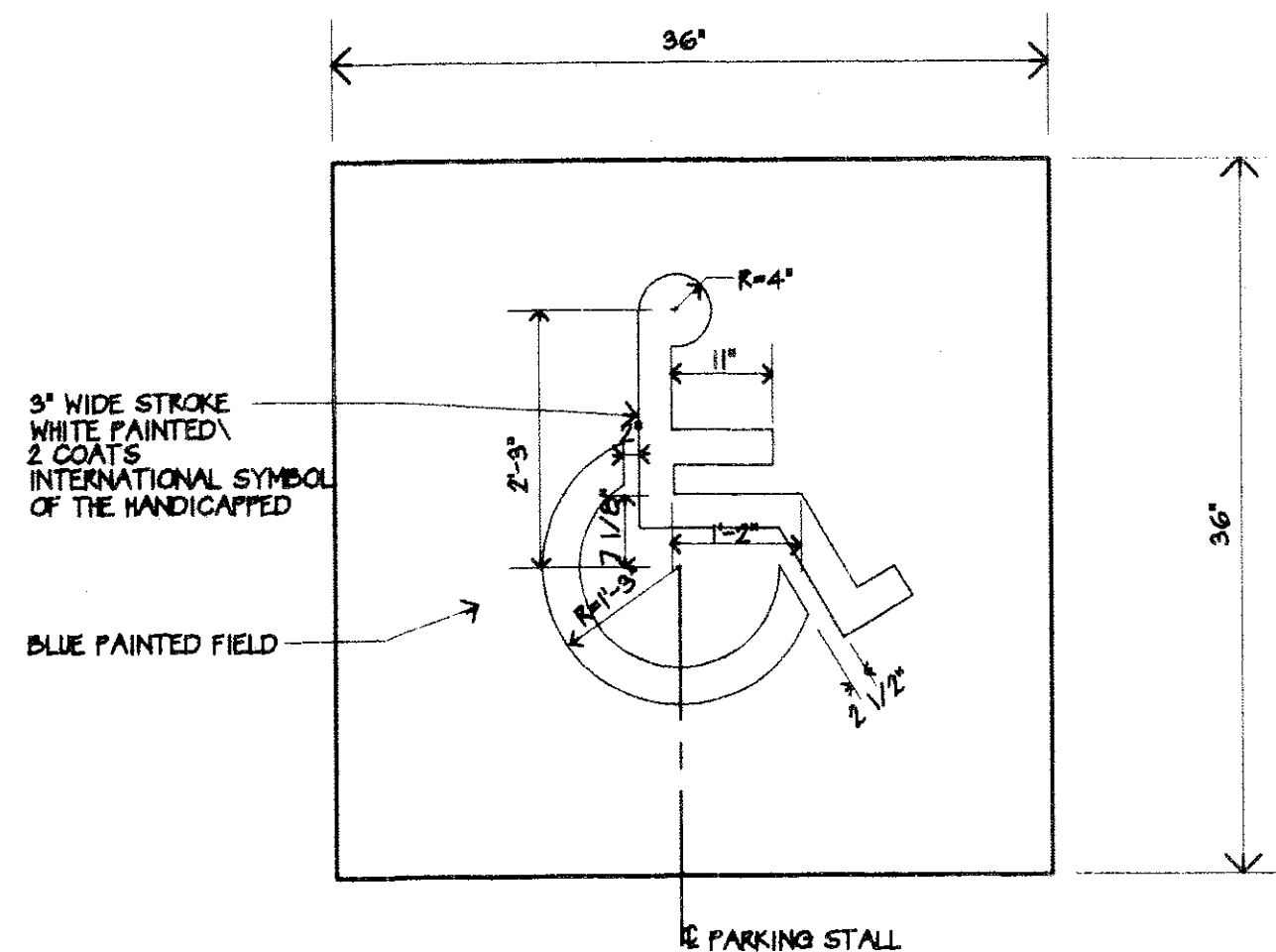


STANDARD GRATE INLET
NOT TO SCALE

FOSSIL FILTER DETAILS

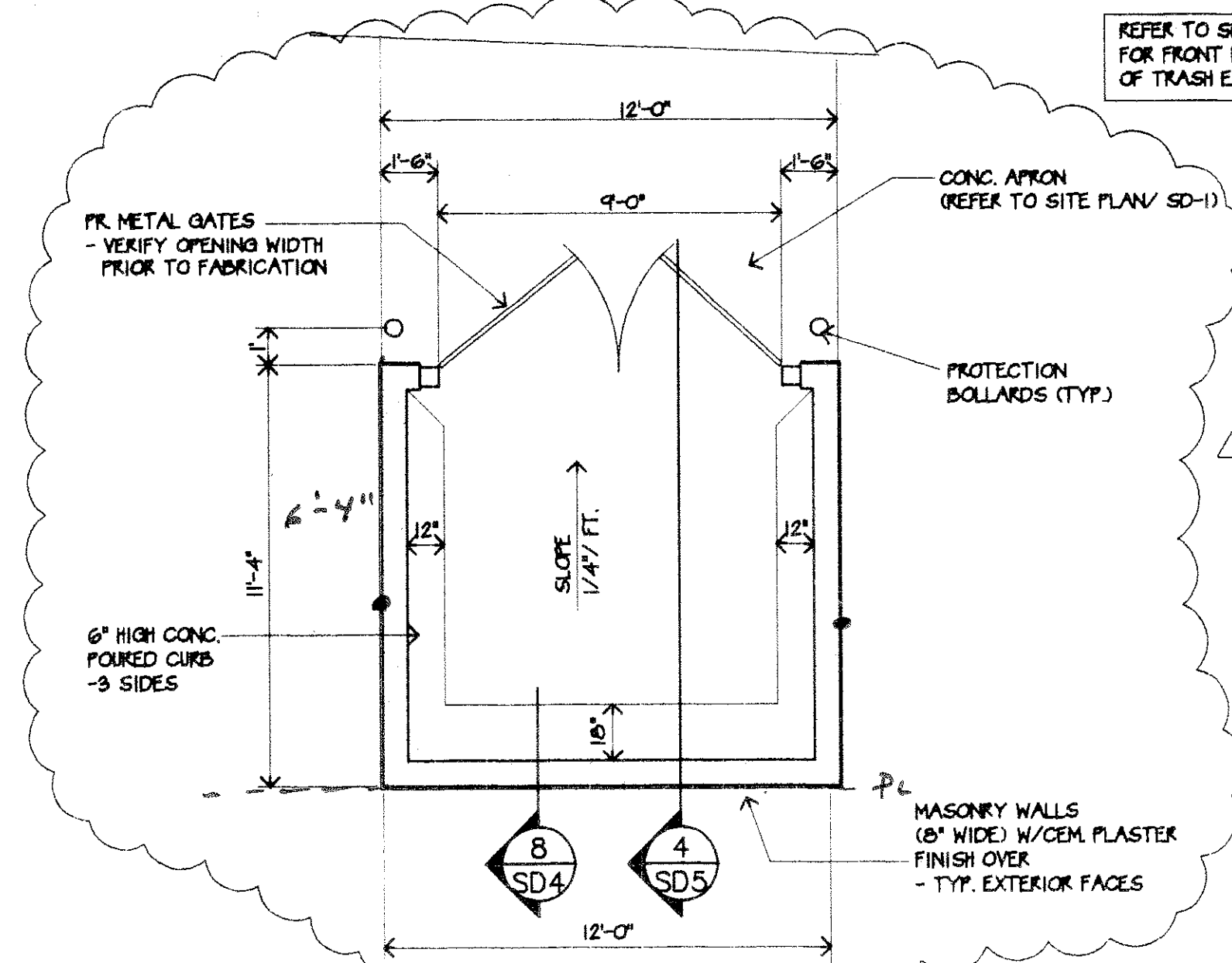


15 CURB RAMP DETAIL
NO SCALE

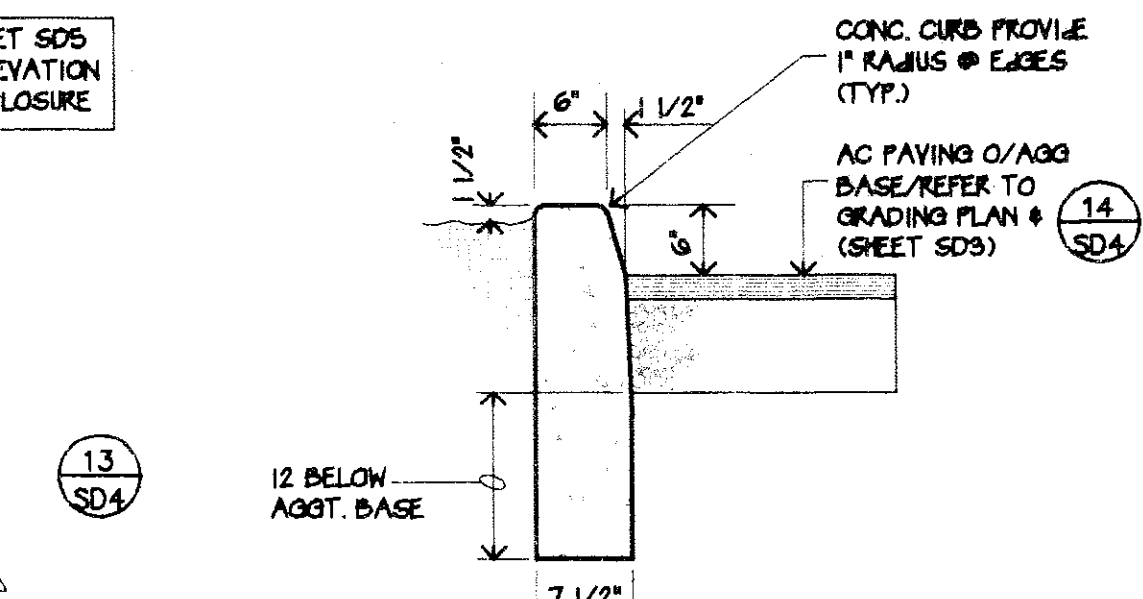


11 HANDICAP STALL GRAPHIC
NO SCALE

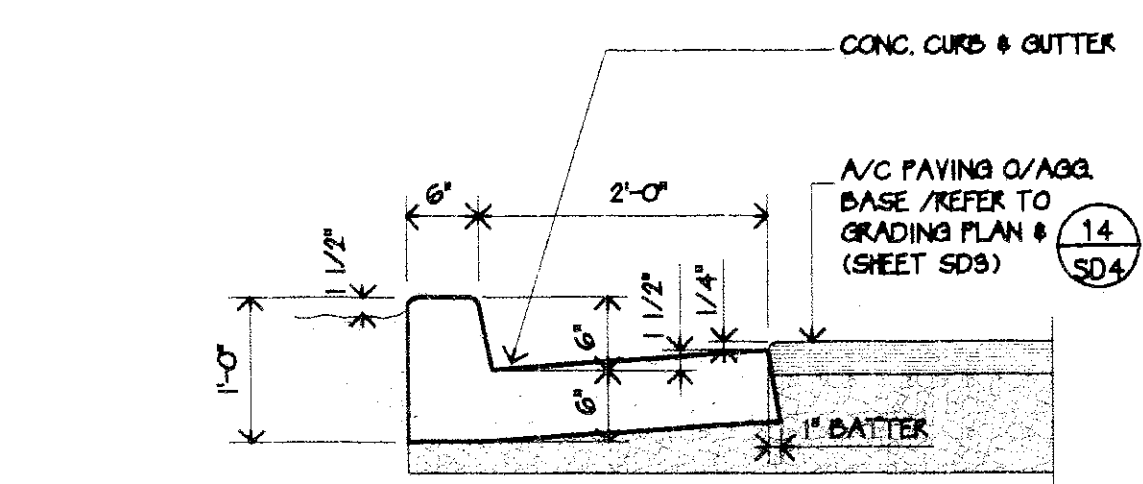
11-5
6-4



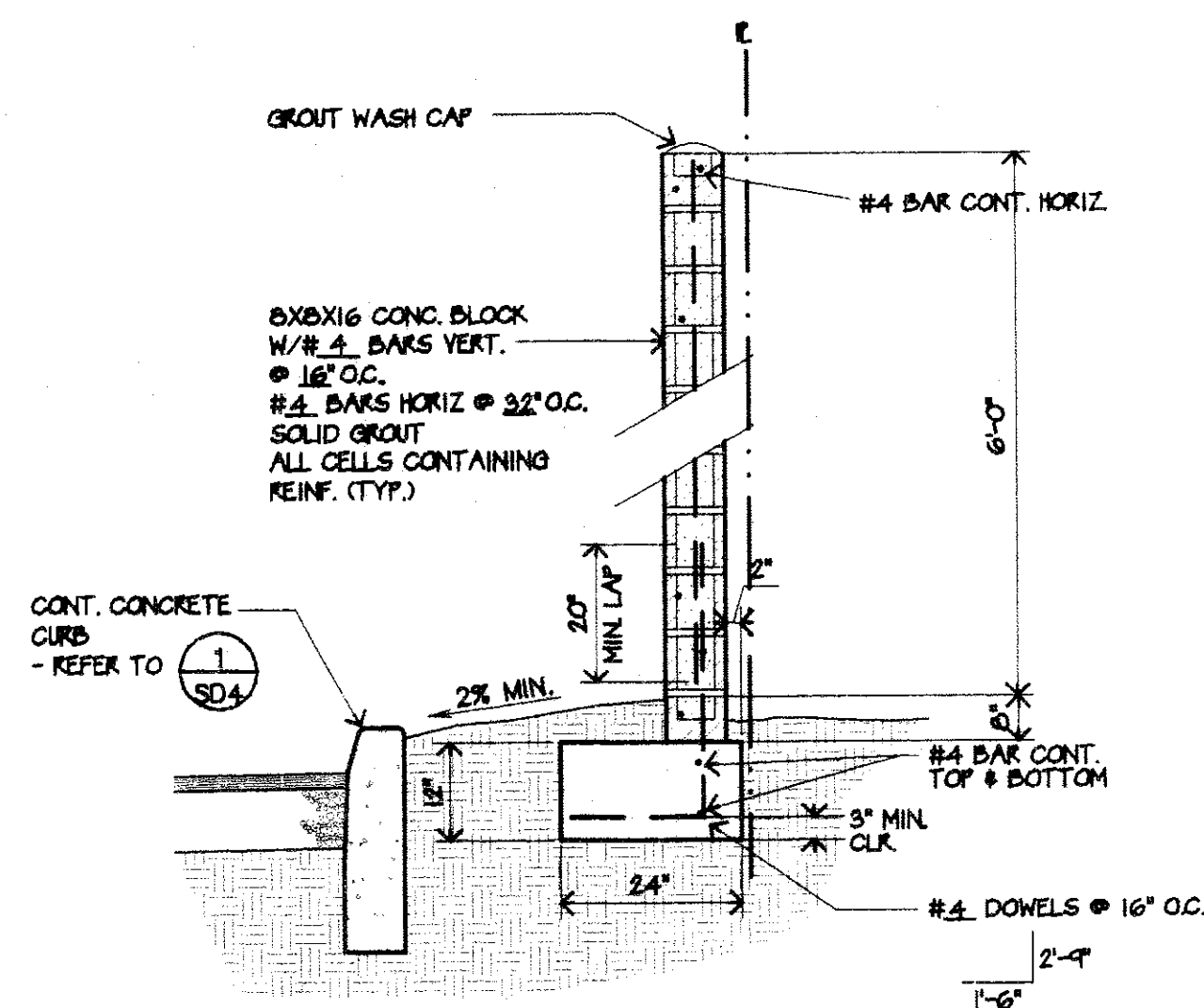
7 TRASH/RECYCLING ENCLOSURE DETAIL
SCALE: 1/4\"/>



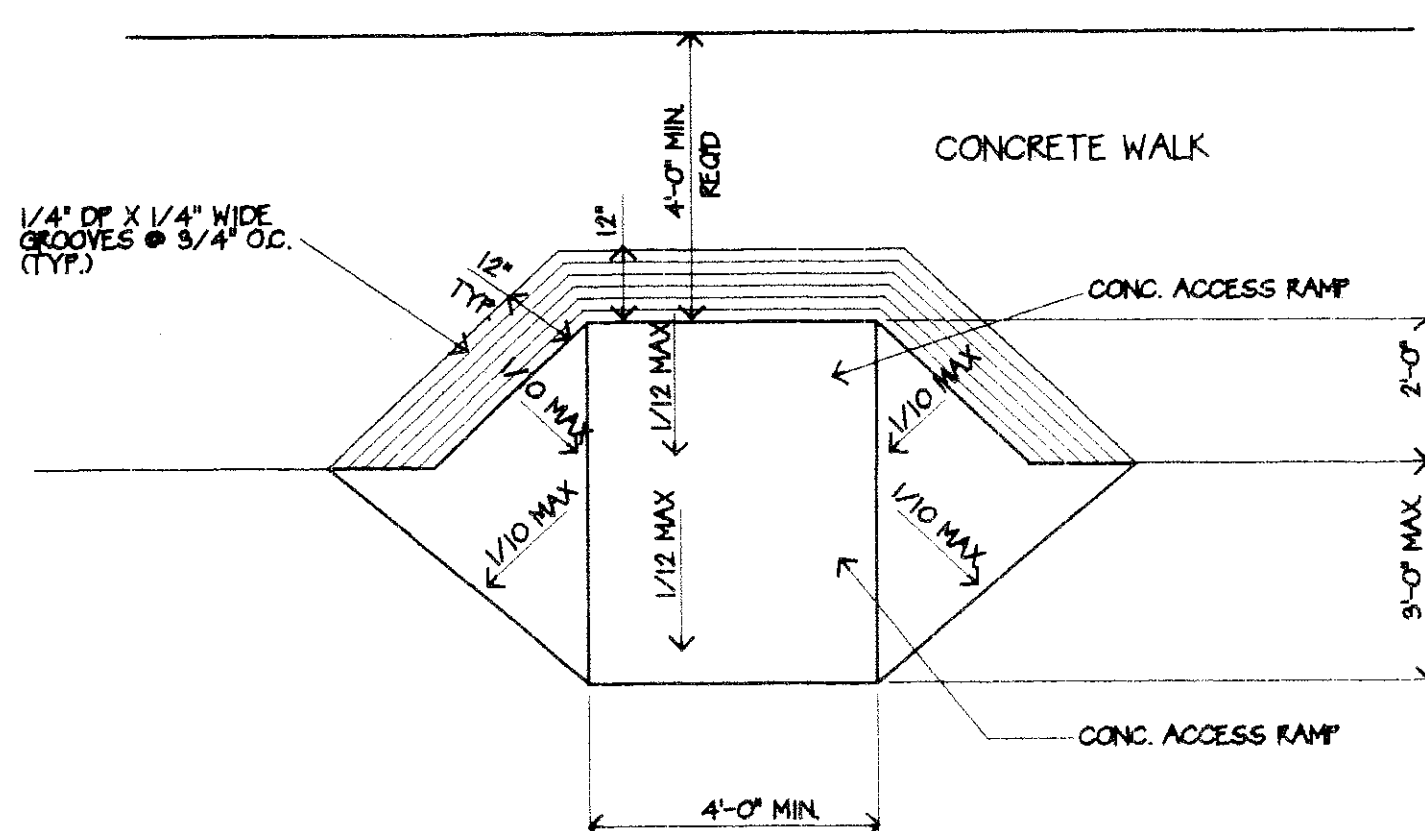
13 CONG. CURB DETAIL
SCALE: 3/4\"/>



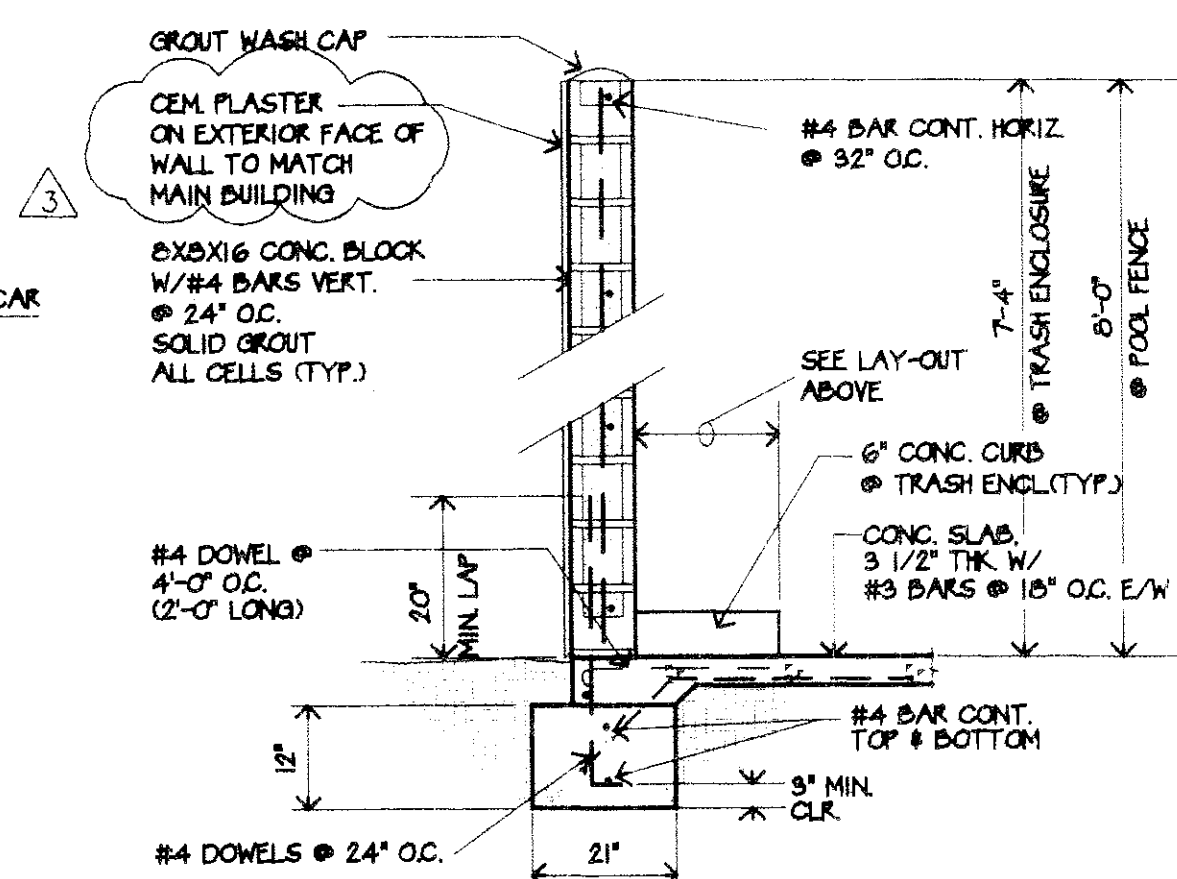
2 CONG. CURB GUTTER DETAIL
SCALE: 3/4\"/>



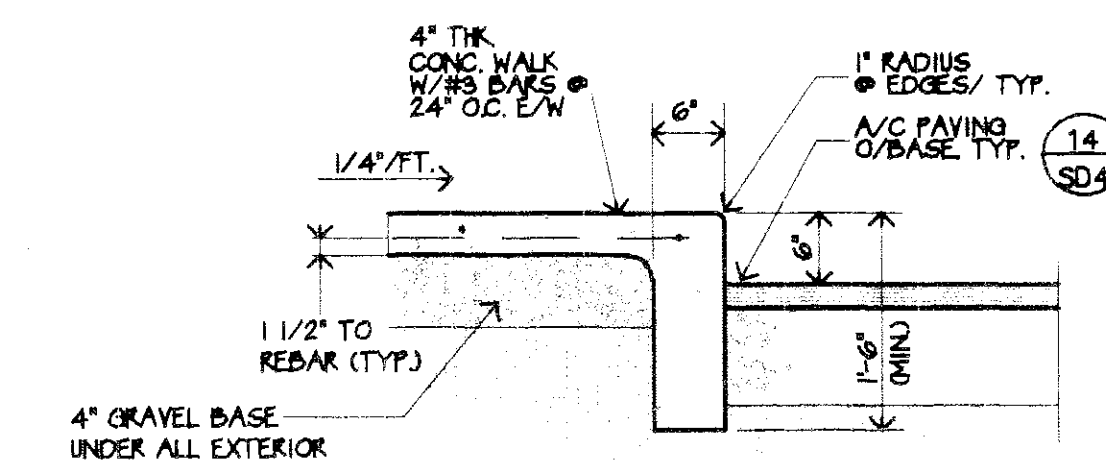
16 CMU FENCE & PROPERTY LINE
SCALE: 1/2\"/>



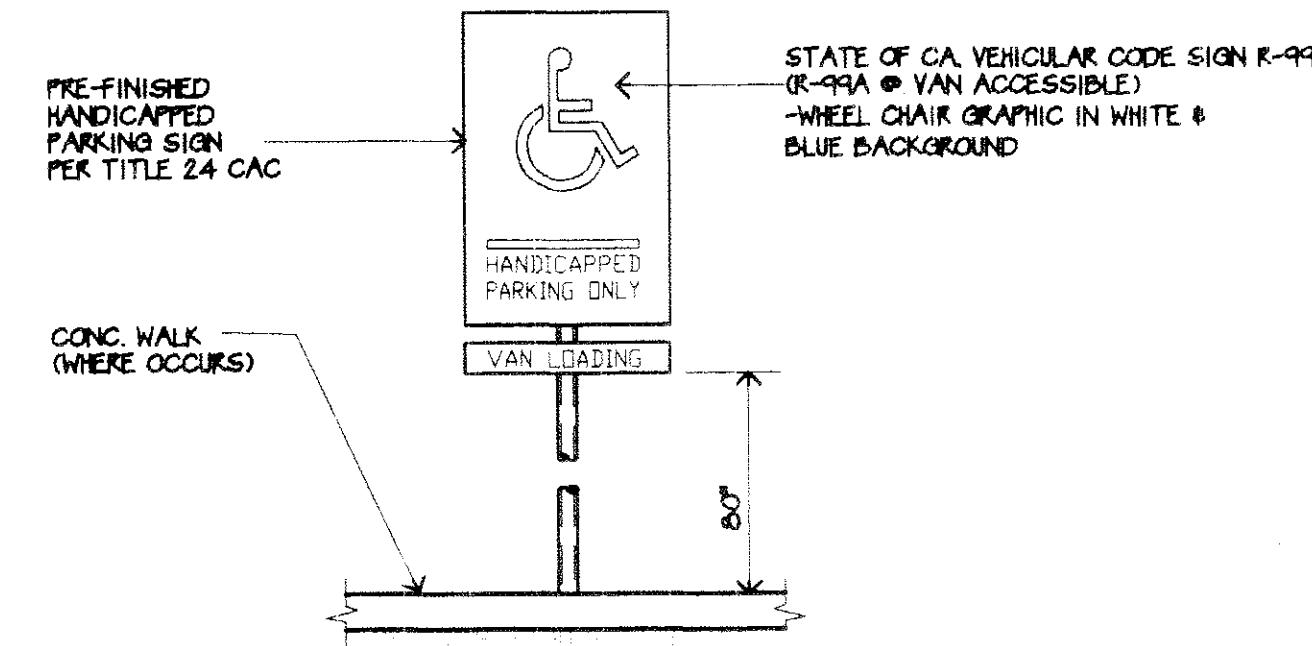
12 HANDICAP ACCESS CURB RAMP
SCALE: 3/8\"/>



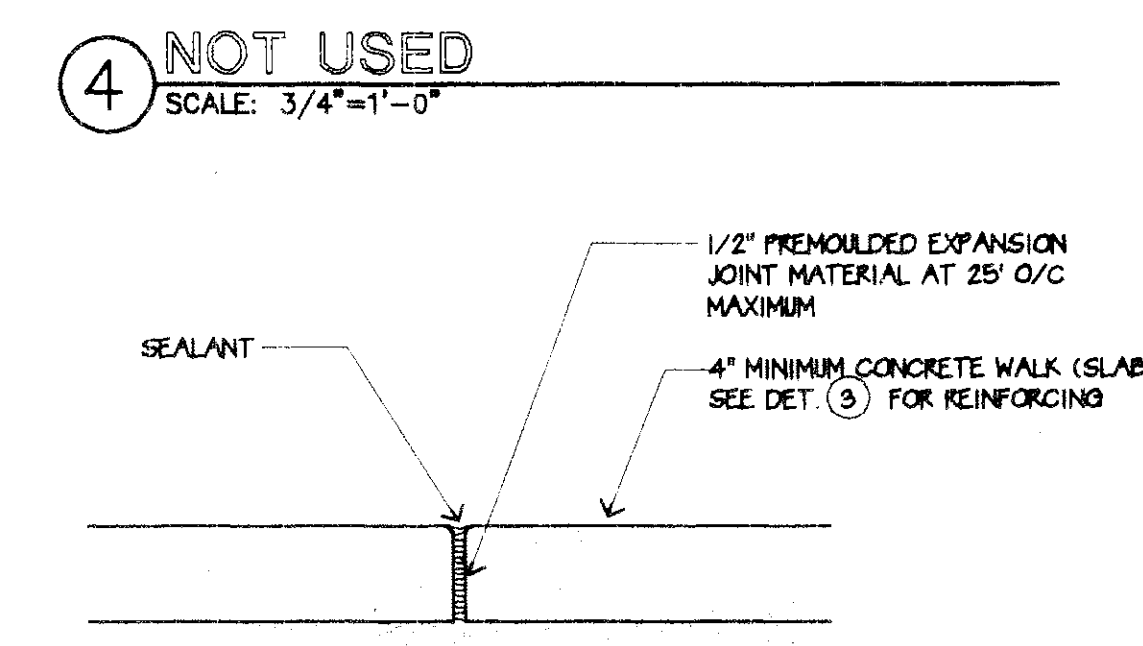
8 TRASH ENCLOSURE WALL SECTION
SCALE: 1/2\"/>



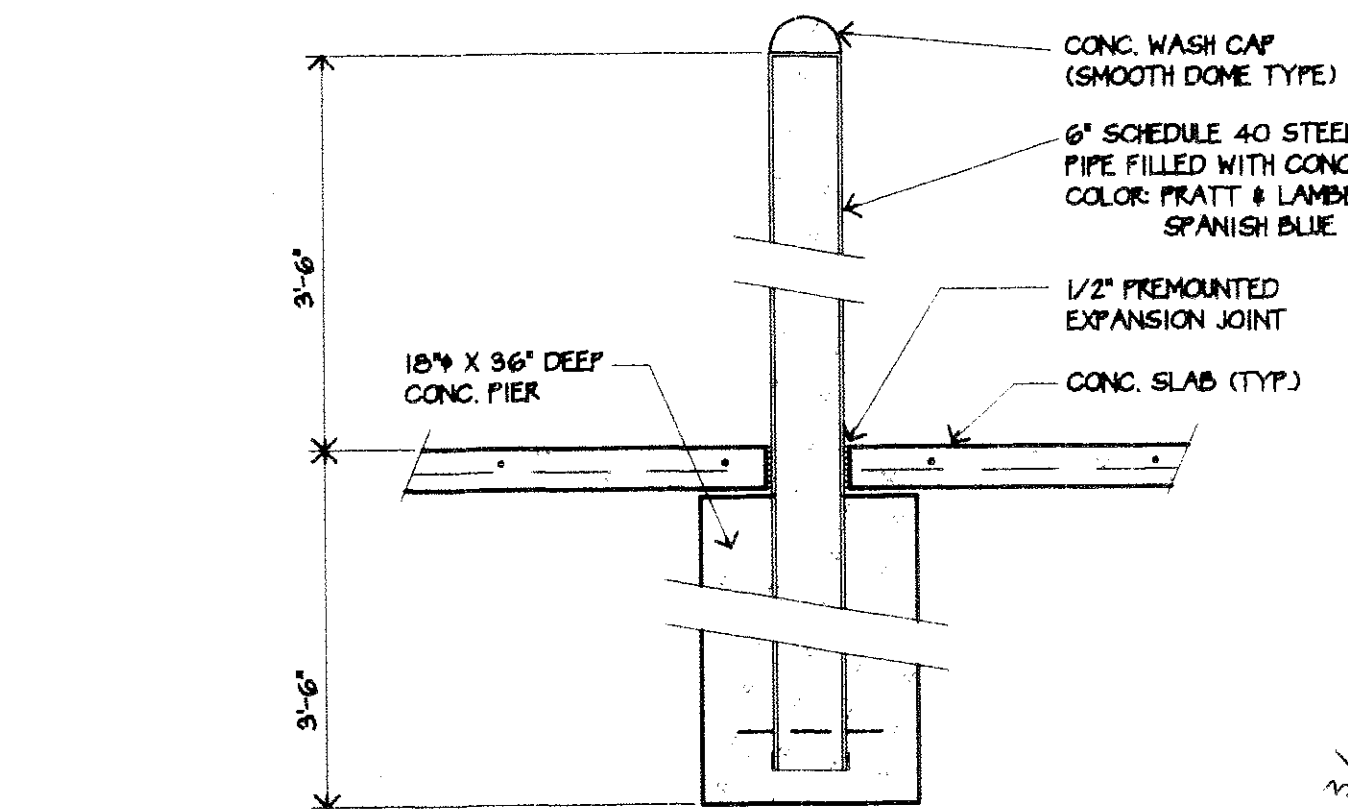
3 CONG. WALK/CURB DETAIL
SCALE: 3/4\"/>



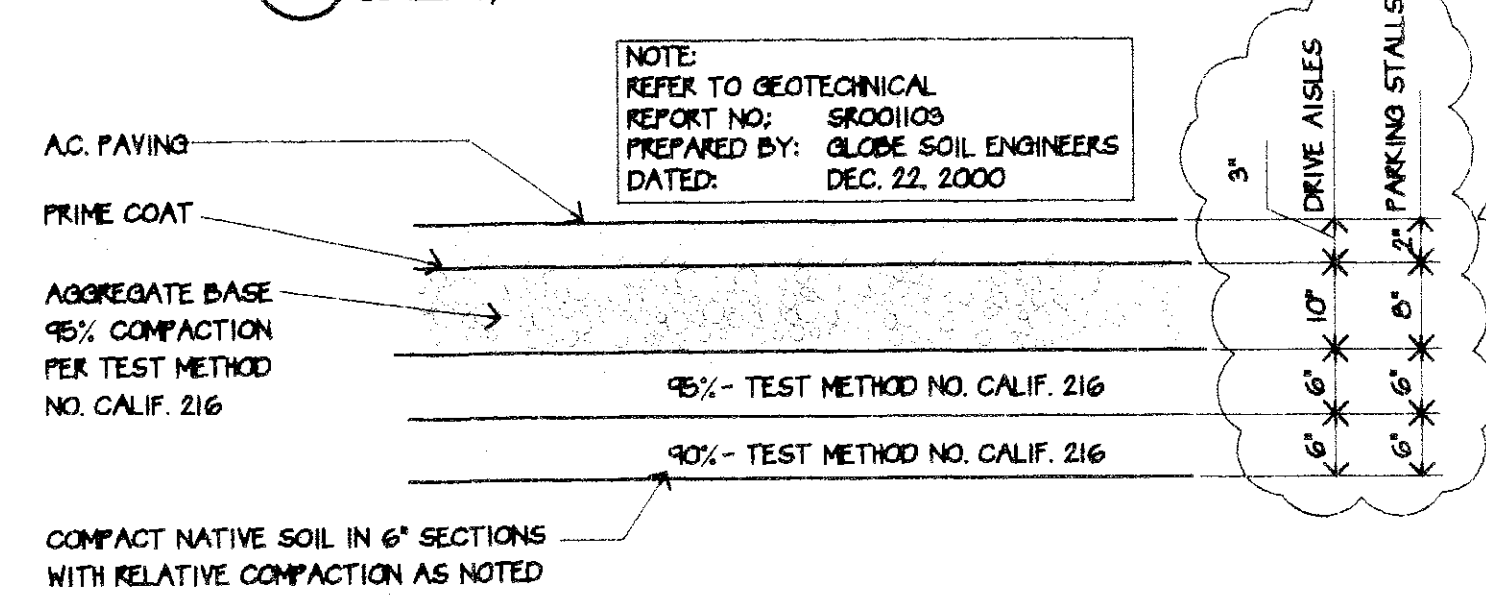
9 HANDICAP POLE SIGN
NO SCALE



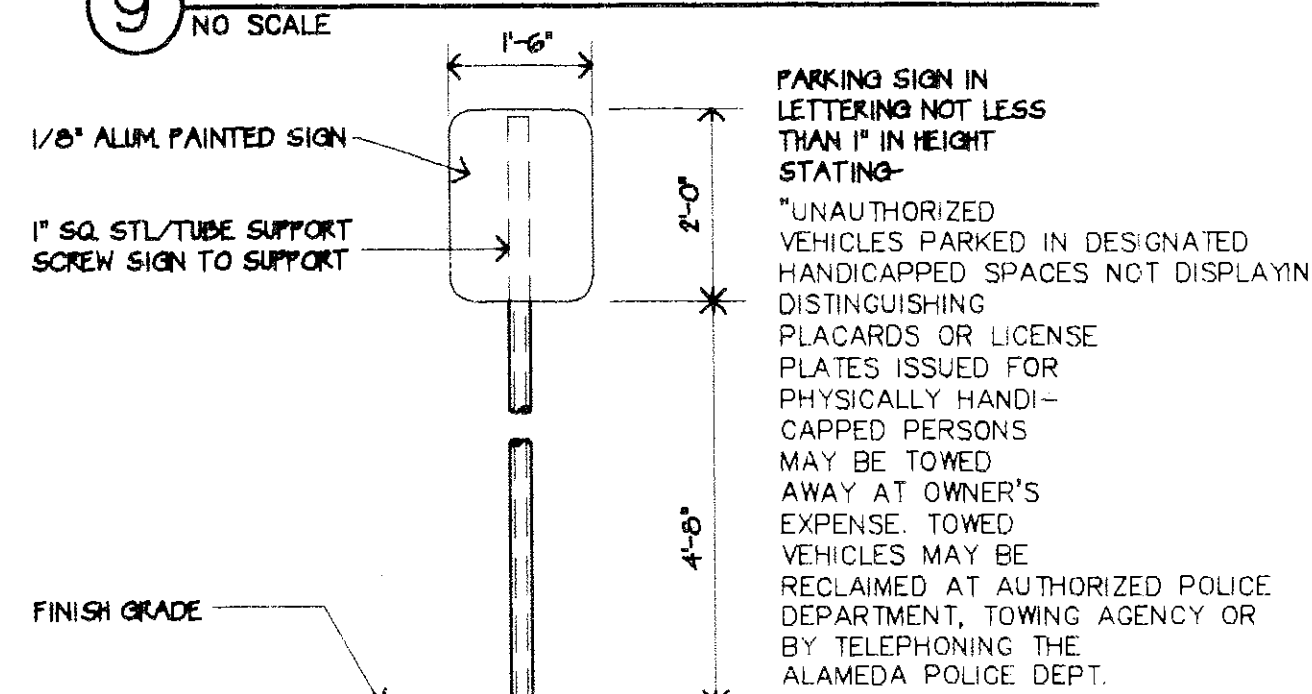
5 TYP. EXPANSION JOINT DETAIL
SCALE: NONE



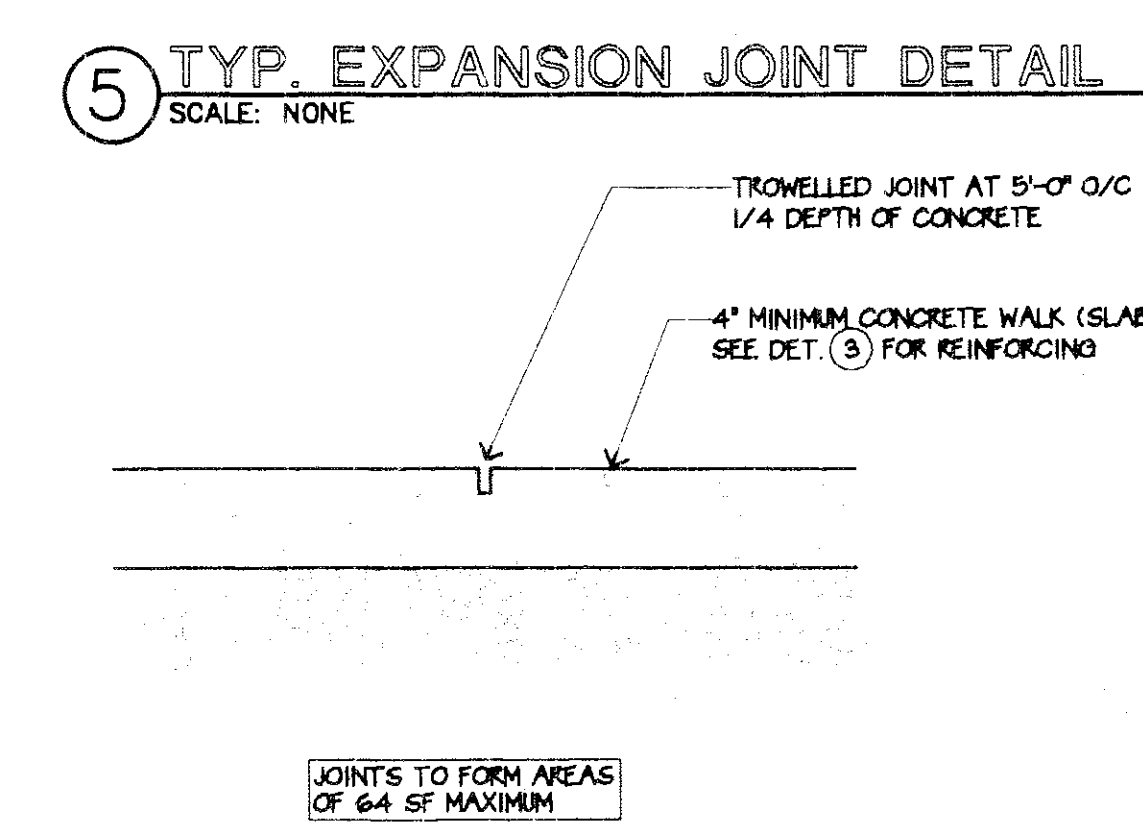
13 BOLLARD DETAIL
SCALE: 3/4\"/>



14 PAVING SECTION
NO SCALE



10 HANDICAP SIGN AT ENTRANCE TO PARKING LOT
SCALE: 1/2\"/>



6 TYP. CONTROL JOINT DETAIL
SCALE: NONE

LEE GAGE & ASSOCIATES, INC.
architecture • engineering • planning
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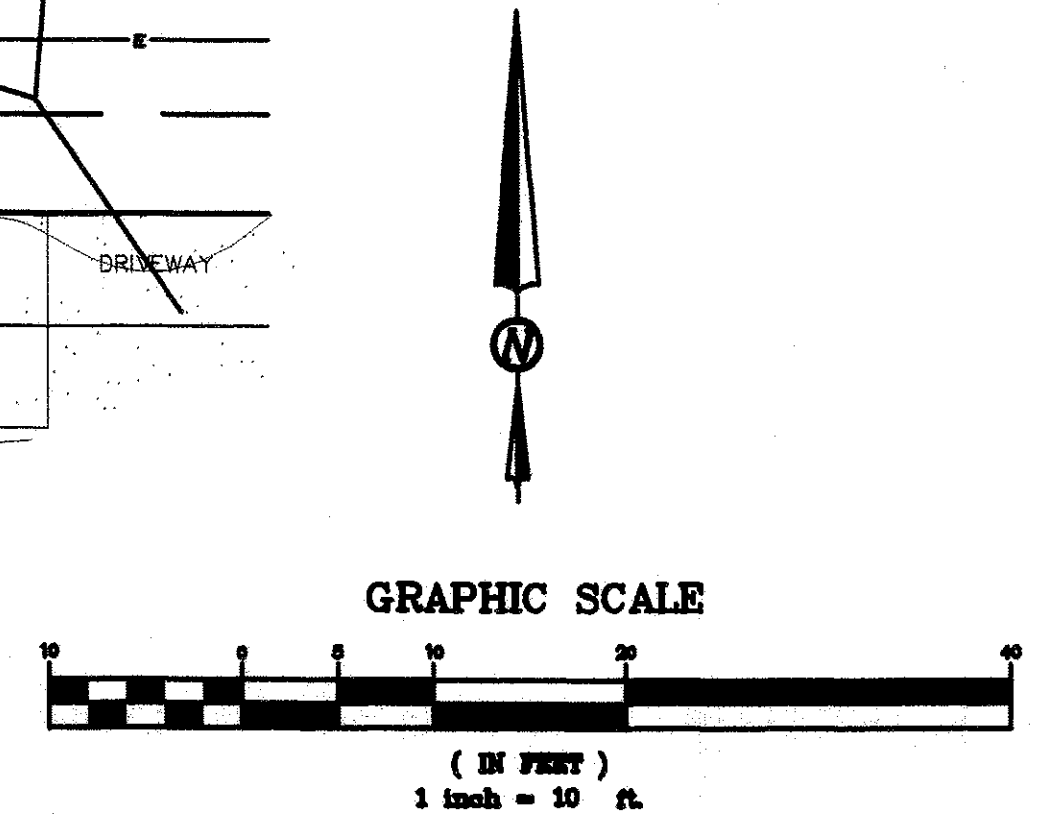
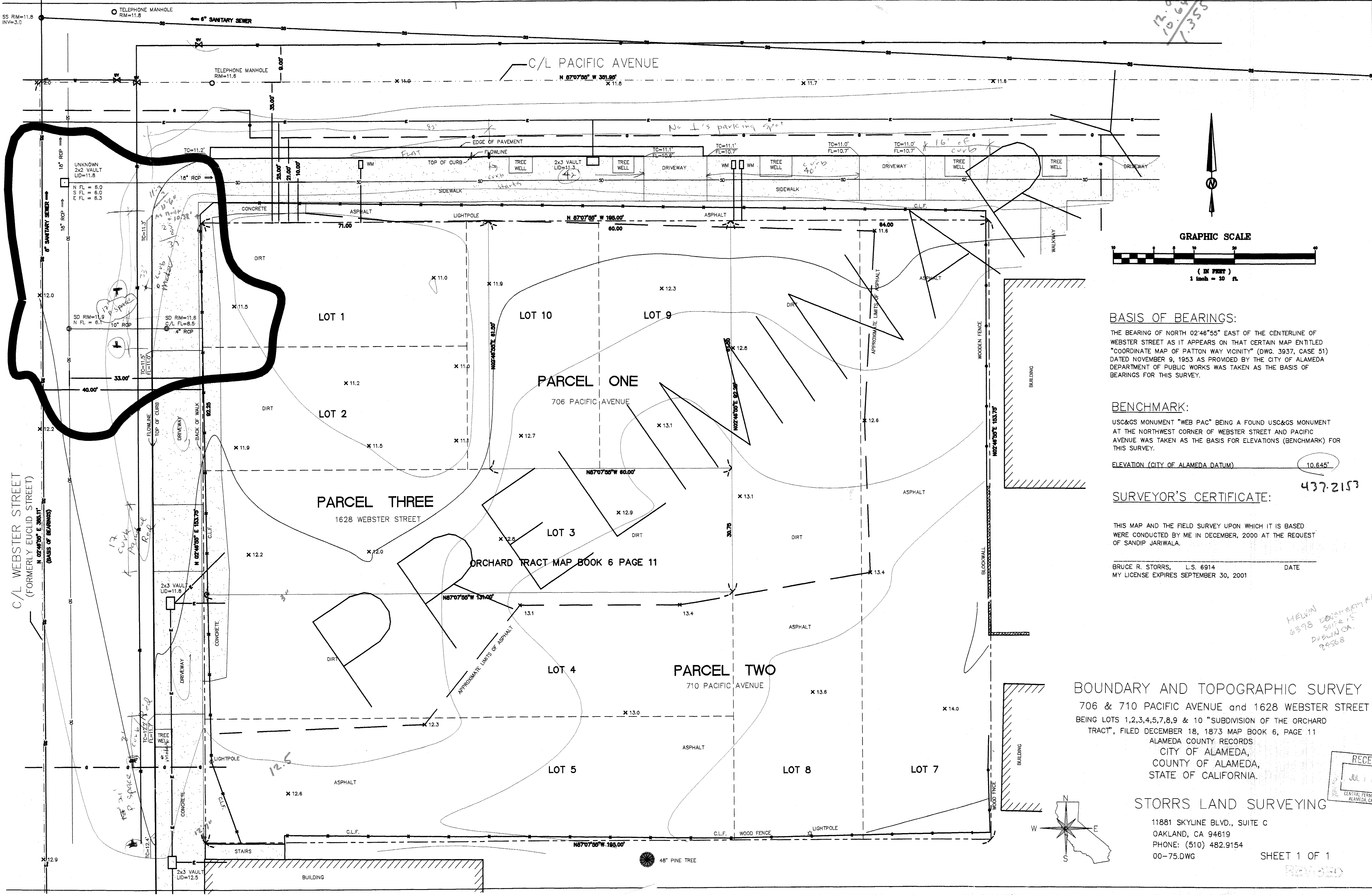
HAWTHORN SUITES LTD.
1628 WEBSTER STREET
ALAMEDA, CA
PROPOSED: **ALAMEDA HOSPITALITY, LLC**
1940 FRANCISCAN WAY, SUITE #110
ALAMEDA, CA 94601 PHONE/FAX (415) 514-9881

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7/3/02

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ARCHITECT CLARIFICATION
CENTRAL PERMITS OFFICE
1-31-03

SD4
SHEET OF



BASIS OF BEARINGS:
THE BEARING OF NORTH 02°46'55" EAST OF THE CENTERLINE OF WEBSTER STREET AS IT APPEARS ON THAT CERTAIN MAP ENTITLED "COORDINATE MAP OF PATTON WAY VICINITY" (DWG. 3937, CASE 51) DATED NOVEMBER 9, 1953 AS PROVIDED BY THE CITY OF ALAMEDA DEPARTMENT OF PUBLIC WORKS WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCHMARK:
USC&GS MONUMENT "WEB PAC" BEING A FOUND USC&GS MONUMENT AT THE NORTHWEST CORNER OF WEBSTER STREET AND PACIFIC AVENUE WAS TAKEN AS THE BASIS FOR ELEVATIONS (BENCHMARK) FOR THIS SURVEY.

ELEVATION (CITY OF ALAMEDA DATUM) 10.645'
437.2153

SURVEYOR'S CERTIFICATE:
THIS MAP AND THE FIELD SURVEY UPON WHICH IT IS BASED WERE CONDUCTED BY ME IN DECEMBER, 2000 AT THE REQUEST OF SANDIP JARIWALA.

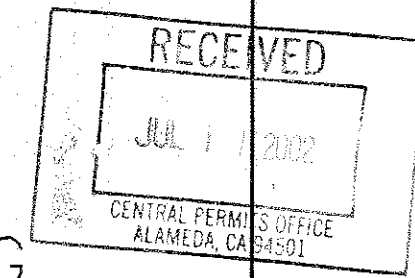
BRUCE R. STORRS, L.S. 6914 DATE
MY LICENSE EXPIRES SEPTEMBER 30, 2001

BOUNDARY AND TOPOGRAPHIC SURVEY
706 & 710 PACIFIC AVENUE and 1628 WEBSTER STREET
BEING LOTS 1,2,3,4,5,7,8,9 & 10 "SUBDIVISION OF THE ORCHARD TRACT", FILED DECEMBER 18, 1873 MAP BOOK 6, PAGE 11
ALAMEDA COUNTY RECORDS
CITY OF ALAMEDA,
COUNTY OF ALAMEDA,
STATE OF CALIFORNIA.

STORRS LAND SURVEYING

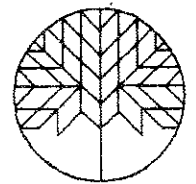
11881 SKYLINE BLVD., SUITE C
OAKLAND, CA 94619
PHONE: (510) 482.9154
00-75.DWG


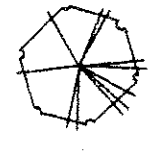

SHEET 1 OF 1



WEBSTER STREET

PACIFIC AVENUE


**HAWTHORN
SUITES
LTD.**
3 STORY
50 GUESTROOMS

TREE LEGEND			
Symb	Tree Type & Function	Typical Species	Spacing
	MEDIUM TO LARGE CANOPIED DECIDUOUS OR EVERGREEN TREE FOR SHADE IN PARKING LOT	CHINESE PISTACHE, OAK	25' O.C. ON SITE PERIMETER AND AS SPECIFIED ON INTERIOR
	MEDIUM CANOPIED DECIDUOUS OR EVERGREEN TREE FOR SHADE AND ORNAMENTAL USE.	BRADFORD PEAR, GOLDEN RAIN TREE, AUSTRALIAN WILLOW	AS SHOWN ON PLAN
	SMALL ORNAMENTAL TREE FOR VISUAL ACCENT	MULTI-STEMMED MAGNOLIA, PALMS	AS SHOWN ON PLAN

PLANT PALETTE

Description	Botanical Name	Common Name	Size	Water Use Factor
TREES				
Drive entry Accent	LARGERSTROEMA INDICA "Watermelon"	Crepe Myrtle, Std.	15-gallon	Low
Large Canopy Shade Tree	CELTIS SINENSIS PISTACIA CHINENSIS	Chinese Hackberry Chinese Pistache	15-gallon 15-gallon	Low Low
Perimeter Evergreen Tree	PINUS ELDARICA PITTOSPORUM PHILLYRAEOIDES	Mondell Pine Willow Pittosporum	15-gallon 15-gallon	Low Low
Flowering Accent Tree	PYRUS CALLERYANA 'Bradfordii'	Flowering Pear	24" Box	Medium
Interior Parking Lot Tree	QUERCUS AGRIFFOLIA	Coast Live Oak, Std.	24" Box	Low
Accent Palm	WASHINGTONIA ROBUSTA	Mexican Fan Palm	24" Box	Medium
SHRUBS				
Drive Entry Accent	VERBENA PERUVIANA ANNUALS-IN-SEASON	Verbena Annual color	1-gallon 4" Pots	Low High
Parking Lot Screen Hedge	RHAPHIOLEPIS INDICA 'Jack Evans'	India Hawthorn	5-gallon	Low
Perimeter/Screen Planting	CEANOTHUS 'Joyce Coulter' CISTUS PURPUREUS HETEROMELES ARBUTIFOLIA NERIUM OLEANDER 'Little Red'	Wild Lilac Orchid Rockrose Toyon Dwarf Oleander	5-gallon 5-gallon 5-gallon 5-gallon	Low Low Low Low
Building Planting	DIETES VEGETA HEMEROCALLIS 'Stella De Oro' MAHONIA AQUIFOLIUM PHORNIUM TENAX 'Maori Queen' VIBURNUM TINUS 'Spring Bouquet' XYLOSMA CONGESTUM	Fortnight lily Orange Daylily Oregon Grape New Zealand Flax Laurustinus Shiny Xylosma	1-gallon 1-gallon 5-gallon 5-gallon 5-gallon 5-gallon	Low Medium Low Low Low Low
Patio Area Planting	AGAPANTHUS 'Peter Pan' BUXUS J. 'Microphylla' PHOTINIA FRASERI NANDINA DOM. 'Harbor Dwarf'	Lily-of-the-Nile Japanese Boxwood Photinia Dwf. Heavenly Bamboo	1-gallon 5-gallon 5-gallon 1-gallon	Low Medium Medium Medium
GROUND COVER				
Low	Dwarf Fescue-Bluegrass Mix	Lawn	Sod	High
Flowering ground cover	GAZANIA 'Copper King'	Gazania	flats	Low
Spreading ground cover	COTONEASTER DAMMERI	Cotoneaster Bearberry	1-gallon	Low
Spreading ground cover	MYOPORUM PARVIFOLIUM 'Putah Crk.'	Prostrate Myoporum	1-gallon	Low
Flowering ground cover	ROSMARINUS OFFICINALIS	Rosemary	flats	Low
Flowering ground cover	TRACHELOSPERMUM JASMINOIDES	Star Jasmine	flats	Medium
Flowering ground cover	VINCA MINOR	Dwarf Periwinkle	flats	Low

GENERAL LANDSCAPE NOTES

Future landscape construction documents shall endeavor to comply with City of Alameda water conservation requirements, as well as other applicable codes and ordinances.

All landscape areas shall be automatically irrigated with either a pop-up spray or drip system. Irrigation design to follow City guidelines.

Plant material listed on the plant palette are to be selected as the predominate species for areas on the project. Other species may be used in compliance with the City's guidelines where appropriate as accents or to meet specific conditions.

Plant material sizes proposed are preliminary recommendations only. Proposed trees shall be installed as 15-gallon minimum, with one-third planted in specimen size (24" Box); shrubs shall be planted in 5-gallon size typical, smaller accent shrubs and perennials to be planted in 1-gallon size. Final container size specified on construction documents may change, but shall comply with City requirements.

A minimum of two-inches of bark mulch shall be added in shrub areas after planting, where grades allow.

Trees within eight feet of pavement shall have root barriers installed. Tree layout will be adjusted to maintain ten-foot clearance from sewer and water lines, where possible.

Trees adjacent to City sidewalks shall have Deep Root Barrier #UB18-2 (or equal) along back side of sidewalk.

OWNER/DEVELOPER
SANDIP JARIWALA
38 ANTELOPE BLVD.
RED BLUFF, CA. 96080
TELEPHONE: (530) 527-6020
FAX: (530) 527-4853



LANDSCAPE SITE PLAN
SCALE: 1"=10'-0"

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ALAMEDA, CA 94601

L1

SHEET
OF

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**HAWTHORN
SUITES
LTD.**

PROPOSED: HAWTHORN SUITES LTD.
1828 WEBSTER STREET
ALAMEDA, CA
OWNERS: ALAMEDA HOSPITALITY, LLC
1000 WILSON AVENUE, SUITE 100
ALAMEDA, CA 94601 PHONE: (415) 814-9881

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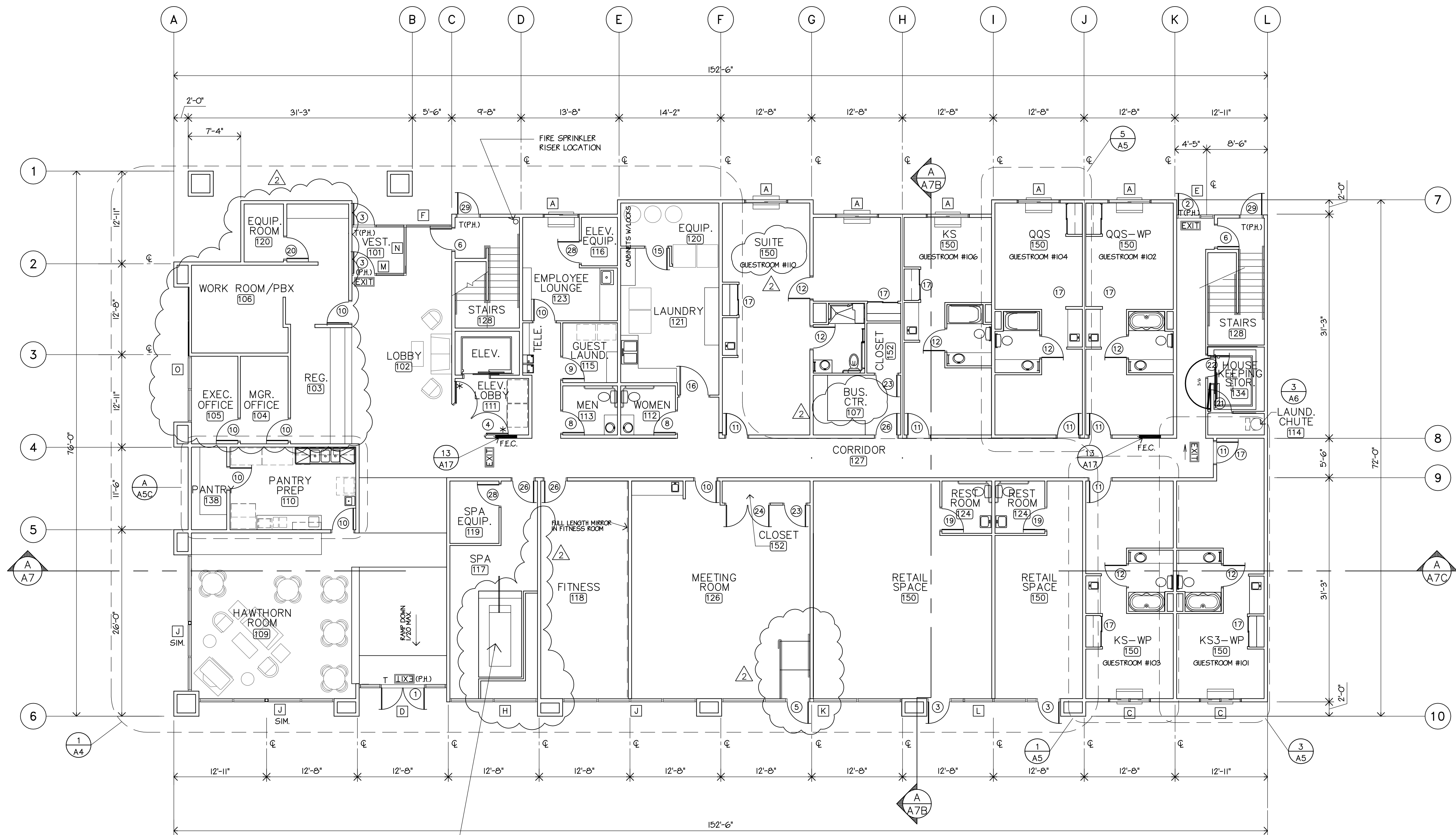
LEE GAGE & ASSOCIATES, INC.
11-31-03
STATE OF CALIFORNIA

ARCHITECT SANDIP JARIWALA
REGISTERED ARCHITECT
STATE OF CALIFORNIA

LEE GAGE & ASSOCIATES, INC.

1000 WILSON AVENUE, SUITE 100
ALAMEDA, CA 94601

PHONE: (415) 814-9881



NOTE:
SPA & EQUIPMENT REQUIRE
SEPARATE REVIEW & PERMIT
BY GENERAL CONTRACTOR

NOTES:

- INSULATE ALL EXTERIOR WALLS W/ R-19 FIBERGLASS BATT INSULATION. (UNLESS NOTED OTHERWISE)
- INSULATE CEILING AREA WITH R-30 FIBERGLASS BATT INSULATION/ UNLESS NOTED OTHERWISE ON PLANS.
- PROVIDE LEVER-TYPE DOOR HARDWARE PER STATE OF CALIFORNIA TITLE 24 REQUIREMENTS. NOT LESS THAN 30" NOR MORE THAN 44" A.F.F.
- PROVIDE PORTABLE FIRE EXTINGUISHERS / SIZE AND LOCATION PER FIRE DEPT. REQUIREMENTS (NFPA PAMPHLET PG. 10)
- FLAME SPREAD CLASSIFICATION FOR INTERIOR WALLS AND CEILINGS TO BE CLASS III. (AUTOMATIC FIRE SPRINKLER SYSTEM PROVIDED).
- FIRE EXTINGUISHING PLANS TO BE SUBMITTED TO THE LOCAL GOVERNING FIRE DEPT. PRIOR TO ERECTION FOR APPROVAL AND PROVIDE CENTRAL STATION SUPERVISION ON SYSTEMS. (GENERAL CONTRACTOR REQ'T.)
- THE FIRE ALARM SYSTEM SHALL BE U.L. LISTED AND APPROVED BY THE STATE FIRE MARSHALL. PLANS SHALL BE SUBMITTED TO THE LOCAL GOVERNING FIRE DEPT. PRIOR TO INSTALLATION FOR APPROVAL. (GENERAL CONTRACTOR REQ'T.)
- ALL EXPOSED INSULATION SHALL HAVE MAX. FLAME SPREAD OF 25 & MAX. SMOKE RATING OF 450.
- ALL MATERIAL EXPOSED IN PLENUM SPACE ABOVE CEILING TO HAVE A MAXIMUM FLAME SPREAD OF 25 AND A MAXIMUM SMOKE RATING OF 50.
- PROVIDE 5" x 5" SQ. HANDICAP ACCESSIBILITY DECAL AT ALL ENTRANCES TO THE BUILDING/ MOUNT @ +5'-0" AFF - DOORS ① & ② -REFER TO HS2
- WEATHER-STRIP ALL EXTERIOR DOORS PER TITLE 24 REQUIREMENTS.
- EXIT DOORS TO BE OPEN ABLE W/ MAX. 8 1/2 LBS. FOR EXTERIOR DOORS & 5 LBS. FOR INTERIOR DOORS.

- F.E.C. = FIRE EXTINGUISHER CABINET
- 2-A-10BC FIRE EXTINGUISHER
- MOUNT @ +5'-0" A.F.F.
- ALL DECORATIVE MATERIALS SHALL BE FIRE RETARDANT OR APPROVED TREATED MATERIALS.
- THE SPRINKLER SYSTEM SHALL BE INTERCONNECTED W/ THE FIRE ALARM SYSTEM / TO AUTOMATICALLY ACTIVATE THE FIRE ALARM IF SPRINKLER SYSTEM IS ACTIVATED.
- PROVIDE A STREET VISIBLE ADDRESS ON BUILDING PRIOR TO FINAL INSPECTION. (12" HIGH MINIMUM)
- PROVIDE "NO SMOKING" SIGNS PER F.M.C.
- INTERNATIONAL "NO SMOKING" SYMBOL IN RED OR 1" HIGH LETTER STATING "NO SMOKING"
- 40 SQ. INCHES IN SIZE & LOCATED 60" A.F.F.
- ALL EXTERIOR WALLS ARE 2X6 UNLESS NOTED OTHERWISE
- ALL OTHER FRAMING TO BE 2X4 UNLESS NOTED OTHERWISE / REFER TO STRUCT. DWGS. FOR REQUIREMENTS WHICH SHALL GOVERN OVER ARCHITECTURAL DWGS.
- ALL DIMENSIONS ARE TO THE FACE OF STUDS UNLESS NOTED OTHERWISE.
- PROVIDE BLOCKING BEHIND ALL WALL MOUNTED ACCESSORIES, FIXTURES, FITTINGS, ETC.
- REFER TO DETAIL 9/A11
- REFER TO ENLARGED PLANS FOR ALL DOOR, WINDOW AND PARTITION TYPES UNLESS OTHERWISE NOTED.
- WHERE DRAPERY RODS ARE USED AT WINDOWS, PROVIDE WOOD BLOCKING IN CEILING FOR ATTACHMENT AS REQUIRED.

- ALL COMPONENTS OF FIRE RATED DOOR ASSEMBLIES SHALL BEAR THE LABEL OF AN APPROVED TESTING AGENCY, INCLUDES: DOOR, FRAMES, CLOSING DEVICE & LATCHES.
- * INDICATES LOCATION OF DOOR HOLDER/ RELEASE DEVICE
-REFER OT SHEET A9B FOR INFORMATION
- MAXIMUM CROSS SLOPE OF ALL LANDINGS, RAMPS AND/OR WALKS TO BE 1/4"/FT.
- REFER TO STRUCTURAL PLANS FOR ALL SHEAR WALL LOCATIONS
- NO THUMB LATCHES OR KEYED CYLINDER DEAD BOLTS ALLOWED ON ANY DOORS UNLESS OPERATED BY A SINGLE ACTION WITH A LEVER. THE PROPOSED HARDWARE MUST BE APPROVED FOR EXITING REGARDLESS OF OCCUPANT LOADS.
- PANIC HARDWARE (WHERE REQUIRED) SHALL BE MOUNTED: 30" MIN., 44" MAX. FROM FIN. FLOOR
- OCCUPIED STRUCTURES SHALL BE SOUND PROOFED TO REDUCE INTERIOR NOISE TO 45 dB. ACCORDING TO STATE GUIDELINES. REFLECTIVE MATERIALS ARE NOT PERMITTED TO BE USED IN STRUCTURES OR SIGNS (EXCLUDING TRAFFIC DIRECTING SIGNS), TO AVOID DISTRACTING PILOTS
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES IN WRITING PRIOR TO PROCEEDING WITH THAT PORTION OF WORK
- ALL WORK SHALL MEET OR EXCEED THE REQUIREMENTS OF THE OWNER'S FRANCHISE STANDARDS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY DOCUMENTS PERTAINING TO FRANCHISE REQUIREMENTS AND TO COORDINATE SAME WITH THE OWNER
- F.E. = PORTABLE WALL MTD. FIRE EXTINGUISHER 10 LB. ABC RATED (TYP. WHERE SHOWN)

NOTE:
PROVIDE 1-LAYER OF 5/8" TYPE 'X' GYPSUM BOARD AROUND ALL FACES OF WOOD COLUMNS (4X4, 6X6, 8X8, ETC.) SUPPORTING FLOOR &/ OR ROOF BEAMS - TYP. ALL FLOORS

PROVIDE 1-LAYER OF 5/8" TYPE 'X' GYPSUM BOARD AROUND ALL WOOD BEAMS FOR 1-HR. FIRE-RESISTIVE ASSEMBLY(ALL FACES & BTM.)

EACH DOOR TO AN EXIT STAIRWAY SHALL HAVE A TACTILE SIGN, INCLUDING RAISED LETTERS AND BRAILLE, STATING 'EXIT'

REFER TO ENLARGED PLANS FOR DETAILED REQUIREMENTS NOT SHOWN ON THIS SHEET

REFER TO SHEETS FS1 & FS2 FOR ALL AREA SEPARATION WALLS, OCCUPANCY SEPARATION WALLS, & FIRE SEPARATION WALLS.
-FIRE STOP INDEX ON FS1 SHALL BE USED FOR ALL PENETRATIONS WITHIN THESE WALLS.

* INDICATES ELECTRIC MAGNETIC HOLD OPEN WIRED TO FIRE ALARM. SEE NOTE #6 SHEET A9B

ITEMS FURNISHED BY OWNER:

- LAUNDRY EQUIPMENT: WASHERS & DRYERS
 - P.B.X., PHONE SYSTEM, T.V. & TELEPHONE WRING.
 - CAMERA & MONITORS
 - TESA LOCKS & INSTALLATION
 - GUEST LAUNDRY EQUIPMENT: WASHER & DRYERS
 - PREP./ SERVING AREA EQUIPMENT: REFRIGERATOR & FREEZER
 - VENDING AREA EQUIPMENT: ICE MACHINES, SODA & SNACK MACHINES
- VERIFY DISPOSITION OF GENERAL CONTRACTOR'S INSTALLATION REQ'TS. WITH OWNER PRIOR TO BIDDING.

- ① INDICATES DOOR DESIGNATION
- REFER TO SHEET A9 FOR DETAILED REQ'TS.

- A INDICATES WINDOW/ STOREFRONT DESIGNATION
- REFER TO SHEET A9 FOR DETAILED REQ'TS.

- ① INDICATES PARTITION TYPES
- REFER TO SHEET A10 FOR DETAILED REQ'TS.

- (T) INDICATES THRESHOLD REQUIRED
(PH) INDICATES PANIC HARDWARE REQUIRED

- EXIT INDICATES ILLUMINATED EXIT SIGN
- WITH REQUIRED DIRECTIONAL ARROWS

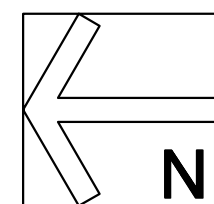
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OWNER REQUEST
7/3/02

ROOM TYPE INDEX

ROOM TYPE	FLOOR			TOTAL
	1st	2nd	3rd	
QQS	1	7	7	15
QQS-WP	1	-	-	1
QQS2	-	1	1	2
KS	1	8	8	18
KS-WP	1	-	-	1
KS2	-	1	1	2
KS3	-	1	1	2
KS3-WP	1	-	-	1
KS4	-	3	3	6
HQQS	-	1	-	1
HKS	-	-	1	1
SUITE	1	-	-	1
TOTAL	6	22	22	50

ROOM TYPE LEGEND

ROOM DESIGNATION	DESCRIPTION
QQS	DOUBLE QUEEN SUITE
KS	KING SUITE
HKS	HANDICAP ACCESSIBLE KING SUITE
WP	WHIRLPOOL
2, 3, 4	ADDITIONAL ROOM TYPES



MAIN FLOOR FLOOR PLAN

SCALE: 1/8"=1'-0"

(6 UNITS)

LEE GAGE & ASSOC., INC.

LEE GAGE & ASSOCIATES, INC.
architecture • engineering • planning
7636 n. ingram suite 107 fresno, california 93711 phone (559) 439-2222

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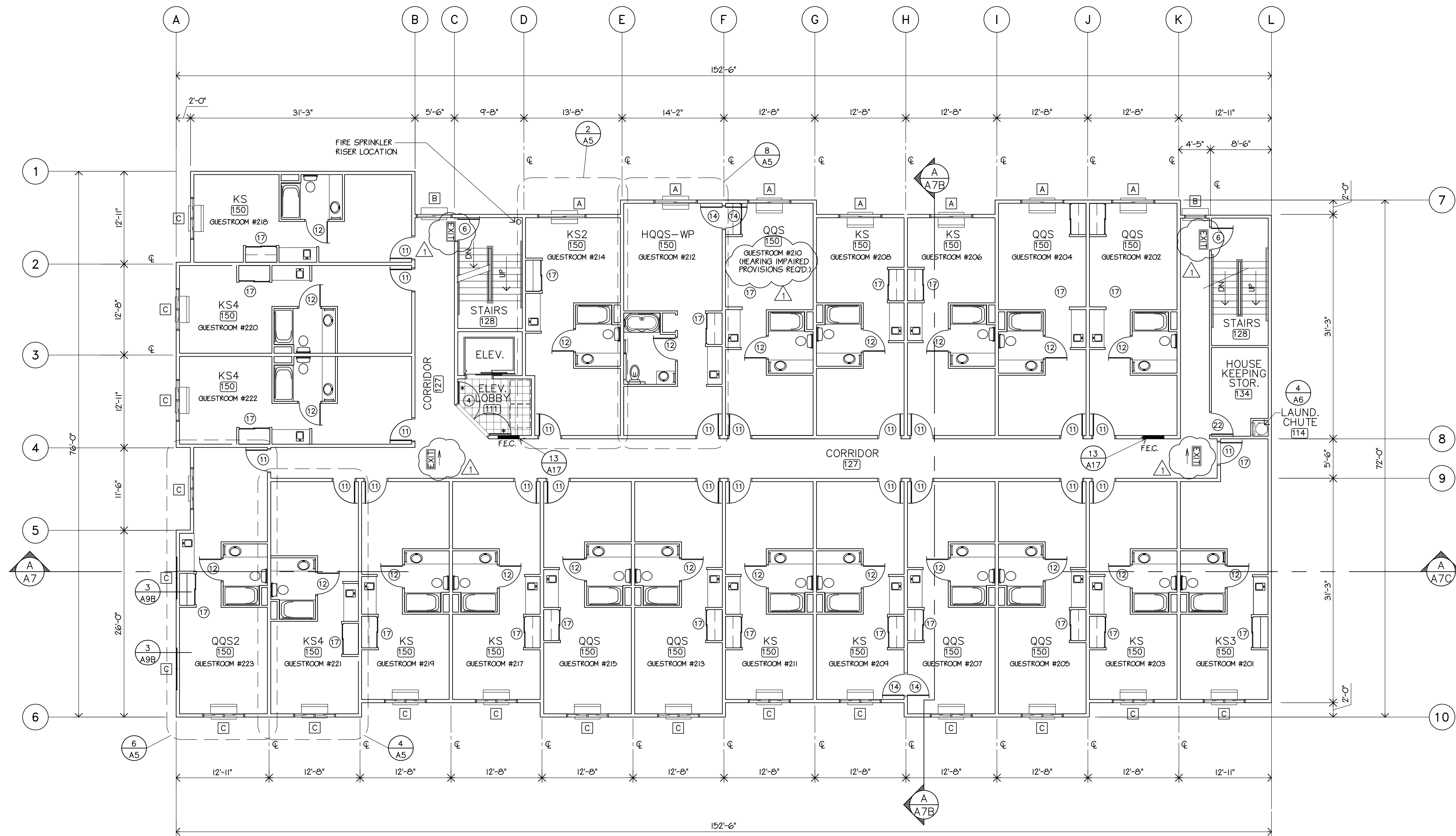
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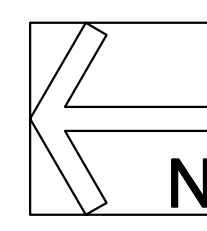
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STATE OF CALIFORNIA

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CITY OF ALAMEDA
7/3/02

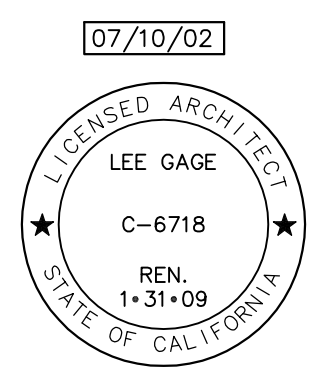


SECOND FLOOR FLOOR PLAN

SCALE: 1/8"=1'-0"

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PROPOSED: **HAWTHORN SUITES LTD.**
1028 WEBSTER STREET
ALAMEDA, CA. 94501
OWNERS: **ALAMEDA HOSPITALITY, LLC**
1940 FRANCISCAN WAY, SUITE #110
ALAMEDA, CA 94501 PHONE (510)522-1000

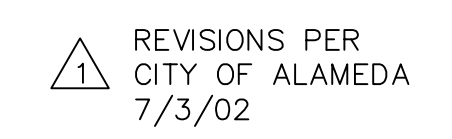


A2
SHEET
OF

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SCALE: 1/8"=1'-0"

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