DEPERRED SUBMITTAL REQUIREMENTS THE FOLLOWING ARE "DEFERRED SUBMITTAL" TIEMS WHICH SHALE BE FIRST SUBMITTED TO THE PROJECT ARCHITECT AND/OR ENGINEER FOR REVIEW & COORDINATION

SPRINKLER SYSTEM NOTES:

ALARMS.

ARCHITECT:

LEE GAGE & ASSOCIATES INC.

7636 N. INGRAM SUITE #107

STRUCTURAL ENGINEER:

323 W. CROMWELL SUITE #111

RICHARD M. BITTIKOFER

FRESNO, CA. 93711

TEL.: (559) 439-2222 FAX: (559) 439-2298

TEL.: (559) 438-4432 FAX: (559) 438-1973

SPECIAL INSPECTIONS

FRESNO, CA. 93711

MAIN BUILDING & PORTE COCHERE ARE TO BE EQUIPPED THROUGHOUT WITH A SUPERVISED ANTOMATIC SPRINKLER SYSTEM DESIGNED & INSTALLED INSTALLED IN COMPLIANCE WITH ALL REQUIREMENTS OF NFPA 13 AND COMPLY WITH APPLICABLE

SECTIONS OF BUILDING CODE AND OTHER CODES HAVING JURISDICTION OVER CONSTRUCTION AND OCCUPANCY. PLANS AND

SPECIFICATIONS OF SPRINKLER SYSTEM SHALL BE SUBMITTED TO LOCAL JURISDICTIONS FOR APPROVAL BEFORE CONSTRUCTION. THE ATTIC SPACES OF THE BUILDINGS ARE TO BE FULLY SPRINKLERED.

- PROVIDE THRUST BLOCKS PER CODE IF RUBBER GASKETED JOINT FIRE SERVICE PIFING IS PROPOSED

- SPRINKLER HEADS TO BE SEMI-RECESSED IN GUEST ROOMS & PUBLIC SPACES

- AN APPROVED AUDIBLE SPRINKLER FLOW ALARM SHALL BE PROVIDED ON EXTERIOR OF

SUBMIT SHOP DRAWINGS TO ARCHITECT FOR REVIEW OF COMPLIANCE WITH

THE STRUCTURE SHALL BE PROTECTED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM

A MANUAL & AUTOMATIC FIRE ALARM SYSTEM IS REQUIRED TO BE INSTALLED

THROUGHOUT THE BUILDING, INSTALLATION AND GENERAL DESIGN REQUIREMENTS

THE FIRE SPRINKLER SYSTEM AND FIRE ALARM SHALL BE U.L. CENTRAL STATION

FIRE EXTINGUISHERS ARE REQUIRED TO BE INSTALLED THROUGHOUT THE BUILDING MINIMUM SIZE AND TYPE REQUIRED SHALL MEET 2A: 10BC, 5 LB. DRY CHEMICAL ANY GATED ACCESS SHALL BE APPROVED BY THE FIRE DEPT. ANY EMERGENCY

SHALL MEEET THE 1997 UNIFORM FIRE CODE, ARTICLE 10 AND N.F.P.A. STANDARDS #72 FIREFIGHTER RECALL WILL ALSO BE REQUIRED FOR THE ELEVATOR. SINGLE STATION SMOKE DETECTORS SHALL BE INSTALLED IN EACH GUESTROOM & INTERCONNECTED TO THE FIRE ALARM SYSTEM. IN ADDITION THE ROOMS DEIGNATEDFOR HANDICAPPEL

AND / OR HEARING IMPAIRED SHALL BE EQUIPPED WITH A STAND-ALONE SMOKE DETECTOR WITH A STROBE LIGHT CONNECTED TO THE BUILDING'S MAIN FIRE ALARM SYSTEM

THE ALARM SHALL BE AS SET FORTH IN U.B.C. STANDARD 9-1.

THE DESIGNED & INSTALLED PER N.F.P.A. STANDARDS #13 & 24.

THESE STROBES MUST HAVE A MINIMUM CANDELA RATING OF 110

ACCESS ARRANGEMENTS TO BE MADE PRIOR TO OCCUPANCY.

. FIRE DEPARTMENT ACCESS (KNOX BOX) MUST BE PROVIDED

MONITORED AND ENUNCIATED AT AN APPROVED LOCATION ON-SITE.

THE STREET ADDRESS SHALL BE POSTED WITH A MIN. OF 3" NUMBERS -POSTED NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND & SHALL BE

LEGIBLE FROM THE STREET IN ACCORDANCE WITH THE U.F.C. 901.

EMERGENCY PROCEDURES PLAN TO BE POSTED IN EACH GUESTROOM PER T19:

REMOVED FROM EACH BUILDING SITE A MIN. DISTANCE OF THIRTY (30') FEET.

PRIOR TO ANY FRAMING CONSTRUCTION OCCURING, ALL FLAMMABLE VEGETATION SHALL BE

. OWNER TO ENGAGE THE SERVICES OF A SPECIAL INSPECTOR OR SPECIAL INSPECTION COMPANY TO

PROVIDE SPECIAL INSPECTION AS SPECIFIED BY THE 1997 UBC, SECTION 1701.

. SPECIAL INSPECTIONS ARE REQUIRED FOR THE FOLLOWING: A. SOILS COMPLIANCE PRIOR TO FOUNDATION INSPECTION

B EPOXY ANCHORS AS PER ICBO REPORT

SOILS ENGINEER

3628 MADISON AVENUE

SACRAMENTO, CA. 95660

CONSTRUCTION TESTING & ENGINEERING, INC.

TEL.: (800) 576-4955 FAX.: (916) 331-6037

CTE

SPRINKLER HEADS TO BE FAST RESPONSE TYPE

APPLICABLE STANDARDS & REQUIREMENTS

WIRE BELL AHEAD OF ELECTRICAL BREAKER

FIRE PREVENTION REQUIREMENTS:

THIS SYSTEM SHALL BE A FULLY AUTOMATIC, MONITORED SYSTEM AND SHALL SUPERCEDE THE REQUIREMENT FOR ATTIC DRAFTSTOPPING PARTITIONS.

THE BUILDING IN AN APPROVED LOCATION. AN APPROVED AUDIBLE SPRINKLER FLOW ALARM TO ALERT THE

OCCUPANTS SHALL BE PROVIDED IN THE INTERIOR OF A NORMALLY OCCUPIED LOCATION. ACTUATION OF

1. TRUSS DRAWINGS & CALCULATIONS
-ROOF TRUSSES & FLOOR TRUSSES

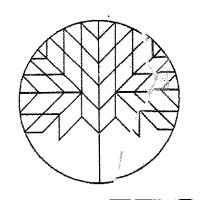
2. QUAKE--TIE SYSTEM FOLLOWING THE COMPLETION OF THE PROJECT ARCHITECT/ENGINEER'S REVIEW AND COORDINATION, A SUBMITTAL TO THE CITY SHALL BE MADE BY THE GENERAL CONTRACTOR (FOR CITY REVIEW & APPROVAL).

IN ADDITION TO THE ABOVE ITEMS, THE FOLLOWING SHALL BE SUBMITTED BY THE GENERAL CONTRACTOR TO THE LOCAL JURISDICTION FOR REVIEW & APPROVAL PRIOR TO CONSTRUCTION.

1. FIRE SPRINKLER SYSTEM 2. FIRE ALARM - EMERGENCY WARNING SYSTEMS INCLUDING: -MANUAL/AUTOMATIC SYSTEMS -SMOKE DETECTION SYSTEM LAYOUT

-VISUAL ALARMS, VISUAL NOTIFICATION DEVICES 3. SWIMMING POOL DRAWINGS & CALCULATIONS
IF ANY CHANGES ARE REQUIRED TO THE OTHER ASPECTS OF THIS PROJECT DUE
TO THE DESIGN OF ANY OF THE DESIGN—BUILD SYSTEMS, THE COSTS OF MAKING
SUCH CHANGES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR

PROPOSED 50 UNIT HOTEL FOR:



1628 WEBSTER STREET ALAMEDA, CALIFORNIA

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TO THE WAY THE STATE OF THE STA	SHEET TITLE	SHEET NUMBER	SHEET TITLE	SHEET NUMBER	SHEET TITLE
, 1 '4''4''2' *!}- (}	COVER SHEET	ARCHI	ECTURAL (CONTINUED)	PLUMB	
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STATE	OF CALIFORNIA ENERGY COMPLIANCE	A11B	DETAILS	P2	2nd FLOOR PLUMBING FLOOR PLAN - WATER PIPING
promo como ser secundo mos seces se	TITLE 24 CERTIFICATE OF COMPLIANCE FORMS (WHOLE BUILDING ENVELOPE & LIGHTING)	A12	ROOF PLAN	P3	3rd FLOOR PLUMBING FLOOR PLAN - WATER PIPING
	TITLE 24 CERTIFICATE OF COMPLIANCE FORMS (MECH FORMS - PUBLIC AREAS)	A12B	ROOF DETAILS	P4	MAIN FLOOR PLUMBING PLAN - SANITARY SEWER PIPING
::::::::::::::::::::::::::::::::::::::	TITLE 24 CERTIFICATE OF COMPLIANCE FORMS (MECH FORMS - PUBLIC AREAS & CORRIDORS)	A13	MAIN FLOOR REFLECTED CEILING PLAN	P5	2nd FLOOR PLUMBING FLOOR PLAN - SANITARY SEWER PIPING
CF4	TITLE 24 CERTIFICATE OF COMPLIANCE FORMS (GUEST ROOM MECH & LTG FORMS)	A13B	2nd FLOOR REFLECTED CEILING PLANS	P6	3rd FLOOR PLUMBING FLOOR PLAN - SANITARY SEWER PIPING
e) to make manifer the malifest make the case	THE ZT SENTITION IE OF SOME LIMITAL T	A130	3rd FLOOR REFLECTED CEILING PLANS	P.7	PLUMBING SCHEDULES & DETAILS
aan gaarigiin aa daan kiloon ka maayaa ah ka yaa kala daa		A14	INTERIOR SOFFIT SECTIONS		
ur consected (1904) was an americant		A15	GUESTROOM INTERIOR ELEVATIONS		
germanian general i sa jay samani isa sa		A158	GUESTROOM INTERIOR ELEVATIONS		
M, ster militare e seller i grade		A16	GUEST BATHROOM INTERIOR ELEVATION		
	EVELC MENT	A17	DETAILS	MECHA	NICAL
	SITE AN	A18	(NOT USED)	M1	MAIN FLOOR MECHANICAL FLOOR PLAN
	UNLITES SITE PLAN	A19	PUBLIC AREA INTERIOR ELEVATIONS	M2	2nd FLOOR MECHANICAL FLOOR PLAN
	GRADING & DRAINAGE SITE PLAN	A19B	REGISTRATION COUNTER DETAILS	M2B	3rd FLOOR MECHANICAL FLOOR PLAN
	SITE PROSION CONTROL DETAILS	****		М3	ENLARGED MECHANICAL FLOOR PLAN - LOBBY & MEETING ROOM
E . Marie John Committee C	SITE DETAILS	FS1	FIRE RATED ASSEMBLY KEY PLAN / MAIN FLOOR	мзв	ENLARGED MECHANICAL FLOOR PLAN - POOL & LAUNDRY
and characters are superiors. (A)	TOPO RAPHIC SURVEY	FS2	FIRE RATED ASSEMBLY KEY PLAN / 2nd & 3rd FLOORS	M4	MECHANICAL SCHEDULES & DETAILS
ang ngan-moren , aanansidak	TOPUCKAPFIC SURVET	FS3	FIRE RATED ASSEMBLY DETAILS	M5	MECHANICAL DETAILS & NOTES
may seminan a u lu akan within ing		ACCES	SIBILITY STANDARDS		
and developed to Empelo de Calabra de 1900 de 1		HS1	HANDICAP STANDARDS		
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E COURT DIE COMMISSION	ECTURAL	V-10-11	HANDICAP STANDARDS	E0	ELECTRICAL SITE PLAN
	MAIN FLOOR PLAN	STRUC		E1	MAIN FLOOR ELECTRICAL FLOOR PLAN
	2nd FLOOR PLAN	S1	STANDARD NOTES & DETAILS	E2	2nd FLOOR ELECTRICAL FLOOR PLAN
	3rd FLOOR PLAN	S1B	STANDARD STRUCTURAL DETAILS	E28	3rd FLOOR ELECTRICAL FLOOR PLAN
<u> </u>	EXTERIOR ELEVATIONS	S2	FOUNDATION - FOOTING PLAN	E.3	ENLARGED ELECTRICAL POWER FLOOR PLAN - LOBBY/PUBLIC AREA
	THE ADDITION OF THE AMERICAN PROME	S2A	SHEAR WALL KEY PLANS & SCHEDULE - MAIN FLOOR	£3B	ENLARGED ELECTRICAL LIGHTING FLOOR PLAN - LAUNDRY/POOL AREA
<u> </u>	ENLARGED FLOOR PLAN - DBBY & MEETING ROOM	S2B	SHEAR WALL KEY PLANS & SCHEDULE - 2nd FLOOR	E4	ENLARGED ELECTRICAL FLOOR PLAN - TYPICAL GUEST ROOMS
g , andrewski ski - 1 to to to the second	TYDICAL CUEST DOOMS	S2C	SHEAR WALL KEY PLANS & SCHEDULE - 3rd FLOOR	E48	ENLARGED ELECTRICAL FLOOR PLAN - TYPICAL GUEST ROOMS
AS A CONTRACTOR OF THE SECOND	ENLARGED FLOOR PLANS - TYPICAL GUEST ROOMS	S3	2nd FLOOR FRAMING PLAN	E5	ROOF ELECTRICAL PLAN
	ACCESSIBLE GUESTROOM / DUSEKEEPING LAYOUTS	S 4	3rd FLOOR FRAMING PLAN	E6	ELECTRICAL NOTES
20	ENLARGED CANTRY ENLARGED ELEVATOR/LIPEN CHUTE LAYOUTS & SECTIONS	S5	ROOF FRAMING PLAN	E7	ELECTRICAL SCHEDULES
		S6	STRUCTURAL DETAILS	E8	PANEL SCHEDULES
	SECTION	S7	STRUCTURAL DETAILS	E9	PANEL SCHEDULES
	SECTION	S8	STRUCTURAL DETAILS	E10	ELECTRICAL SINGLE LINE DIAGRAMS & DETAILS
WO.				ETT	ELECTRICAL DETAILS AND FIRE ALARM SYSTEM SCHEMATIC
43) 	SECTION			E12	ENLARGED ELECTRICAL FLOOR PLAN REGISTRATION DESK/PBX ROOM
The particular and the second	STAIRS/MICO. DETAILS & SECTION	QT1	QUAKE-TIE DETAILS	E13	PBX & WORK AREA ELEVATIONS
	THISH SCHEDULE	QT2	QUAKE-TIE SCHEDULES & NOTES.	LI3	FOX & HOIN AILA LILVATIONS
\$ 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	DOOR & WINTOW SCHOULE	WIZ -	QUANT HE SOURDOCKS OF HOTES	<u> </u>	

	PROJECT II	NFORMATION	
GENERAL			
BUILDING CRITERIA 1. USE GROUP 2. TYPE OF CONSTRUCTION 3. BUILDING HEIGHT 4. NUMBER OF STORIES		EFERENCES OTEL & RELATED USES "REVIEWED BY HUFF CON	FIELD CITALION
5. ALLOWABLE AREA	BASIC ALLOWABLE BUILDING AREA INCREASE FOR MULTIPLE FLOORS	= 10,500 S.F. = 10,500 S.F.	
	SEPARATION ON 2 SIDES (1.5X) FIRE SPRINKLER INCREASE (2X)	21,000 S.F. = 31,500 S.F./MAX ALLOWABLE = 63,000 S.F./MAX ALLOWABLE	
UPC 1997 EDITION, UFC 199 LATEST UBC EDITION AMEND TITLE 24 ENERGY CODE AND		v	559-439-2
MEANS OF EGRESS 1. NUMBER OF EXITS 2. TRAVEL DISTANCE 3. DEAD END CORRIDOR 4. CORRIDOR WIDTH 5. SIZE OF EGRESS DOORS 6. STAIR WIDTH	* CODE REQUIREMENT PROVIDED 2 PER FLOOR MIN. 2 PER FLOOR 300 FEET MAXIMUM 130 FEET MAXIMUM 130 FEET MAXIMUM 144 INCHES NA 144 I	R AX. 20°	
BUILDING DESCRIPTION HOTEL BUILDING	,		
USED FOR GUESTROOMS, REGIS STAIR ENCLOSURES ARE TWO ! SECOND & THIRD FLOORS. THE ALARMS, SPRINKLERS) ARE DE	NE HOUR PROTECTED WITH AUTOMATIC STRATION, OFFICE, LAUNDRY AND ELECTHOUR RATED. HANDICAP ACCESSIBLE ROLL ROOF IS CLASS "A". FIRE PROTECTION SIGN/BUILD. PLANS AND SPECIFICATIONS FOR LOCAL JURISDICTION'S APPROVAL.	RICAL/MECHANICAL ROOMS. DOMS ARE LOCATED ON THE FIRST I SYSTEMS (DETECTORS, S OF SPRINKLER	
BUILDING AREA (GROS FIRST FLOOR = 9,38 SECOND FLOOR = 9,8 THRD FLOOR = 9,8 TOTAL = 29,1	38 S.F. 77 S.F. Alamed 77 S.F. FOR FINAL APPI	a Fire Dept. Proliminary Appro ROVAL AN INSPECTION IS REQUIRED UPON DISTRUCTION AND BEFORE BUILDING IS OC	COM-
OCCUPANT LOAD BY HOTEL & ACCESSORY USE - GUEST ROOMS, LOBBY, BREAKFAST, CORRIDOR, LAUNDRY ROOM (B) TOTAL OCCUPANTS	(R1)	DATE THE DAT	102 242 6 Mode
SITE RELATED DATA SEE SHEET SD1	구하 Cod	PLAN CHECK APPROVAL s plan has been reviewed for comformance with 97 illing Code and City Ordinames. Although this plan abayer	Siniform
BUILDING INSULATION EXTERIOR WALL ASSEMBLY ROOF ASSEMBLY	Finn dog mar Occ	ishum requirements of said Code and City Ordinances. As it is not centify plans and deeligns adequacy, nor is any represent as the structure fatiure, or other structural related damagner. Any permit issued pursuant hereto shall not concentration or endorsement byte permissive only. Signature	approval Portation Extil not
FLOOR ASSEMBLY		NG ASSEMBLIES	\sim
	HIC RATING OF 50 FOR FLOOR/CEILING STC 50 (MIN.) /	•	
FLOOR ASSEMBLY SOUND RATINGS		•	<i>E</i>
FLOOR ASSEMBLY SOUND RATINGS BETWEEN UNITS - FLOOR BETWEEN UNITS - WALL GENERAL NOTES 1. ALL WORK AND CONSTRU OF "CAL-OSHA". 2. ALL CONSTRUCTION AND	STC 50 (MIN.) / NES REPORT NO. NER-200 ASSEMB STC 50 (MIN) /	CITY OF ALA APPROVED FO DATE SUILDING SERV	r issue

AND INSTALLED APPEAR IN EVERY MATERIAL RESPECT IN COMPLIANCE WITH THE APPROVED PLANS AND SPEC'S. FOR WHICH THE BUILDING PERMIT WAS ISSUED.

DATE

ENGINEER'S STATEMENT I HAVE DESIGNED THIS STRUCTURE TO SUPPORT A UNIFORM FIRE SPRINKLER LOAD OF 1.5 LBS./SQ.FT. ADDITIONALLY, I HAVE DESIGNED ALL PURLINS, FRAMES, BEAMS, TRUSSES, ETC., TO SUPPORT THE CONCENTRATED LOADS OF ALL WATER-FILLED SPRINKLER LINES. Filand Settley (EXGINEER

TO THE BEST OF THE ARCHITECTS/ENGINEERS KNOWLEDGE, THESE PLANS AND SPECIFICATIONS COMPLY WITH MINIMUM ADA & BUILDING CODES LISTED HEREON.

ANY CHANGES TO THESE PLANS SHALL ONLY BE BY WRITTEN PERMISSION FROM THE OWNER.

(RICHARD M. BITTIKOFER)

CONTRACTOR SHALL COMPLY WITH ALL FIRE DEPARTMENT REQUIREMENTS FOR FIRE APPARATUS ACCESS DURING CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL VERIFY ALL & NOTIFY THE OWNER OF SUCH REQUIREMENTS PRIOR TO BIDDING.

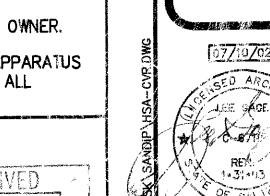
REVISIONS INCLUDED WITH THIS SET: REVISIONS PER

1\ CITY OF ALAMEDA 7/3/02

REVISIONS PER 2 OWNER REQUEST 7/3/02

LICENSE # C-30228

REVISIONS PER ARCHITECT CLARIFICATION



JL 1 2002

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WTHO	T NAME ORN SUITES								MAY 10, 2002
	T ADDRESS VEBSTER STREET	ΔΙ ΔΜ	EDA, CA.						
INCIPA	AL DESIGNER - LI	GHTING	LUM, UM,				LEPHON		Building Permit #
E GA	GE & ASSOCIAT	ES	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	······································	114F-814		159) 43 LEPHON	19-2222 E	Checked by/Date
N FR						(5	559) 43	9-2222	Enforcement Agency (
NF	RAL INFORM	ATION							
	- PLANS		BUILDING		FLOOR AREA	4	······································		CLIMATE ZONE
	5/7/02		COSNERAL		713 S.F.		Γυ	LIGHT A	3
	G TYPE		SIDENTIAL ONSTRUCTI		H RISE RESIDE	ENTIAL	X	ALTERAT	MOTEL GUEST ROOM
	OF LIGHTING		~~		EA CATEGORY		AILORED	ļ	PERFORMANCE
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s Cert	tificate of Compliand and 6 of the Califo	ce lists the building rnia Code of Regula	features an tions. This a	id performanc certificate app	se specification: plies only to bu	s needed to uilding lighti	comply ng requir	with Title ements.	24,
e doc	umentation prepa	rer hereby certifie	s that the	documenta	tion is accura	ite & com	piete.		
CUMEN N FR	NTATION AUTHOR		SIGNATURE	Van :	Tree				DATE 5/10/02
111	7.4411-						-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1		7/10/02
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553	tains to a structu 38 and 6737.1.		k descibed	l as exempt	persuant to	Business o	and Praf	essions C	ode Sections 5537,
(The	ese sections of the AL LIGHTING DESIGNATION OF THE PROPERTY OF	he Business and F SNER — NAME	Professions SIGNA		rinted in full	in the Nor		ial Manua NO.	I.) DATE
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dicate	T NAME TON INN & SUIT ALLED LIGHTI LUMINAIRE DESCRIPTION	TYPE	E LAMPS	WATTS	BALL	ASTS NO. EA.	LUM (LAMP +	INAIRE BALLAST)	DATE 2/7/02 TOTAL WATTS
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ODE A	T NAME TON INN & SUIT LUMINAIRE DESCRIPTION (e.g. Type-1, Type-2, SURFACE FLUO	TYPE oto.) DESCRIPTION R. F032	E LAMPS NO. OF LAMPS	WATTS PER LAMP 32	BALL. TYPE DESCRIPTION ELECT.	ASTS NO. EA. FIXTURE	LUMI (LAMP +	INAIRE BALLAST) WATTS 58	DATE 2/7/02 TOTAL WATTS 1044
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NOTES TO FIELD - For Building Department Use Only

Envelope Mandatory Measures

- Installed insulating Material shall have been certified by the manufacturer to comply with the California Quality Standards for insulating materiol.
- All insulating Material shall be installed in compliance with the flame spread rating and smoke density requirements of Sections 2602 and 707 of the UBC.
- All Exterior Joints and openings in the building envelope that are observable sources of air leakage shall be caulked, gasketed, weatherstripped or otherwise sealed.
- Site Constructed Doors, Windows and Skylights shall be caulked between the unit and the building, and shall be weatherstripped (except for unframed glass doors and fire doors).
- Manufactured Doors and Windows installed shall have oir infiltration rates certified by the manufacturer per Section 116(a)1. Manufactured fenestration products must be labeled for U-value according to NFRC procedures.
- Demising Wall Insulation
 (R11) shall be installed in
 all opaque portions of framed walls
 (except doors).

Lighting Mandatory Measures

- Building Lighting Shut—Off
 The building lighting shut—off system consists of an automatic time switch, with a zone for each floor: or
 the building is separately metered and less than 5,000 square feet; exempt from the shut—off requirement.
- Override for Building Lighting Shut—Off
 The automatic building shut—off system is provided with a manual, accessible override switch in sight of the lights. The area of override is not to exceed 5,000 s.f.
- Automatic Control Devices Certified
 All automatic control devices specified are certified, all alternate equipment shall be certified and installed as directed by the manufacturer.
- Fluorescent Ballast and Luminairies
 Certified
 All fluorescent fixtures subject to
 certification and specified for the
 project are certified.
- Tandem Wiring for Two-Lamp Ballast's
 All one and three lamp fluorescent fixtures are tandem wired with two (2) lamp ballast where required by Californio Energy Standards Section 132; or

 All three lamp fluorescent fixtures are specified with electronic high-frequency ballast's and are exempt from two-lamp
- Individual Room/Area Controls

 Each room and area in this building is equipped with a separate switch or occupancy sensor device for each area with floor—to—ceiling walls.

tandem wiring requirements.

- Uniform Reduction for Individual Rooms
 All rooms and area greater than 100 square
 feet and more than 1.2 watts per square foot
 of lighting load shall be controlled with
 Bilevel switching for uniform reduction of
 lighting within the room.
- Daylit Area Control
 All roams with windows and skylights, that are greater than 250 square feet, and that allow for the effective use of daylight in the area shall have 50% of the lamps in each daylit area controlled by a separate switch.
- Control of Exterior Lights

 Exterior mounted fixtures and served from the electrical panel inside the building are controlled with a directional photo cell control on the roof and a corresponding relay in the electrical panel.

Mechanical Mandatory Measures Equipment and Systems Efficiency

- Any appliance for which there is a California standard established in the Appliance Efficiency Standards may be installed only if the manufacturer has certified to the Commission, as specified in those regulations, that the appliance complies with applicable standard for that appliance. Included are room air conditioners, central air conditioning heat pumps (regardless of capacity, except that requirements for central air conditioning heat pumps with cooling capacity of 15,000 Btu/hr or more apply to heating performance but not cooling performance), other central oir conditioners with a cooling capacity less than 135,000 Btu/hr. fan type central furnaces with input rate less than 400,000 Btu/hr, boilers, wall furnaces, floor furnaces, raom heaters, unit heaters, and duct furnaces shall have been certified to the California Energy Commission by its manufacturer to camply with the Appliance Efficiency Standards.
- The following space conditioning equipment may be installed only if the manufacturer has certified that the equipment meets or exceeds all applicable efficiency requirements listed in Section 112 of Energy Efficiency Standards: all air conditioners, heat pumps and condensing units > 135,000 Btu/hr; all water chillers; all gas—fired boilers > 300,000 Btu/hr; all oil—fired boilers > 225,000 Btu/hr; and all warm air furnaces and combination warm—air furnaces/air conditioning units > 225,000 Btu/hr. Fan type central furnaces shall not have a pilot light.
- Piping, except those conveying fluids at temperatures between 60°F and 105°F, ar within HVAC equipment, shall be insulated in accordance with California Energy Efficiency Standards, Section 123.
- Air handling duct systems shall be constructed, installed, sealed, and insulated as provided in Chapter 10 of the Uniform Mechanical Code.
- Each space canditioning system serving building types such as offices and manufacturing facilities (and all others not explicitly exempt from the requirements of Section 112(d)) shall be installed with an automatic time switch with an accessible manual override that allows operation of the system during off—hours for up to 4 hours. The time switch shall be capable of programming different schedules for weekdays and weekends; and has program backup capabilities that prevent the loss of the device's program and time setting for at least 10 hours if the power is interrupted.
- Each space conditioning system shall be installed with an occupancy sensor to control the operating period of the system.
- Each space conditioning system shall be installed with a 4—hour timer that can be manually operated to control the operating period of the system.
- Each space conditioning system shall be installed with controls that temporarily restart and temporarily operate the system as required to maintain a setback heating thermostat setpoint.
- Each space conditioning system shall be installed with controls that temporarily restart and temporarily operate the system as required to maintain a setback cooling thermostat setpoint.
- Each space conditioning system serving multiple zones with a combined conditioned flaor area more than 25,000 square feet shall be provided with isolation zones. Each zone shall: not exceed 25,000 square feet; shall be provided with isolation devices, such as valves or dampers, that allow the supply of heating ar cooling to be setback or shut—off independently of other isolation areas; and shall be controlled by a time control device as described above.
- Each space conditioning zone shall be controlled by an individual thermostatic control that responds to temperature within the zone. Where used to control heating, the control shall be adjustable down to 55'F or lower. For cooling, the control shall be adjustable up to 85'F or higher. Where used to control both heating and cooling, the control shall be capable of praviding a dead band af at least 5'F within which the supply of heating and caoling is shut off or reduced to a minimum.
- Thermostats shall have numeric setpoint in F.
- Thermostats shall have adjustable setpoint stops accessible only to authorized personnel.

Heat Pumps shall be installed with controls to prevent electric resistance supplementary heater operation when the heating load can be met by the heat pump alone. Electric resistance supplementary heater operation is permitted during transient periods. such as start-ups and following room thermostat setpoint advance, when controls are provided which use preferential rate control, intelligent recovery, staging, ramping or similar control mechanisms designed to preclude unnecessary operation of supplementary heating during the recovery period. Supplementary heater operation is also permitted during defrost.

Ventilation

- Controls shall be provided to allow outside air dampers or devices to be operated at the ventilation rates as specified in these plans.
- Gravity or automatic dampers interlocked and closed on fan shutdown shall be provided on the outside air intakes and discharges of all space conditioning and exhaust systems.
- All gravity ventilating systems shall be provided with automatic or readily accessible manually operated dampers in all openings to the outside, except for combustion air apenings.

Completion and Balancing

- All ventilation systems shall be documented per California Safety Code (Title 8, Section 5142(b)) to be providing the minimum required ventilation rate as determined using one of the following procedures.
- Air Balancing: All space conditioning and ventilation systems shall be balanced to the quantities specified in these plans, in accordance with the National Environmental Balancing Bureau (NEBB) Procedural Standards (1983), or Associated Air Balance Council (AABC) National Standards (1989).
- Outside Air Certification: The system shall provide the minimum outside air as shown on the mechanical drawings, and shall be measured and certified by the installing licensed C-20 mechanical contractor.
- Outside Air Measurement: The system be equipped with a calibrated local or remote device capable of measuring the quantity of outside air on a continuous basis and displaying that quantity on a readily occessible display device.
- Another method approved by the Energy Commission.

Service Water Heating Systems

The following service water heating systems and equipment may be installed only if the manufacturer has certified that the equipment meets or exceeds all applicable efficiency requirements listed in the Appliance Efficiency Regulations or Appendix B, Table B—9.

- Unfired service water heater storage tanks and backup tanks for solar water heating systems shall have either:

 external insulation with an installed R-Value of at least R-12; internal and external insulation with a combined R-Value of at least R-16; or

 sufficient insulation so that the heat lass of the tank surface based on an 80°F water-air temperature difference shall be no less than 6.5 Btu/hr/sf.
- If a circulating water hat water system is installed, it shall have a control capable af automatically turning off the circulating pump(s) when hot water is not required.
- Lavatories in restrooms of public facilities shall be equipped with either: - Outlet devices that limit the flow of hot water to a maximum of 0.5 gallons per minute. - Foot actuated control valves, and outlet devices that limit the flow of hot water to a maximum of 0.75 gallans per minute. - Proximity sensor actuated control valves, and outlet devices that limit the flow of hot water to a maximum of 0.75 gallons per minute. - Self-closing valves, and outlet devices that limit the flow of hot water to a maximum of 2.5 gallons per minute, and 0.25 gallons/cycle (circulating system) - Self-closing valves, and outlet devices that limit the flow of not water to a maximum
- of 2.5 gallons per minute, and 0.50 gallons/cycle (non-circulating system)

 Self-closing valves, and outlet devices that limit the flaw of hot water to a maximum of 2.5 gallons per minute, and 0.75 gallons/cycle (foot switches and proximity sensor controls)
- Lavatories in restroom of public facilities shall be equipped with controls to limit the outleten temperature to 110°F.

JUL 1 1 2002

CENTRAL PERMITS OFFICE ALAMEDA, CA 94501



SOCIATES, IN

THESE DRAWINGS, DESIGNS, SKETCHES, IDEAS & ARRANGEMENTS ARE THE SOLE & EXCLUSIVE PROPERTY OF LEE GAGE & ASSOCIATES, INC., AND WERE CREATED AND DEVELOPED BY AND FOR THE ARCHITECT'S EXCLUSIVE USE ON AND IN CONJUNCTION WITH THE ARCHITECT'S WORK. NOTHING CONTAINED OR REPRESENTED ON THESE DOCUMENTS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FRIM OR CORPORATION FOR ANY PURPOSE WITHOUT EXPRESSED WRITTEN



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FRANGSCAN WAY.

O5/15/02

O5/15/02

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CO1

REN.
1-31-03

Please check one:

| hereby affirm that I am eligible under the provisions of Division 3 of the Business & Professions Code to sign this document as the person responsible far its preparation; and that I am licensed in the State of California as a civil engineer or mechanical engineer, or I am a licensed architect.

| affirm that I am eligible under the provisions to Division 3 of the Business & Professions Code by Section 5537.2 or 6737.3 to sign this document as the person responsible for its preparation; and that I am a licensed contractor performing this work.

| affirm that I am eligible under Division 3 of the Business and Professions Code to sign this document because it pertains to a structure or type of work descibed as exempt persuant to Business and Professions Code Sections 5537, 5538 and 6737.1.

| (These sections of the Business and Professions Code are printed in full in the Nonresidential Manual.)
| PRINCIPAL MECHANICAL DESIGNER - NAME | SIGNATURE | LIC. NO. | DATE | LIC. NO. | LIC. NO. | DATE | LIC. NO. | LIC. NO.

The Principal Mechanical Designer hereby certifies that the proposed building design represented in this set of construction documents is consistent with the other compliance forms and worksheets, with the specifications, and with any other calculations submitted with this permit application. The proposed building has been designed to meet the mechanical requirements contained in sections 100 through 115, 120 through 124, 140 through 142, 144 and 145.

MECHANICAL MANDATORY MEASURES

Indicate location on plans of Note Block for Mandatory Measures CF1

VAV MINIMUM POSITION CONTROL?

SIMULTANEOUS HEAT/COOL?
HEAT AND COOL SUPPLY RESET?

PIPE INSULATION REQUIRED?

PIPE/DUCT INSULATION PROTECTED?

SEALED DUCTS IN CEILING/ROOF SPACE?

HIGH EFFICIENCY?

DOCUMENTATION AUTHOR

JON FRAME

Part 2 of 2 MECH-1

O.A. CFM

Enter Delagn Outdoor Air CFM. Note: This shall be no less than Column H on MECH-3.

PROJECT NAME	DATE
HAMPTON INN & SUITES, LATHROP	2/7/02
SYSTEM FEATURES	

SYSTEM NAME	NOTE T
B	FIELD
SOLATION ZONES	······································
HEAT PUMP THERMOSTATS?	
N	
FAN CONTROL VAV MINIMUM POSITION CONTROL? SIMULTANEOUS HEAT/COOL? HEAT AND COOL SUPPLY RESET? HEAT REJECTION CONTROL? VENTILATION B B OUTDOOR DAMPER CONTROL? ECONOMIZER TYPE DESIGN O.A. CFM (MECH—3, COLUMN H) HEATING EQUIP. TYPE HIGH EFFICIENCY? IF YES ENTER EFF. # MAKE AND MODEL NUMBER COOLING EQUIP. TYPE HIGH EFFICIENCY? IF YES ENTER EFF. # MAKE AND MODEL NUMBER BRYANT 661C030A HEAT PUMP N BRYANT 661C030A HEAT PUMP N BRYANT 661C030A HEAT PUMP N BRYANT 661C030A BRYANT 661C036 PT HEAT PUMP N BRYANT 661C030A FIPE INSULATION PROTECTED? PIPE TYPE (SUPPLY, RETURN, ETC.) HEATING DUCT LOCATION R-VALUE FLOOR/CEIL 4.2 FLOOR/CEIL 4.2 FLOOR/CEIL 4.2	
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PIPE TYPE (SUPPLY, RETURN, ETC.) HEATING DUCT LOCATION R-VALUE COOLING DUCT LOCATION R-VALUE VERIFY SEALED DUCTS IN # FAM SLOW	
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COOLING DUCT LOCATION R-VALUE FLOOR/CEIL. 4.2 FLOOR/CEIL. 4.2 VERIFY SEALED DUCTS IN SEALED D	
COOLING DUCT LOCATION R-VALUE FLOOR/CEIL. 4.2 FLOOR/CEIL. 4.2 VERIFY SEALED DUCTS IN SEAN SLOW	
CODE TABLES: Enter code from table below into columns above.	

S: Prog. Switch O: Occupancy Senser M: Manual Timer

VENTILATOIN

B: Air Balance C: Outside Air Cert. M: Out. Air Measure D: Demand Control N: Natural

HAWTHORN ROOM

CERTIFICATE OF COMPLIANCE	Part 1 of 2	MECH-
PROJECT NAME		DATE
HAWTHORN SUITES		MAY 10, 200
PROJECT ADDRESS		
1628 WEBSTER STREET ALAMEDA, CA.		
PRINCIPAL DESIGNER - MECHANICAL	TELEPHONE	Building Permit
LEE GAGE & ASSOCIATES	(559) 439-2222	
DOCUMENTATION AUTHOR	TELEPHONE	Checked by/Date
JON FRAME	(559) 439-2222	Enforcement Agency

DATE OF PLANS		BUILDING CO	NOTIONED FLOOR ARE	A	CLIMATE ZONE
5/7/02				1055 S.F.	3
BUILDING TYPE	X NONE	RESIDENTIAL	HIGH RISE RESID	ENTIAL H	OTEL/MOTEL GUEST ROOM
PHASE OF CONTRUCTION	X NEW	CONSTRUCTION	ADDITION	A	LTERATION
METHOD OF MECHANICAL COMPLIANCE	X PRES	CRIPTIVE	PERFORMANCE		

lations. This certi	Acate a	pplies only to b	uilding mechanica	gi requirements.
SIGNATURE	bw	Tree		DATE
liance forms a f d ation. The pro pos	workshe ed build	ets, with the s ing has been d	pecifications, and esigned to meet	with any other the mechanical
	g features and plations. This certices that the do- SIGNATURE fles that the project iance forms and attom. The project	g features and performations. This certificate a ses that the abcument SIGNATURE fies that the proposed bilance forms and worksheation. The proposed build	g features and performance specification lations. This certificate applies only to be sessionally to be sessionally to be sessionally the session of the proposed building design relation. The proposed building has been design.	g features and performance specifications needed to cor- lations. This certificate applies only to building mechanical es that the applies are accurate & complete SIGNATURE

Please check one:

| X | I hereby affirm that I am eligible under the provisions of Division 3 of the Business & Professions Code to sign this document as the person responsible for its preparation; and that I am licensed in the State of California as a civil engineer or mechanical engineer, or I am a licensed architect.

								the Business preporation;				C
perform	ing this	wor	k.		•							

I affirm that I am eligible under Division 3 of the Business and Professions Code to sign this document because it pertains to a structure or type of work descibed as exempt persuant to Business and Professions Code Sections 5537, 5538 and 6737.1.	
(These sections of the Business and Professions Code_are printed in full in the Nonresidential Manual.)	

(The state of the s	
PRINCIPAL MECHANICAL DESIGNER - NAM	E SIGNATU	KE /	LIC. NO.
LEE GAGE	$\Delta \Delta$	ll X tage	C6718

MECHANICAL	MANDATO	RY MEAS	URES
			

Indicate location on plans of Note Block for Mandatory Measures CF1

Part	2	of	2	MECH	 1

PROJECT NAME	DATE
HAMPTON INN & SUITES, LATHROP	2/7/02
SYSTEM FEATURES	

				MECHA	NICAL SY	STEM			NOTE TO
SYSTEM NAME		ŀ	IP5		-				FIELD
TIME CONTROL			S						
SETBACK CONTROL			8						
ISOLATION ZONES			****						
HEAT PUMP THERMOSTATS?			Y						
ELECTRIC HEAT?			N						
FAN CONTROL	e de la composition della comp		-						
VAV MINIMUM POSITION CON	TROL?								
SIMULTANEOUS HEAT/COOL?			N						
HEAT AND COOL SUPPLY RE	SET?		Υ						
HEAT REJECTION CONTROL?							<u></u>		
VENTILATION			В						
OUTDOOR DAMPER CONTROL	?		Α						
ECONOMIZER TYPE			N/A						
DESIGN O.A. CFM (MECH-3,	COLUMN H)		375						
HEATING EQUIP. TYPE		HEA.	T PUMP						
HIGH EFFICIENCY? IF YES	ENTER EFF. #	N						<u> </u>	
MAKE AND MODEL NUMBER		BRYA	NT 661C030						
COOLING EQUIP. TYPE		Н	EAT PUMP						
HIGH EFFICIENCY? IF YES	ENTER EFF. #	N							
MAKE AND MODEL NUMBER		BRYA	NT 661C030						
PIPE INSULATION REQUIRED?			Υ						
PIPE/DUCT INSULATION PRO	TECTED?		Υ						
PIPE TYPE (SUPPLY, RETURN	v, ETC.)		-						
HEATING DUCT LOCATION	R-VALUE	FLOC	OR/CEIL 4.2						
COOLING DUCT LOCATION	R-VALUE	I F	OR/CEIL. 4.2						
VERIFY SEALED DUCTS IN CEILING /ROOF SPACE	% FAN FLOW								

HEAT PUMP THERMOSTATY		TIME CONTROL	SETBACK CONTROL	ISOLATION ZONES	FAN CONTROL
ELECTRIC HEATY		S: Prog. Switch	H: Heating	Enter number of	i: inlet Valves
VAV MINIMUM POSITION CONTROLP		0: Occupancy Sensor M: Manual Timer	C: Cooling B: Both	laciation Zones	P: Variable Pitch V: VFD
SIMULTANEOUS HEAT/COOL?	Y: Yes N: No	m. murida 18716			O: Other C: Curve
HEAT AND COOL SUPPLY RESET?	,,,		OUTDOOR		
HIGH EFFICIENCY?		VENTILATOIN	DAMPER	ECONOMIZER	O.A. CFM
PIPE INSULATION REQUIRED?		B: Air Balance C: Outelde Air Cert.	A: Auto G: Gravity	A: Air W: Water	Enter Delagn Outdoor Air CFM.
DIDE MUST INCH ATION DOCTEOTENS		M: Out. Air Measure D: Demand Control		N: Not Required EC: Economizer Control	Note: This shall be no less than Colum
PIPE/DUCT INSULATION PROTECTED?	1	N: Natural	i	See Section 144(e)3	H on MECH-3.

FITNESS ROOM

CERTIFICATE OF COMPLIANCE	Part 1 of 2	MECH-
PROJECT NAME		DATE
HAWTHORN SUITES		MAY 10, 2002
PROJECT ADDRESS		
1628 WEBSTER STREET ALAMEDA, CA.		
PRINCIPAL DESIGNER - MECHANICAL	TELEPHONE	Building Permit #
LEE GAGE & ASSOCIATES	(559) 439-2222	
DOCUMENTATION AUTHOR	TELEPHONE	Checked by/Date
JON FRAME	(550) A30-2222	Enforcement Agency Us

GENERAL INFORMAT	ION			
DATE OF PLANS	BUILDING CONDITIONS	D FLOOR AREA	CLIMAT	E ZONE
5/7/02			2,540 S.F. 3	
BUILDING TYPE	X NONRESIDENTIAL HIC	CH RISE RESIDENTIAL	HOTEL/MOTEL C	SUEST ROOM
PHASE OF CONTRUCTION	X NEW CONSTRUCTION AD	DITION	ALTERATION	
METHOD OF MECHANICAL COMPLIANCE	X PRESCRIPTIVE PE	RFORMANCE		
PROOF OF ENVELOPE COMPL	ANCE PREVIOUS ENVELOR	PE PERMIT X ENV	ELOPE COMPLIANCE AT	rached .

TATEMENT OF COMPLIANCE		
is Certificate of Compliance lists the buildir irts 1 and 6 of the California Code of Regu	ng features and performance specifications needed to co ulations. This certificate applies only to building mechanic	nply with Title 24, al requirements.
le documentation preparer hereby certif	fies that the apparmentation is accurate & complete	∋.
CUMENTATION AUTHOR	SIGNATURE	DATE
N FRAME	Or /ran	
ocuments is consistent with the other comp diculations submitted with this permit applic	tifies that the proposed building design represented in thi pliance forms and worksheets, with the specifications, and cation. The proposed building has been designed to meet ugh 115, 120 through 124, 140 through 142, 144 and 145	i with any other the mechanical
ease check one:	•	
I hereby affirm that I am eligible un dacument as the person responsible engineer or mechanical engineer, or	nder the provisions of Division 3 of the Business & for its preparation; and that I am licensed in the I am a licensed architect.	Professions Code to sign this State of Colifornia as a civil
I affirm that I am eligible under the 6737.3 ta sign this document as th performing this work.	e provisions to Division 3 of the Business & Profess re person responsible for its preparation; and that i	ions Code by Section 5537.2 or am a licensed contractor
' pertains to a structure or type of w	ision 3 of the Business and Professions Code to sig work descibed as exempt persuant to Business and	in this document because it Professions Code Sections 5537,
5538 and 6737.1.		
	d Professions Code are printed in full in the Nearest	dential Manual \
	d Professions Code are printed in full in the Nonres	idential Manual.) LIC. NO. DATE

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Part	Z	OT	2		

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PROJECT NAME	DATE
HAMPTON INN & SUITES, LATHROP	2/7/02

MECHANICAL MANDATORY MEASURES

Indicate location on plans of Note Block for Mandatory Measures | CF1

			MECHANICAL SYSTEM	NOTE TO
SYSTEM NAME		HP-2/FC-2		FIELD
TIME CONTROL		S		
SETBACK CONTROL		В		
ISOLATION ZONES				
HEAT PUMP THERMOSTATS?		Y		
ELECTRIC HEAT?		N		
FAN CONTROL				
VAV MINIMUM POSITION CON	TROL?	_		
SIMULTANEOUS HEAT/COOL?		N		
HEAT AND COOL SUPPLY RE	SET?	Y		
HEAT REJECTION CONTROL?		-		
VENTILATION		В		
OUTDOOR DAMPER CONTROL	?	Α		
ECONOMIZER TYPE		N/A		
DESIGN O.A. CFM (MECH-3,	COLUMN H)	90		
HEATING EQUIP. TYPE		HEAT PUMP		
HIGH EFFICIENCY? IF YES	ENTER EFF. #	N		
MAKE AND MODEL NUMBER		BRYANT 661C018		
COOLING EQUIP. TYPE		HEAT PUMP		
HIGH EFFICIENCY? IF YES	ENTER EFF. #	N		
MAKE AND MODEL NUMBER		BRYANT 661C018		
PIPE INSULATION REQUIRED?		Υ		
PIPE/DUCT INSULATION PRO	TECTED?	Y		
PIPE TYPE (SUPPLY, RETURN	i, ETC.)	-		
HEATING DUCT LOCATION	R-VALUE	FLOOR/CEIL. 4.2		
COOLING DUCT LOCATION	R-VALUE	FLOOR/CEIL. 4.2		
VERIFY SEALED DUCTS IN CEILING/ROOF SPACE	% FAN FLOW	_		

AT PUMP THERMOSTATY	***************************************	TIME CONTROL	SETBACK CONTROL	ISOLATION TONES	EAN CONTROL
ECTRIC HEATY				ISOLATION ZONES	FAN CONTROL
V MINIMUM POSITION CONTROL?		S: Prog. Switch O: Occupancy Sensor	H: Heating C: Cooling B: Both	Enter number of Isolation Zones	I: Inlet Valves P: Variable Pitch V: VFD
MULTANEOUS HEAT/COOL?	Y: Yes N: No	M: Manual Timer	J. Deal		O: Other C: Curve
AT AND COOL SUPPLY RESET?			0177005		
SH EFFICIENCY?		VENTILATOIN	OUTDOOR DAMPER	ECONOMIZER	O.A. CFM
PE INSULATION REQUIRED?		B: Air Balance C: Outside Air Cert.	A: Auto G: Gravity	A: Air W: Water	Enter Delagn Outdoor Air CFM.
		M: Out. Air Measure D: Demand Control		N: Not Required EC: Economizer Control	Note: This shall be no less than Column
PE/DUCT INSULATION PROTECTED?		N: Notural	i	See Section 144(e)3	H on MECH-3.

GAGE & ASSOCIATES, IN

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WINCHEN SUITES LID.

8 WEBSTER STREET

MEDA, CA.

AMEDA HOSPITALITY, LLC

6 FRANCISCAN WAY. SUITE #110

100. CAS OF SUITE #110

O5/15/02

SOFFICE
94504 SED ARCA

LEE GAGE
C-6718



	TING			_		
RTIFICATE OF C					MECH-	-1
T NAME HORN SUITES					DATE MAY 10, 2002	
	MEDA, CA.		lπ	LEPHONE	Building Permit #	
PAL DESIGNER - MECHANICAL AGE & ASSOCIATES	on the second se		(8	559) 439—2222 ELEPHONE	Checked by/Date	_
ENTATION AUTHOR RAME				559) 439-2222		lse
RAL INFORMATION		DITIONED FLOOR	ΔΘΕΛ		CLIMATE ZONE	
5/7/02	BOILDING COM	THORED FLOOR	ANEA	755 S.F.	3	_
	ESIDENTIAL [HIGH RISE RE	ESIDENTIAL	HOTEL/I	MOTEL GUEST ROOM	-
D OF MECHANICAL Y DRES	CONSTRUCTION	PERFORMANC	E	ALIENA	1101	
OF ENVELOPE COMPLIANCE		NVELOPE PERMIT	X EN	VELOPE COMPLIA	NCE ATTACHED	
EMENT OF COMPLIANCE						
rtificate of Compliance lists the buildin and 6 of the California Code of Regul	g features and pe ations. This certif	rformance specific icate applies only	ations needed t to building med	o comply with Title nanical requirement	24, s.	
curnentation preparer hereby certification AUTHOR	es that the doc	mentation is ac	ccurate & com	plete.	DATE	
KAME	<u> </u>	gu / rose			trustian.	
ncipal Mechanical Designer hereby certi nts is consistent with the other compi ions submitted with this permit applica	iance forms and the propose	worksheets, with tr d huilding has bee	ne specifications in designed to r	, and with any other neet the mechanic	Çi	
ments contoined in sections 100 throug	· ·				Code to sign this	
hereby affirm that I am eligible und ocument as the person responsible agineer or mechanical engineer, or	for its preparati	ion; and that i c	ina Busines. In licensed in	s ∝ Protessions. the State of Cai	ifornia as a civil	
affirm that I am eliable under the	provisions to Di	vision 3 of the f	Business & Pro	ofessions Code by	Section 5537.2 or	
37.3 to sign this document as the rforming this work.	e person respons	sible for its prep	aration; and t	hat I am a licens	sed contractor	
affirm that I am eligible under Divi rtains to a structure or type af w	sion 3 of the Bu	usiness and Profe exempt persuan	essions Code t t to Business	o sign this docur and Professions	ment because it Code Sections 5537,	,
38 and 6737.1.						
hese sections of the Business and PAL MECHANICAL DESIGNER — NAM	Professions Cod E SIGNATUR	le are printed in	full in the No	LIC. NO.	DATE	\dashv
AGE			Jug-	C6718		
IANICAL MANDATORY M	EASURES /					\dashv
te location on plans of Note B	SOCK TOL MIGHT	Troi à Medagi es	CF1			1 1
						
				Part 2 of	₂ MECH-	
				Part 2 of	2 MECH-	
PTON INN & SUITES, LATHROP				Part 2 of		_1 _1 1
PTON INN & SUITES, LATHROP		ME	CHANICAL SYS		DATE 2/7/02	то
TEM FEATURES	HP-				DATE 2/7/02	то
TEM FEATURES EM NAME CONTROL	S	-2			DATE 2/7/02	то
TEM FEATURES EM NAME CONTROL ACK CONTROL		-2			DATE 2/7/02	то
EM NAME CONTROL ACK CONTROL ATION ZONES	S	-2			DATE 2/7/02	то
EM NAME CONTROL ATION ZONES PUMP THERMOSTATS? TRIC HEAT?	S	-2			DATE 2/7/02	то
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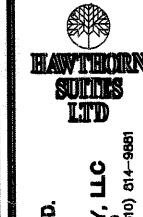
SEALED DUCTS IN CEILING/ROOF SPACE?

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ROJECT ADDRESS 328 WEBSTER STREET RINCIPAL DESIGNER - MECHANICAL	ALAMEDA, CA.		Į T	ELEPHONE	Building Permit #
E GAGE & ASSOCIATES DOCUMENTATION AUTHOR		- Agging - Art - A		559) 439-2222 ELEPHONE	Checked by/Date
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CIPAL DESIGNER - MECHANIC GAGE & ASSOCIATES UMENTATION AUTHOR	CAL	· · · · · · · · · · · · · · · · · · ·	TELEPHONE (559) 439-222	Building Permit # Checked by/Date	
FRAME			(559) 439-222		7
NERAL INFORMATION	<u> </u>				
OF PLANS 5/7/02	BUILDING CON	DITIONED FLOOR AREA	395 S.F.	CLIMATE ZONE 3	
DING TYPE	X NONRESIDENTIAL	HIGH RISE RESIDE	NTIAL HOTEL,	MOTEL GUEST ROOM	

5/7/02				395 S.F.	3
BUILDING TYPE	X NONRESIDENTIAL	HIGH RISE RES	IDENTIAL .	HOTEL/MO	OTEL GUEST ROOM
PHASE OF CONTRUCTION	X NEW CONSTRUCT	TION ADDITION		ALTERATIO	NC
METHOD OF MECHANICAL COMPLIANCE	X PRESCRIPTIVE	PERFORMANCE			
PROOF OF ENVELOPE COMPL	JANCE PREVIO	OUS ENVELOPE PERMIT	X ENVELO	PE COMPLIANC	E ATTACHED
CTATEMENT OF OO	MOLLANCE				
STATEMENT OF CO	MPLIANCE				
This Certificate of Compliance Parts 1 and 6 of the California The documentation preparer	a Code of Regulations. This	certificate applies only to	building mechanica	l requirements.	
DOCUMENTATION AUTHOR	SIGNATURE			· · · · · · · · · · · · · · · · · · ·	DATE
JON FRAME		VOW / NOW			
The Principal Mechanical Design documents is consistent with calculations submitted with this requirements contained in section of the contained in sections.	the other compliance forms is permit application. The pi tions 100 through 115, 120	s and worksheets, with the proposed building has been through 124, 140 through	specifications, and designed to meet to 142, 144 and 145.	with any other the mechanical	
	am eligible under the pro on responsible for its pre engineer, or I am a lice	1	the Business & F r licensed in the S	Professions Co State of Califo	de to sign this ornia as a civil
I affirm that I am elig 6737.3 to sign this do performing this work.	ible under the provisions cument as the person re	to Division 3 of the Bu esponsible for its prepar	siness & Profession; and that I	ons Code by : am o license	Section 5537.2 or d contractor
	ible under Division 3 of t or type of work descibe				





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	AL 2nd &	(S)	
)R CORRID		
CERTIFICATE OF	OR CORRID COMPLIANCE	Part 1 of 1	₂ MECH-1
PROJECT NAME			DATE
HAWTHORN SUITES PROJECT ADDRESS			MAY 10, 2002
	ALAMEDA, CA.		
PRINCIPAL DESIGNER - MECHANICAL	ALAMEDA, CA.	TELEPHONE	Building Permit #
LEE GAGE & ASSOCIATES		(559) 439-2222	
DOCUMENTATION AUTHOR		TELEPHONE	Checked by/Date Enforcement Agency Use
JON FRAME		(559) 439-2222	Lindy State of the
GENERAL INFORMATION			
DATE OF PLANS	BUILDING CONDITIONED FLOOR AREA		CLIMATE ZONE
5/7/02		1072 S.F.	3
BUILDING TYPE	IONRESIDENTIAL HIGH RISE RESIDEN	TAL X HOTEL/	MOTEL GUEST ROOM
PHASE OF CONTRUCTION X	NEW CONSTRUCTION ADDITION	ALTERA	TION
METHOD OF MECHANICAL X F	PRESCRIPTIVE PERFORMANCE		
PROOF OF ENVELOPE COMPLIANCE	PREVIOUS ENVELOPE PERMIT	X ENVELOPE COMPLIA	NCE ATTACHED
CTATINETIC OF COMPUTANT	Off		
STATEMENT OF COMPLIAN		needed to comply with Title	24.
Parts 1 and 6 of the California Code of 1	uilding features and performance specifications r Regulations. This certificate applies only to build	ing mechanical requirement	is.
The documentation preparer hereby c	ertifies that the accumentation is accurate	& complete.	
DOCUMENTATION AUTHOR	SIGNATURE ()		DATE
JON FRAME	1 YOU / Some	<u> </u>	
documents is consistent with the other c	certifies that the proposed building design repre- compliance forms and worksheets, with the speci oplication. The proposed building has been design arough 115, 120 through 124, 140 through 142,	ifications, and with any oth	er
Please check one:	(100) (100) (100) (100) (100)		
V hereby affirm that I am eligible	under the provisions of Division 3 of the lible for its preparation; and that I am lices or I am a licensed architect.	Business & Professions nsed in the State of Ca	Code to sign this lifornia as a civil
I affirm that I am eligible under 6737.3 to sign this document as performing this work.	the provisions to Division 3 of the Busines the person responsible for its preparation;	s & Professions Code by and that I am a licens	/ Section: 5537.2 or sed_controctor
I affirm that I am eligible under pertains to a structure or type of 5538 and 6737.1.	Division 3 of the Business and Professions of work descibed as exempt persuant to Bu	Code to sign this docu siness and Professions	ment because it Code Sections 5537,
(These sections of the Business PRINCIPAL MECHANICAL DESIGNER -	and Professions Code are printed in fall in	the Nonresidential Manu	al.)
LEE GAGE	The Xa	C6718	
MECHANICAL MANDATORY	MEASURES / /		
Indicate location on plans of Not	e Block for Mandatory Measures CF	71	
La contraction of the second o	and the second s		
		Part 2 of	₂ MECH-1

	Part 2 of 2	MECH-
PROJECT NAME	<u> </u>	DATE
HAMPTON INN & SUITES, LATHROP		2/7/02

SYSTEM FEATURES		
	MECHANICAL SYSTEM	NOTE TO
SYSTEM NAME	₩U1	FIELD
TIME CONTROL	M	
SETBACK CONTROL	В	
ISOLATION ZONES	-	
HEAT PUMP THERMOSTATS?	Y	
ELECTRIC HEAT?	N	
FAN CONTROL		
VAV MINIMUM POSITION CONTROL?		
SIMULTANEOUS HEAT/COOL?	N S S S S S S S S S S S S S S S S S S S	
HEAT AND COOL SUPPLY RESET?	Y	
HEAT REJECTION CONTROL?		
VENTILATION	N L	
OUTDOOR DAMPER CONTROL?		
ECONOMIZER TYPE		
DESIGN O.A. CFM (MECH-3, COLUMN H)	90	
HEATING EQUIP. TYPE	PT HEAT PUMP	
HIGH EFFICIENCY? IF YES ENTER EFF. #	N	
MAKE AND MODEL NUMBER	AMANA PTHC123A	
COOLING EQUIP. TYPE	PT HEAT PUMP	
HIGH EFFICIENCY? IF YES ENTER EFF. #	N	
MAKE AND MODEL NUMBER	AMANA PTHC123A	
PIPE INSULATION REQUIRED?	Υ	
PIPE/DUCT INSULATION PROTECTED?	Y	
PIPE TYPE (SUPPLY, RETURN, ETC.)		
HEATING DUCT LOCATION R-VALUE	N/A	
COOLING DUCT LOCATION R-VALUE	N/A	
VERIFY SEALED DUCTS IN % FAN FLOW CEILING/ROOF SPACE	N/A	
Ci	DE TABLES: Enter code from table below into columns above.	
HEAT PUMP THERMOSTAT?	TIME CONTROL SETBACK ISOLATION ZONES	FAN CONTROL
ELECTRIC HEAT?	IIME CONTROL CONTROL ISOLATION ZONES	i inlet Volvee

S: Prog. Switch
O: Occupancy Sensor
M: Manual Timer
H: Heating
C: Cooling
B: Both

VENTILATOIN OUTDOOR DAMPER

B: Air Balence A: Auto
C: Outside Air Cert.
M: Out. Air Measure
D: Demand Centrel
N: Natural

O.A. CFM

ECONOMIZER

A: Air
W: Water
N: Not Required
EC: Economizer Control
See Section 144(e)3

Enter Deisgn
Outdoor Air CFM.
Note: This shall be
no less than Column
H on MECH-3.

Y: Yes N: No

VAY MINIMUM POSITION CONTROL?

SIMULTANEOUS HEAT/COOL? HEAT AND COOL SUPPLY RESET?

PIPE INSULATION REQUIRED?

PIPE/DUCT INSULATION PROTECTED? SEALED DUCTS IN CEILING/ROOF SPACE?

HIGH EFFICIENCY?

TYPICAL GUESTROOMS

CERTIFICATE	OF C	OMPLI	A	NCE	F	Part '	1 of	2	MECH-
PROJECT NAME HAWTHORN SUITES PROJECT ADDRESS								ŀ	DATE MAY 10, 2002
1628 WEBSTER STREET PRINCIPAL DESIGNER - MECHAN LEE GAGE & ASSOCIATES		MEDA, CA.			TELEPI (559)		-2222	2	Building Permit #
DOCUMENTATION AUTHOR JON FRAME			**************************************		TELEP	HONE	-2222		Checked by/Date Enforcement Agency Use
GENERAL INFORMATIO	N	BUILDING CON	NDITION	ONED FLOOR AREA		<u> </u>		CLIM	ATE ZONE
5/7/02				· · · · · · · · · · · · · · · · · · ·		VARIE	<u>s</u>		3
BUILDING TYPE	NONR	ESIDENTIAL		HIGH RISE RESIDENTIAL		X	HOTEL/	MOTE	L GUEST ROOM
PHASE OF CONTRUCTION	X NEW	CONSTRUCTION		ADDITION			ALTERA	MOIT	
METHOD OF MECHANICAL COMPLIANCE	X PRES	CRIPTIVE		PERFORMANCE					
PROOF OF ENVELOPE COMPLIAN	ICE	PREVIOUS I	ENVE	ELOPE PERMIT X	ENVELO	PE C	OMPLIA	NCE	ATTACHED
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Indicate location on plans of Note Block for Mandatory Measures CF1

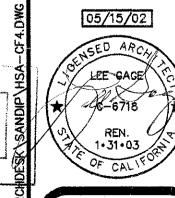
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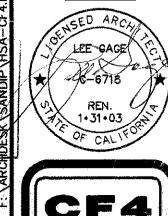
Part 2 of 2	MECH-1
	DATE
 	2/7/02

			MECHANICAL SYSTEM						
System NAME			W ∪-1					-	FIELD
TIME CONTROL			М						
SETBACK CONTROL			В			_			
ISOLATION ZONES	Economic Make danament					11_		_	
HEAT PUMP THERMOSTATS?			Y			_			
ELECTRIC HEAT?			N		· • • • • • • • • • • • • • • • • • • •	_		_	
FAN CONTROL						 		_ _	
VAV MINIMUM POSITION CON	TROL?					┨┠			
SIMULTANEOUS HEAT/COOL?			N			 	· · · · · · · · · · · · · · · · · · ·	_ _	
HEAT AND COOL SUPPLY RE	SET?		Y					_	
HEAT REJECTION CONTROL?						<u> </u>		_	
VENTILATION		<u></u>	N				·		
OUTDOOR DAMPER CONTROL	?		-			↓ _			
ECONOMIZER TYPE					·	∐ _			
DESIGN O.A. CFM (MECH-3,	COLUMN H)		30] [,
HEATING EQUIP. TYPE		PT I	HEAT PUMP		<u></u>				
HIGH EFFICIENCY? IF YES	ENTER EFF. #	N				\prod			
MAKE AND MODEL NUMBER		AMA	NA PTHC123A		····] [_			
COOLING EQUIP. TYPE		PT I	HEAT PUMP			↓	-		
HIGH EFFICIENCY? IF YES	ENTER EFF. #	N	incomé excicle						
MAKE AND MODEL NUMBER		AMA	NA PTHC123A			1 _			
PIPE INSULATION REQUIRED?			Υ]	440444444444444444444444444444444444444		
PIPE/DUCT INSULATION PRO	TECTED?		Υ					_ _	
PIPE TYPE (SUPPLY, RETURI	, ETC.)			<u> </u>		↓		_	
HEATING DUCT LOCATION	R-VALUE		N/A			4		_	··········
COOLING DUCT LOCATION	R-VALUE		N/A			┦┣	·····	_ -	
VERIFY SEALED DUCTS IN CEILING/ROOF SPACE	% FAN FLOW		N/A						

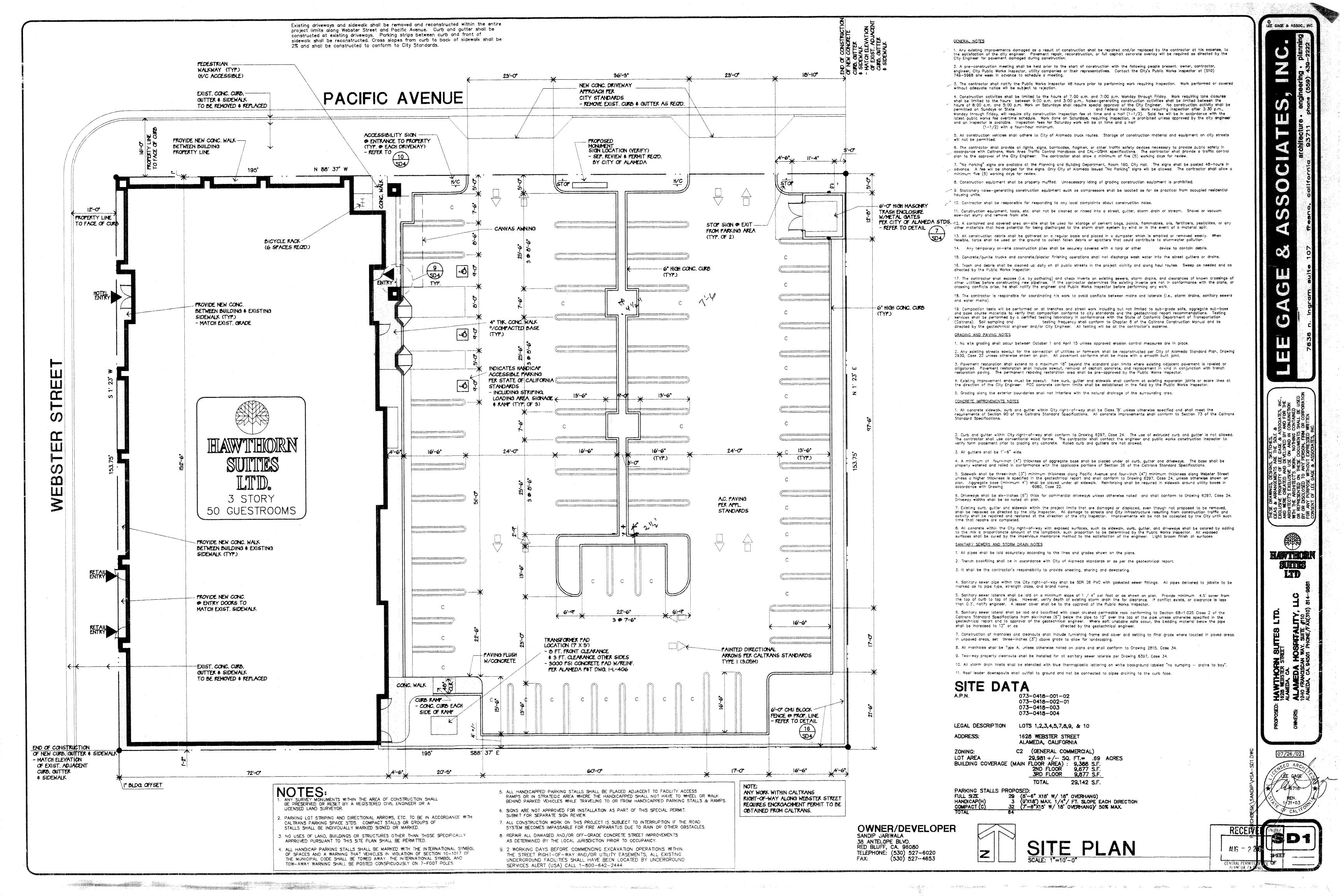
HEAT PUMP THERMOSTATY		TIME CONTROL	SETBACK CONTROL	ISOLATION ZONES	FAN CONTROL	
ELECTRIC HEATY		S: Prog. Switch	H: Heating	Enter number of	i: inlet Valves	
VAY MINIMUM POSITION CONTROL?		O: Occupancy Sensor	C: Cooling B: Both	isolation Zones	P: Variable Pitch V: VFD	
SIMULTANEOUS HEAT/COOL?	Y: Yes M: Manual Timer				O: Other C: Curve	
HEAT AND COOL SUPPLY RESET?			OUTDOOR			
HIGH EFFICIENCY?		VENTILATOIN	DAMPER	ECONOMIZER	O.A. CFM	
PIPE INSULATION REQUIRED?		B: Air Balance C: Outside Air Cert.	A: Auto G: Gravity	A: Air W: Water	Enter Delagn Outdoor Air CFM.	
PIPE/DUCT INSULATION PROTECTED?		M: Out. Air Meosure D: Demand Control		N: Not Required EC: Economizer Control See Section 144(e)3	Note: This shall be no less than Column H on MECH-3.	
SEALED DUCTS IN CEILING/ROOF SPACET		N: Natural		200 20010[1 177(0)2	it at theat	

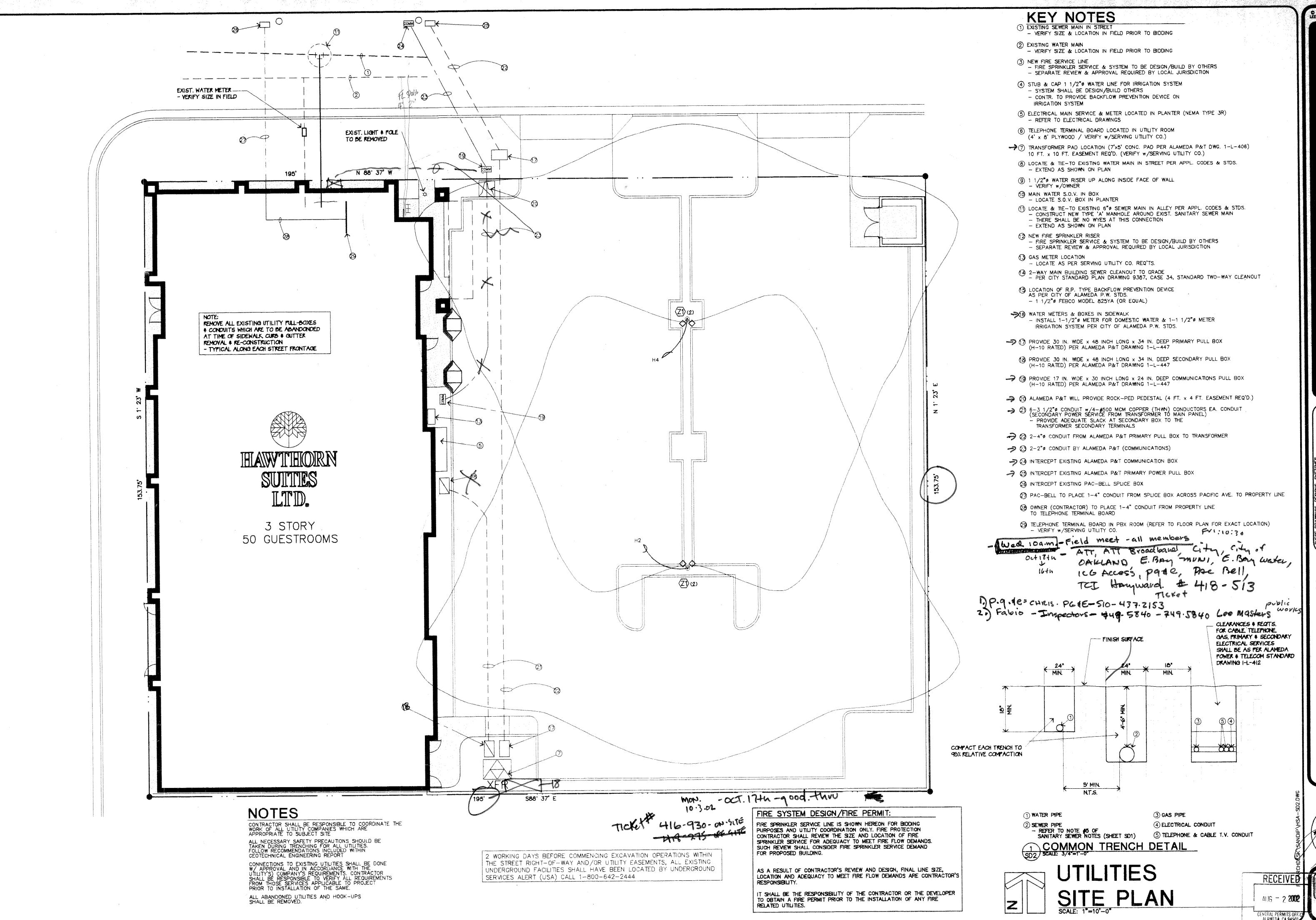






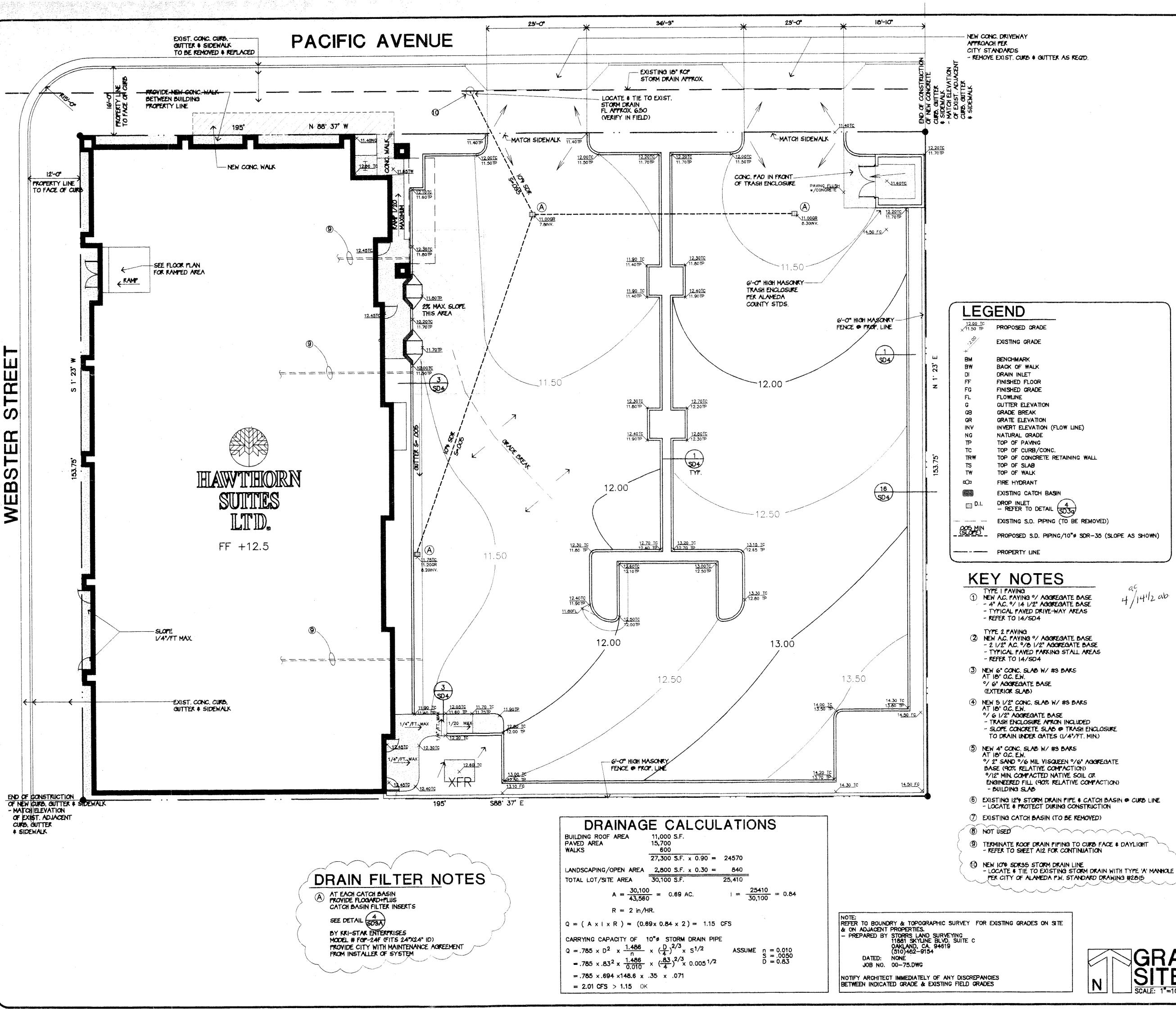






HAWTHOR SUMES

) i



NOTES:

- 1.) MAINTAIN MINIMUM FINISHED FLOOR ELEVATION AS SHOWN FOR BUILDING. PAD ELEVATION IS DEPENDENT UPON THICKNESS OF FLOOR SYSTEM—SPECIFIED BY BUILDING DESIGNER(S). MAINTAIN A MINIMUM 4% SLOPE AWAY FROM BUILDING FOR A MINIMUM OF 5 FEET OR TO TOP OF ADJACENT CURB.
- 2.) ALL GRADING SHALL COMPLY WITH SECTION APPENDIX CHAPTER 33
- OF THE 1997 UNIFORM BUILDING CODE.

 3.) PROVIDE COMPACTION REPORTS PREPARED BY AN APPROVED TESTING
- AGENCY. (IF REQUIRED BY LOCAL GOVERNING AUTHORITY)

 4.) TOTAL SQUARE FOOTAGE OF A.C. PAVEMENT IS 15,300 SQ. FT.
- 5.) ESTIMATED GRADING QUANTITIES:
- CUT 100 CU. YDS.

 FILL CU. YDS.

 NOTE: GRADING QUANTITIES ARE SHOWN FOR PERMIT PURPOSES
 ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE FINAL BID
 QUANTITIES. IMPORT FILL TO BE AS PER GEOTECHNICAL
- ENGINEER'S RECOMMENDATIONS.

 6.) NO DRAINAGE SHALL BE ONTO ADJACENT PROPERTY.
- 7.) DRAINAGE PIPE TO BE REINFORCED CONC. OR PVC SDR35 PIPE
- 8.) SOILS ENGINEER OF RECORD TO CERTIFY A.C. PAVEMENT SECTION.
- 9.) FOR ADDITIONAL DETAILS AND SITE DIMENSIONS, SEE ARCHITECTURAL SITE PLANS.
- 10.) A SOILS GRADING REPORT PREPARED BY THE SOILS ENGINEER SHALL BE SUBMITTED UPON COMPLETION OF GRADING IN CONFORMANCE WITH
- THE 1997 UBC, APP. CHAPTER 3318 (IF APPLICABLE).

 11.) THE OVERALL BUILDING SITE SHALL HAVE A MINIMUM SLOPE OF 1%
- 12.) NO PERMANENT ON-SITE WATER RETENTION IS ALLOWED.

IN ALL AREAS TO AN APPROVED DRAINAGE FACILITY.

- 13.) ANY VERTICAL CUT OR FILL DIFFERENTIAL EQUAL TO OR GREATER THAN TWELVE (12) INCHES BETWEEN ADJACENT PROPERTIES SHALL BE SUPPORTED BY AN APPROVED RETAINING WALL DIFFERENTIALS LESS THAN TWELVE (12) ARE TO HAVE A MAXIMUM SLOPE OF ONE (1) VERTICAL TO THREE (3) HORIZONTAL.
- 14.) PROVIDE WEAKENED PLANE JOINTS @ 15 FT. O.C. (MAX.) & EXPANSION
- 15.) CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES

PHONE (800) 642-2444.

PRIOR TO BEGINNING ANY WORK ON THIS SITE.

16.) UNDERGROUND SERVICE ALERT — CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT FOR LOCATION OF UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION —

JOINTS AT 45 FT. O.C. (MAX.) AT ALL CONCRETE SLABS.

- 17.) CONTRACTOR SHALL PROVIDE DUST CONTROL MEASURE TO THE SATISFACTION OF THE GOVERNING AUTHORITY HAVING JURISDICTION.
- 18.) ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS REPORT DATED: DEC. 22, 2000 PREPARED BY: GLOBE SOIL ENGINEERS
- 19.) ALL FILL SHALL BE COMPACTED PER SOILS REPORT WITH APPROPRIATE TESTS TO VERIFY COMPACTION VALUES.
- 20.) ORGANIC MATERIALS SHALL BE STRIPPED TO THE DEPTH DEEMED NECESSARY BY THE SOILS ENGINEER AND ONLY USED IN AREAS OF NON-ENGINEERED FILL (LANDSCAPE MOUNDS, ETC.)
- 21.) NO ADJUSTMENT TO THE GRADES SHOWN ON THE PLANS SHALL BE PERMITTED WITHOUT APPROVAL OF THE ARCHITECT/ENGINEER. DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THE PLANS SHALL BE IMMEDIATELY CALLED TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
- 22.) CATCH BASINS AND AREA DRAINS ARE TO BE ACCURATELY LOCATED BY THEIR RELATIONSHIP TO THE BUILDING, ROOF DRAINS, AND CURB LAYOUT, NOT BY THE LENGTH OF PIPE SPECIFIED IN THE DRAWINGS (WHICH IS APPROXIMATE).
- 23.) TOP OF ALL CONCRETE CURBS ARE 0.50' (6") ABOVE ADJACENT TOP OF PAVING GRADES, EXCEPT WHERE SPECIFICALLY NOTED.
- 4.) THE CONTRACTOR SHALL READ AND CONSIDER THE PROVISIONS OF THE SOILS REPORT WHEN BIDDING THIS PROJECT.
- 25.) ALL WORK ON-SITE AND IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE GOVERNING AUTHORITY HAVING JURISDICTION.
- 26.) ALL MATERIAL TO BE REMOVED SHALL BE PROPERLY DISPOSED OF AT APPROPRIATE LEGAL LOCATION(S) AWAY FROM SITE
- 27.) CONTRACTOR SHALL PROTECT SITE IMPROVEMENTS (BOTH ON-SITE & OFF-SITE) NOT SCHEDULED FOR REMOVAL DURING CONSTRUCTION. HE SHALL REPAIR ANY DAMAGE TO SAME-BACK TO NEW CONDITION AT HIS EXPENSE

NOTES:
AGGREGATE BASE UNDER PAVED AREAS
TO BE COMPACTED TO 95% RELATIVE
COMPACTION (MIN.)

PAVING SLOPES MINIMUM = 0.015 MAXIMUM = 0.050

CONCRETE GUTTER SLOPES
MINIMUM = 0.003

* INDICATES MAXIMUM SLOPE OF 2%

• HANDICAP PARKING AREAS

HANDICAP RAMP SLOPES

MAXIMUM = 1/12 W/ HANDRAILS

1/20 W/OUT HANDRAILS

NOTE:

HANDRAILS ARE NOT REQUIRED

RAMPS WHICH DO NOT EXCEED

6" HEIGHT DIFFERENCE

REFER TO SHEET TI (BY OTHERS)
FOR EXISTING GRADES
REFER TO SHEET SO3A \$ 504

FOR SITE DETAILS

REFER TO SHEET SDI FOR SITE
PLAN DIMENSIONS

GRADING & DRAINAGE SITE PLAN

AUG 2 2002

ED S

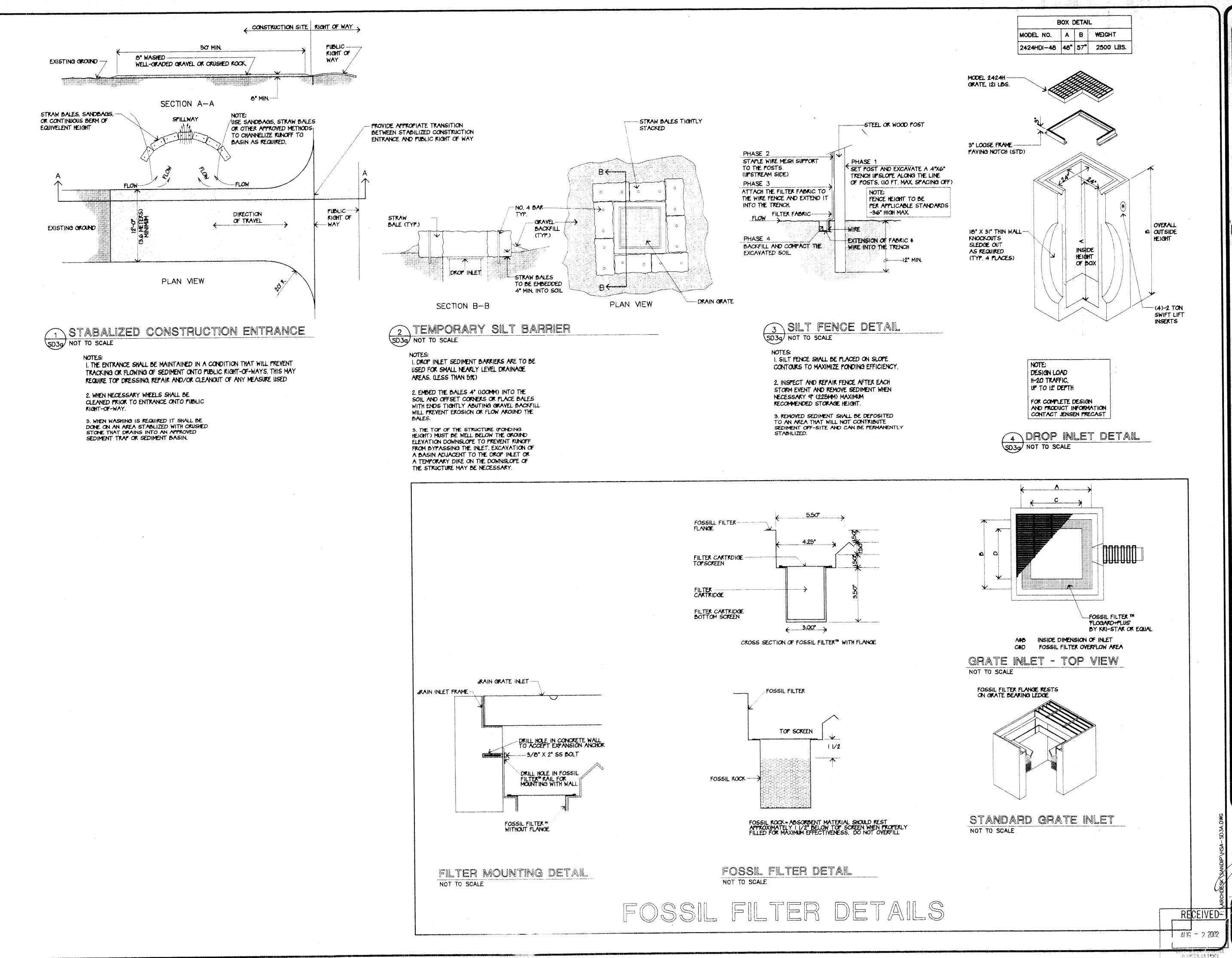
1628 WEBSTE ALAMEDA, CA OWNERS: ALAMEDA, CA 1940 FRANCIS ALAMEDA, CA

THESE DRA IDEAS & AF EXCLUSIVE AND WERE ARCHITECT'S WITH THE A OR REPRESS BY OR DISC

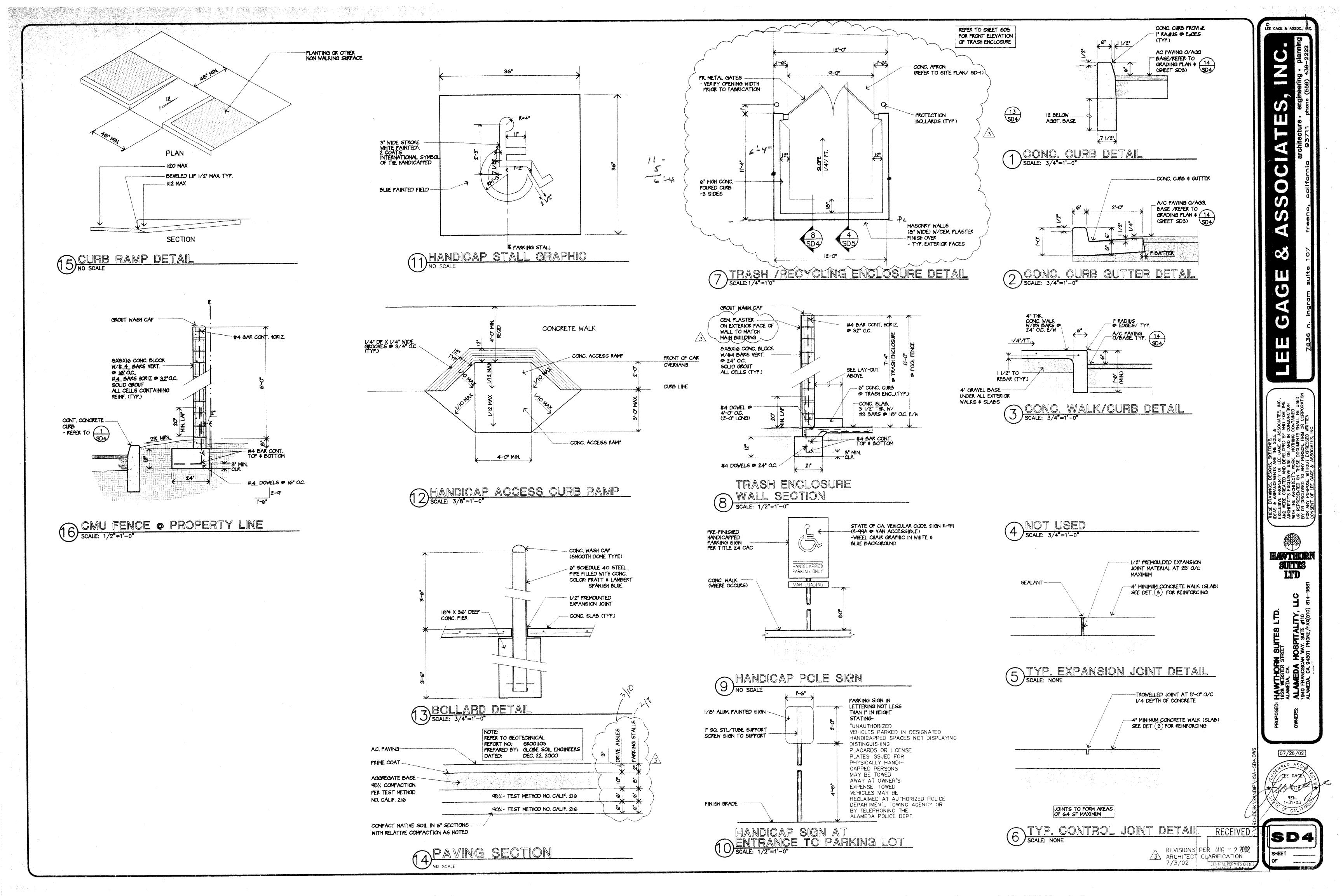
HAWTHORN

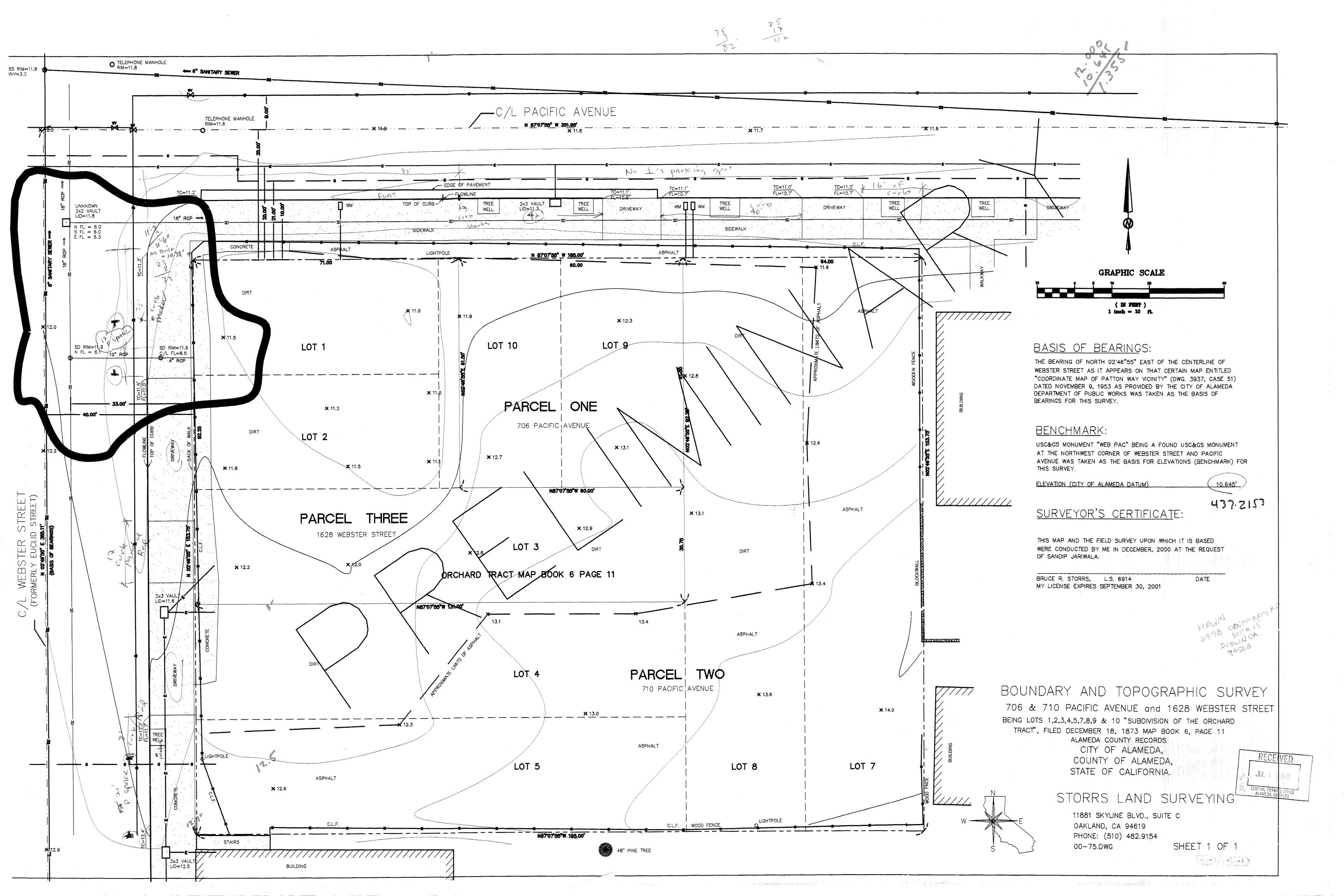
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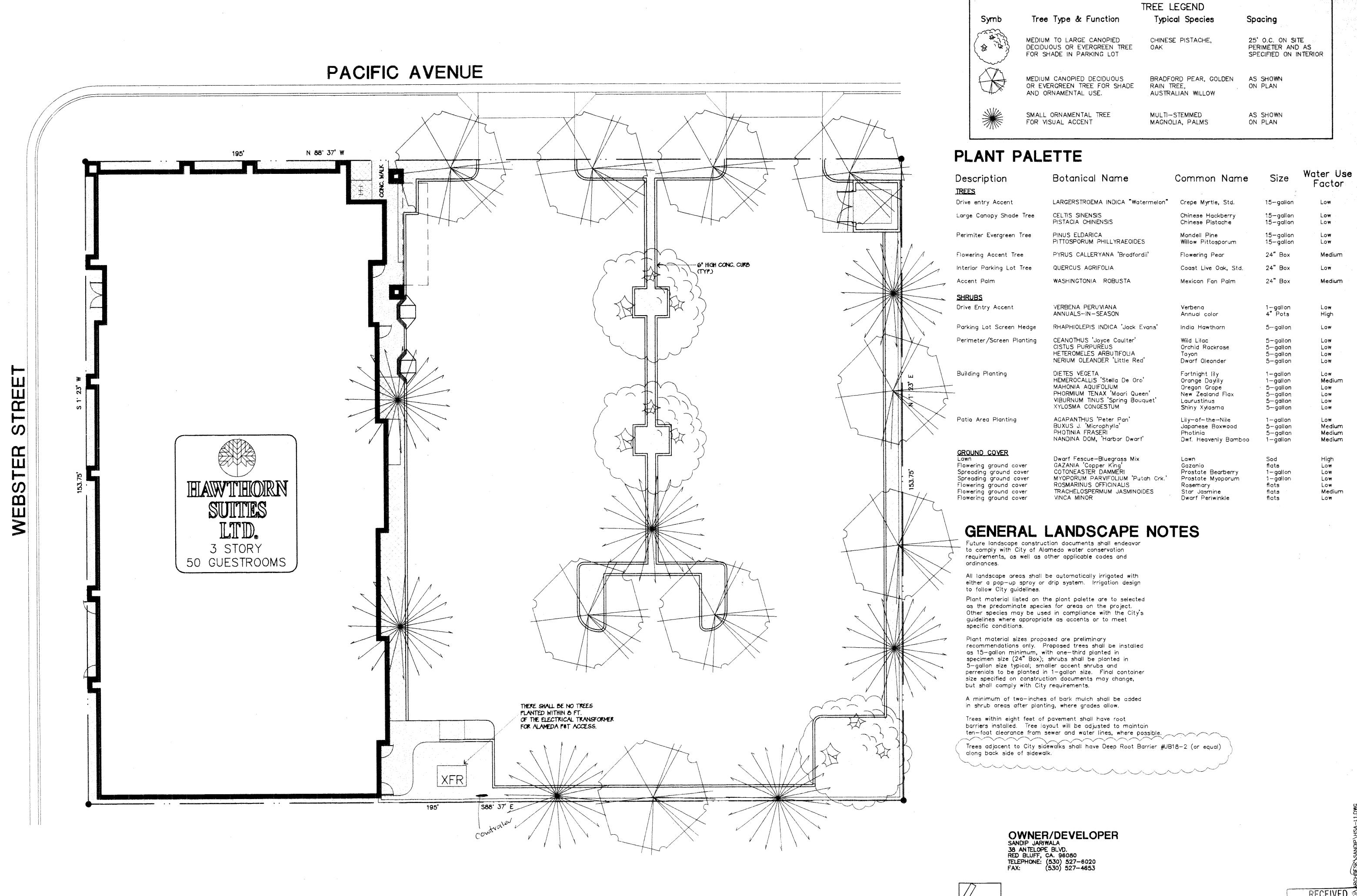
LTD



HAWTHOR SUITES

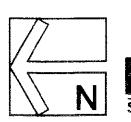






25' O.C. ON SITE PERIMETER AND AS SPECIFIED ON INTERIOR

	Description	botanical name	Common Name	3128	Factor
	TREES		÷		
	Drive entry Accent	LARGERSTROEMA INDICA "Watermelon"	Crepe Myrtle, Std.	15-gallon	Low
	Large Canopy Shade Tree	CELTIS SINENSIS PISTACIA CHINENSIS	Chinese Hackberry Chinese Pistache	15—gallen 15—gallen	Low ·
	Perimiter Evergreen Tree	PINUS ELDARICA PITTOSPORUM PHILLYRAEOIDES	Mondell Pine Willow Pittosporum	15—gallon 15—gallon	Lo₩ Lo₩
	Flowering Accent Tree	PYRUS CALLERYANA 'Bradfordii'	Flowering Pear	24" Box	Medium
7	Interior Parking Lot Tree	QUERCUS AGRIFOLIA	Coast Live Oak, Std.	24" Box	Low
	Accent Palm	WASHINGTONIA ROBUSTA	Mexican Fan Palm	24" Box	Medium
	SHRUBS				
~	Drive Entry Accent	VERBENA PERUVIANA ANNUALS-IN-SEASON	Verbena Annual color	1-gallon 4" Pots	Lo w High
	Parking Lot Screen Hedge	RHAPHIOLEPIS INDICA 'Jack Evans'	India Hawthorn	5gallon	Low
\	Perimeter/Screen Planting	CEANOTHUS 'Joyce Caulter' CISTUS PURPUREUS HETEROMELES ARBUTIFOLIA NERIUM OLEANDER 'Little Red'	Wild Lilac Orchid Rackrose Toyon Dwarf Oleonder	5–gallon 5–gallon 5–gallon 5–gallon	Low Low
1	Building Planting - 	DIETES VEGETA HEMEROCALLIS 'Stella De Oro' MAHONIA AQUIFOLIUM PHORMIUM TENAX 'Moari Queen' VIBURNUM TINUS 'Spring Bouquet' XYLOSMA CONGESTUM	Fortnight Illy Orange Daylly Oregon Grape New Zealand Flax Laurustinus Shiny Xylosma	1—gallon 1—gallon 5—gallon 5—gallon 5—gallan 5—gallon	Low Medium Low Low Low Low
`	Patio Area Planting	AGAPANTHUS 'Peter Pan' BUXUS J. 'Microphylla' PHOTINIA FRASERI NANDINA DOM, 'Harbor Dwarf'	Lily-of-the-Nile Japanese Boxwood Photinia Dwf. Heavenly Bamboo	1-gallon 5-gallon 5-gallan 1-gallon	Low Medium Medium Medium
	GROUND COVER Lawn Flowering ground cover Spreading ground cover Spreading ground cover Flowering ground cover Flowering ground cover Flowering ground cover	Dwarf Fescue—Bluegrass Mix GAZANIA 'Copper King' COTONEASTER DAMMERI MYOPORUM PARVIFOLIUM 'Putah Crk.' ROSMARINUS OFFICINALIS TRACHELOSPERMUM JASMINOIDES VINCA MINOR	Lawn Gazanio Prostate Bearberry Prostate Myoporum Rosemary Star Jasmine Dwarf Periwinkle	Sod flats 1—gallon 1—gallon flats flats flats	High Low Low Low Low Medium Low

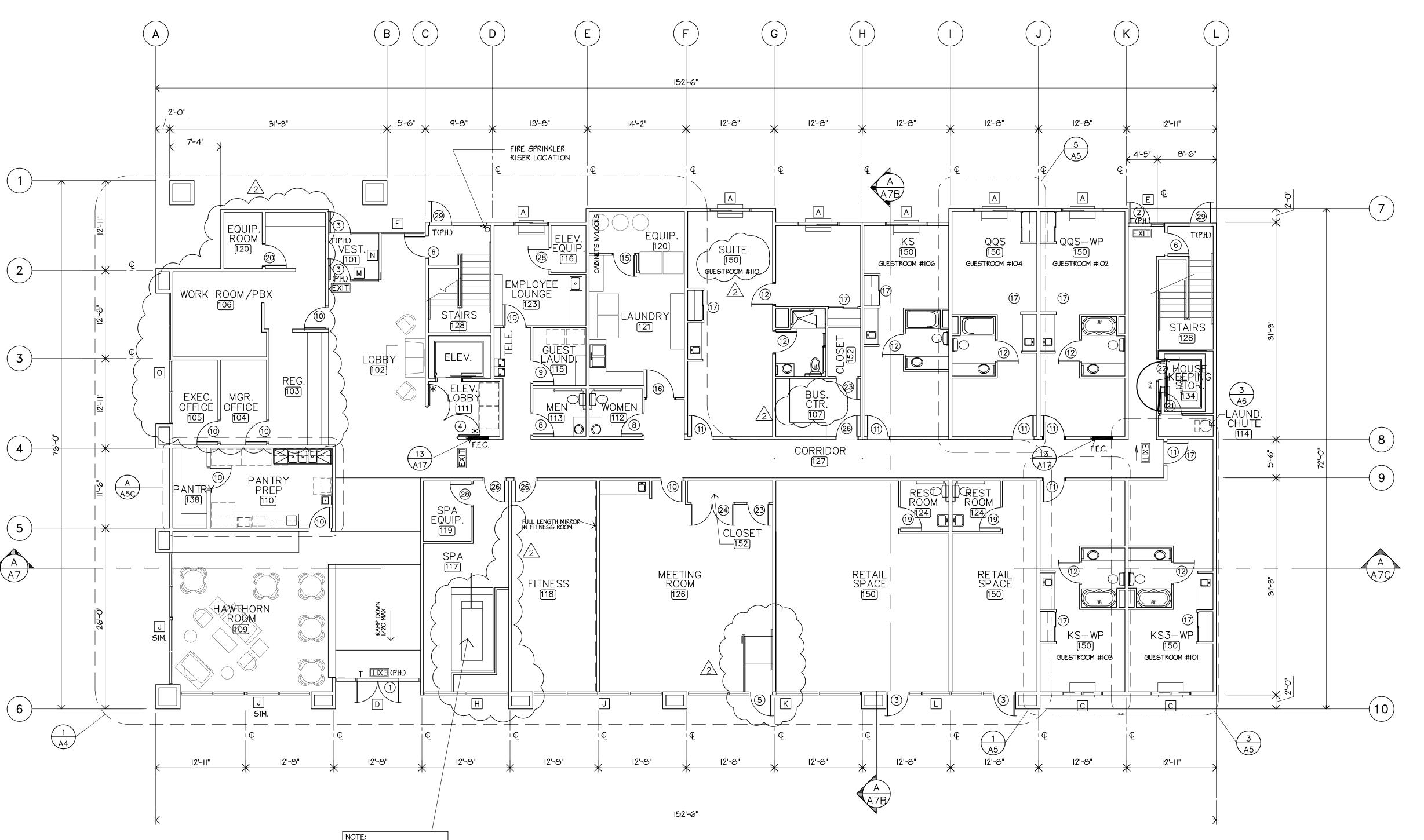


LANDSCAPE SITE PLAN
SCALE: 1"=10'-0"

RECEIVED

HAWTHORN

SULTES



NOTES:

MAX. SMOKE RATING OF 450.

1.) INSULATE ALL EXTERIOR WALLS W/ R-19 FIBERGLASS BATT INSULATION. (UNLESS NOTED OTHERWISE)

2.) INSULATE CEILING AREA WITH R-30 FIBERGLASS BATT INSULATION/ UNLESS NOTED OTHERWISE ON PLANS.

3.) PROVIDE LEVER-TYPE DOOR HARDWARE PER STATE OF CALIFORNIA TITLE 24 REQUIREMENTS. NOT LESS THAN 30" NOR MORE THAN 44" A.F.F.

4.) PROVIDE PORTABLE FIRE EXTINGUISHERS / SIZE AND LOCATION PER FIRE DEPT. REQUIREMENTS (NFPA PAMPHLET PG. 10)

5.) FLAME SPREAD CLASSIFICATION FOR INTERIOR WALLS AND CEILINGS TO BE CLASS III. (AUTOMATIC FIRE SPRINKLER SYSTEM PROVIDED).

6.) FIRE EXTINGUISHING PLANS TO BE SUBMITTED TO THE LOCAL GOVERNING FIRE DEPT. PRIOR TO ERECTION FOR APPROVAL AND PROVIDE CENTRAL STATION SUPERVISION ON SYSTEMS. (GENERAL CONTRACTOR REQ'T.)

7.) THE FIRE ALARM SYSTEM SHALL BE U.L. LISTED AND APPROVED BY THE STATE FIRE MARSHALL /PLANS SHALL BE SUBMITTED TO THE LOCAL GOVERNING FIRE DEPT. PRIOR TO INSTALLATION FOR APPROVAL. (GENERAL CONTRACTOR REQ'T.) 19.) ALL DIMENSIONS ARE TO THE FACE OF STUDS UNLESS NOTED 8.) ALL EXPOSED INSULATION SHALL HAVE MAX. FLAME SPREAD OF 25 &

9.) ALL MATERIAL EXPOSED IN PLENUM SPACE ABOVE CEILING TO HAVE A MAXIMUM FLAME SPREAD OF 25 AND A MAXIMUM SMOKE RATING OF 50.

10.) PROVIDE 5" x 5" SQ. HANDICAP ACCESSIBILITY DECAL AT ALL ENTRANCES 1 TO THE BUILDING / MOUNT @ +5'-0" AFF - DOORS (1) & (2) -REFER TO HS2

11.) WEATHER-STRIP ALL EXTERIOR DOORS PER TITLE 24 REQUIREMENTS. 12.) EXIT DOORS TO BE OPEN ABLE W/ MAX. 8 1/2LBS. FOR EXTERIOR DOORS & 5 LBS. FOR INTERIOR DOORS.

13.) F.E.C. = FIRE EXTINGUISHER CABINET (13) 2-A:10BC FIRE EXTINGUISHER - MOUNT \oplus +5'-0" A.F.F.

SPA & EQUIPMENT REQUIRE

SEPARATE REVIEW & PERMIT

BY GENERAL CONTRACTOR

14.) ALL DECORATIVE MATERIALS SHALL BE FIRE RETARDANT OR APPROVED TREATED MATERIALS.

15.) THE SPRINKLER SYSTEM SHALL BE INTERCONNECTED W/ THE FIRE ALARM

SYSTEM / TO AUTOMATICALLY ACTIVATE THE FIRE ALARM IF SPRINKLER SYSTEM IS ACTIVATED.

16.) PROVIDE A STREET VISIBLE ADDRESS ON BUILDING PRIOR TO FINAL INSPECTION. (12" HIGH MINIMUM)

17.) PROVIDE 'NO SMOKING' SIGNS PER F.M.C. - INTERNATIONAL 'NO SMOKING' SYMBOL IN RED OR 1" HIGH LETTER STATING 'NO SMOKING'

- 40 SQ. INCHES IN SIZE & LOCATED 60" A.F.F. 18.) ALL EXTERIOR WALLS ARE 2X6UNLESS NOTED OTHERWISE

-ALL OTHER FRAMING TO BE 2X4 UNLESS NOTED

OTHERWISE/ REFER TO STRUCT. DWGS. FOR REQUIREMENTS
WHICH SHALL GOVERN OVER ARCHITECTURAL DWGS.

OTHERWISE. 20.) PROVIDE BLOCKING BEHIND ALL WALL MOUNTED ACCESSORIES, FIXTURES, FITTINGS, ETC.

-REFER TO DETAIL 9/A11

21.) REFER TO ENLARGED PLANS FOR ALL DOOR , WINDOW AND PARTITION TYPES UNLESS OTHERWISE NOTED.

22.) ALL PLATES IN CONTACT W/ CONCRETE SHALL BE PRESSURE TREATED. 23.) WHERE DRAPERY RODS ARE USED AT WINDOWS, PROVIDE WOOD BLOCKING IN CEILING FOR ATTACHMENT AS REQUIRED.

24.) ALL COMPONENTS OF FIRE RATED DOOR ASSEMBLIES SHALL BEAR THE LABEL OF AN APPROVED TESTING AGENCY, INCLUDES: DOOR, FRAMES,

CLOSING DEVICE & LATCHES. 25.) * INDICATES LOCATION OF DOOR HOLDER/ RELEASE DEVICE -REFER OT SHEET A9B FOR INFORMATION

26.) MAXIMUM CROSS SLOPE OF ALL LANDINGS, RAMPS AND/OR WALKS TO BE 1/4"/FT.

27.) REFER TO STRUCTURAL PLANS FOR ALL SHEAR WALL LOCATIONS

28.) NO THUMB LATCHES OR KEYED CYLINDER DEAD BOLTS ALLOWED ON ANY

DOORS UNLESS OPERATED BY A SINGLE ACTION WITH A LEVER. THE PROPOSED HARDWARE MUST BE APPROVED FOR EXITING REGARDLESS OF OCCUPANT LOADS.

29.) PANIC HARDWARE (WHERE REQUIRED) SHALL BE MOUNTED: 30" MIN., 44" MAX. FROM FIN. FLOOR

30.) OCCUPIED STRUCTURES SHALL BE SOUND PROOFED TO REDUCE INTERIOR NOISE TO 45 dB. ACCORDING TO STATE GUIDELINES. REFLECTIVE MATERIALS ARE NOT PERMITTED TO BE USED IN STRUCTURES OR SIGNS (EXCLUDING TRAFFIC DIRECTING SIGNS), TO AVOID DISTRACTING PILOTS

31.) CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES IN WRITING PRIOR TO PROCEEDING WITH THAT PORTION OF WORK

32.) ALL WORK SHALL MEET OR EXCEED THE REQUIREMENTS OF THE OWNER'S FRANCHISE STANDARDS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY DOCUMENTS PERTAINING TO FRANCHISE REQUIREMENTS AND TO COORDINATE SAME WITH THE OWNER

33.) F.E. = PORTABLE WALL MTD. FIRE EXTINGUISHER 10 LB. ABC RATED (TYP. WHERE SHOWN)

NOTE:

PROVIDE 1-LAYER OF 5/8" TYPE 'X' GYPSUM BOARD AROUND ALL FACES OF WOOD COLUMNS (4X4, 6X6, 6X8, ETC.) SUPPORTING FLOOR &/ OR ROOF BEAMS - TYP. ALL FLOORS

PROVIDE 1-LAYER OF 5/8" TYPE 'X' GYPSUM BOARD AROUND ALL WOOD BEAMS FOR 1-HR.

FIRE-RESISTIVE ASSEMBLY(ALL FACES & BTM.) EACH DOOR TO AN EXIT STAIRWAY SHALL HAVE A TACTILE SIGN, INCLUDING RAISED LETTERS AND BRAILLE, STATING 'EXIT'

REFER TO ENLARGED PLANS FOR DETAILED REQUIREMENTS NOT SHOWN ON THIS SHEET

REFER TO SHEETS FS1 & FS2 FOR ALL AREA SEPARATION WALLS, OCCUPANCY SEPARATION WALLS, & FIRE SEPARATION WALLS

-FIRE STOP INDEX ON FS1 SHALL BE USED FOR ALL PENETRATIONS WITHIN THESE WALLS.

* INDICATES ELECTRIC MAGNETIC HOLD OPEN WIRED TO FIRE ALARM. SEE NOTE #6 SHEET A9B

ITEMS FURNISHED BY OWNER:

- 1. LAUNDRY EQUIPMENT: WASHERS & DRYERS 2. P.B.X., PHONE SYSTEM, T.V. & TELEPHONE WIRING.
- 3. CAMERA & MONITORS 4. TESA LOCKS & INSTALLATION
- 5. GUEST LAUNDRY EQUIPMENT: WASHER & DRYERS 6. PREP. / SERVING AREA EQUIPMENT: REFRIGERATOR & FREEZER
- 7. VENDING AREA EQUIPMENT: ICE MACHINES, SODA & SNACK MACHINES -VERIFY DISPOSITION OF GENERAL CONTRACTOR'S INSTALLATION REQ'TS. WITH OWNER PRIOR TO BIDDING.

1 INDICATES DOOR DESIGNATION $^{\prime}-$ refer to sheet a9 for detailed req'ts.

A INDICATES WINDOW/ STOREFRONT DESIGNATION - REFER TO SHEET A9 FOR DETAILED REQ'TS.

1 INDICATES PARTITION TYPES

✓ – REFER TO SHEET A10 FOR DETAILED REQ'TS. (T) INDICATES THRESHOLD REQUIRED

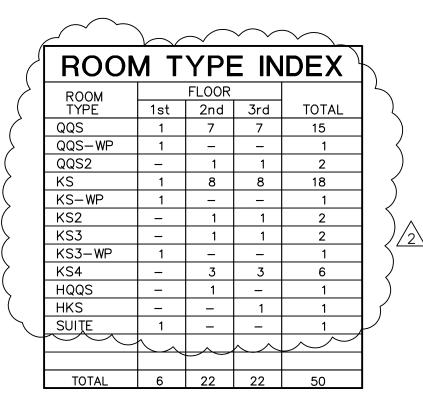
(P.H.) INDICATES PANIC HARDWARE REQUIRED

EXIT INDICATES ILLUMINATED EXIT SIGN WITH REQUIRED DIRECTIONAL ARROWS

REVISIONS PER

2 OWNER REQUEST

7/3/02



ROOM TYPE LEGEND	
ROOM ESIGNATION	DESCRIPTION
QQS	DOUBLE QUEEN SUITE
KS	KING SUITE
HKS	HANDICAP ACCESSIBLE KING SUITE
WP	WHIRLPOOL
2, 3, 4	ADDITIONAL ROOM TYPES



SHEET

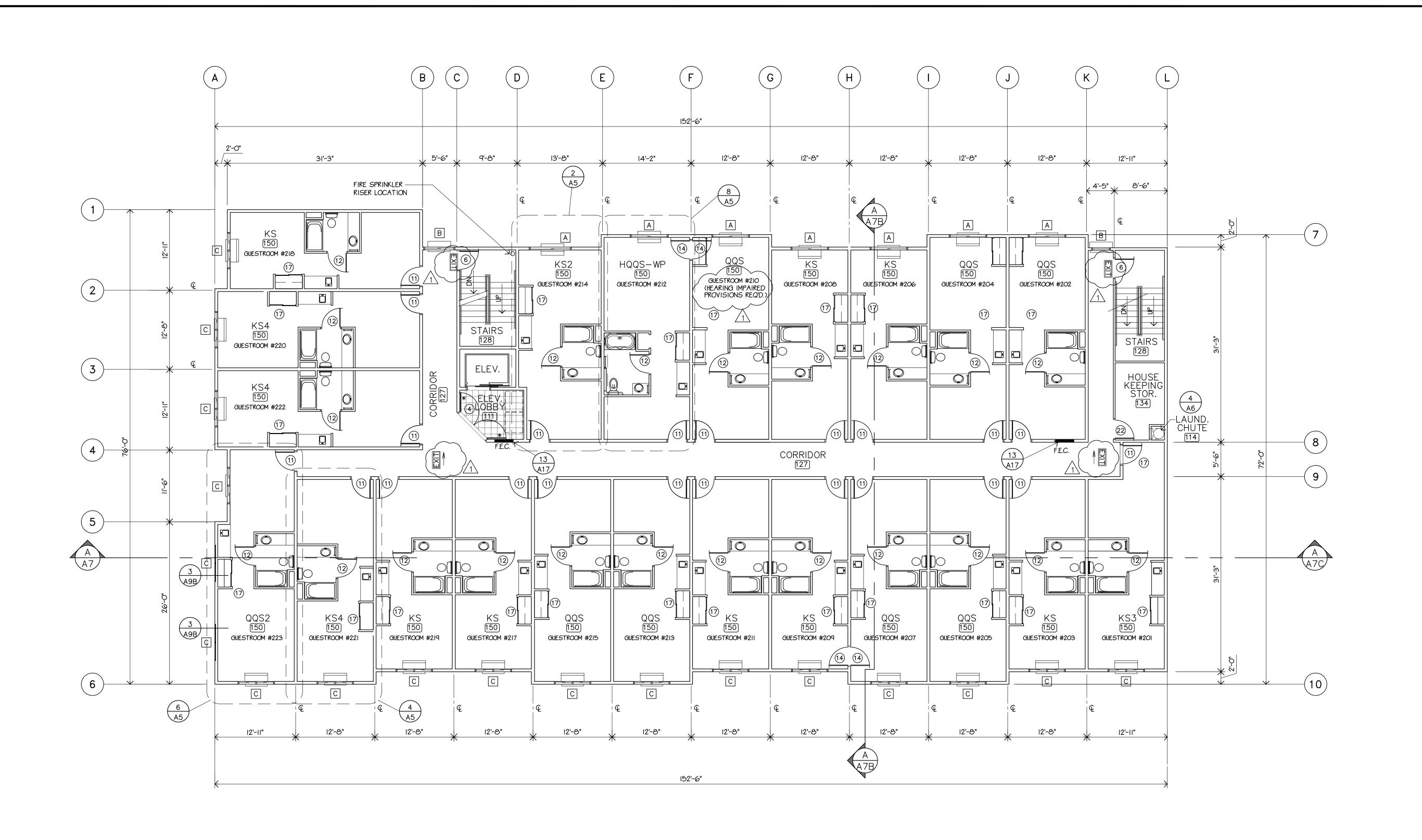
LEE GAGE

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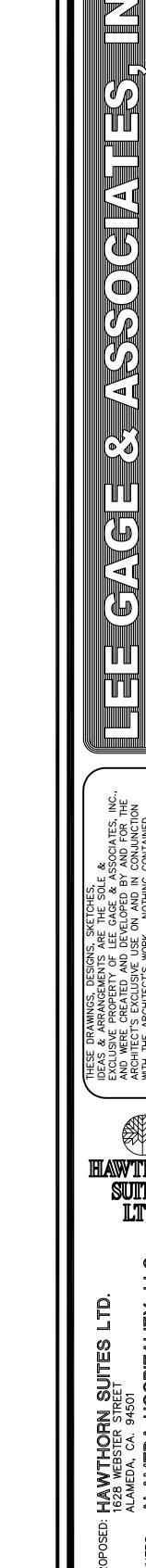
HAWTHORI

SUITES

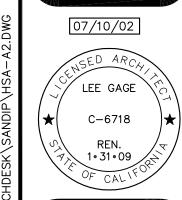


REVISIONS PER
CITY OF ALAMEDA
7/3/02

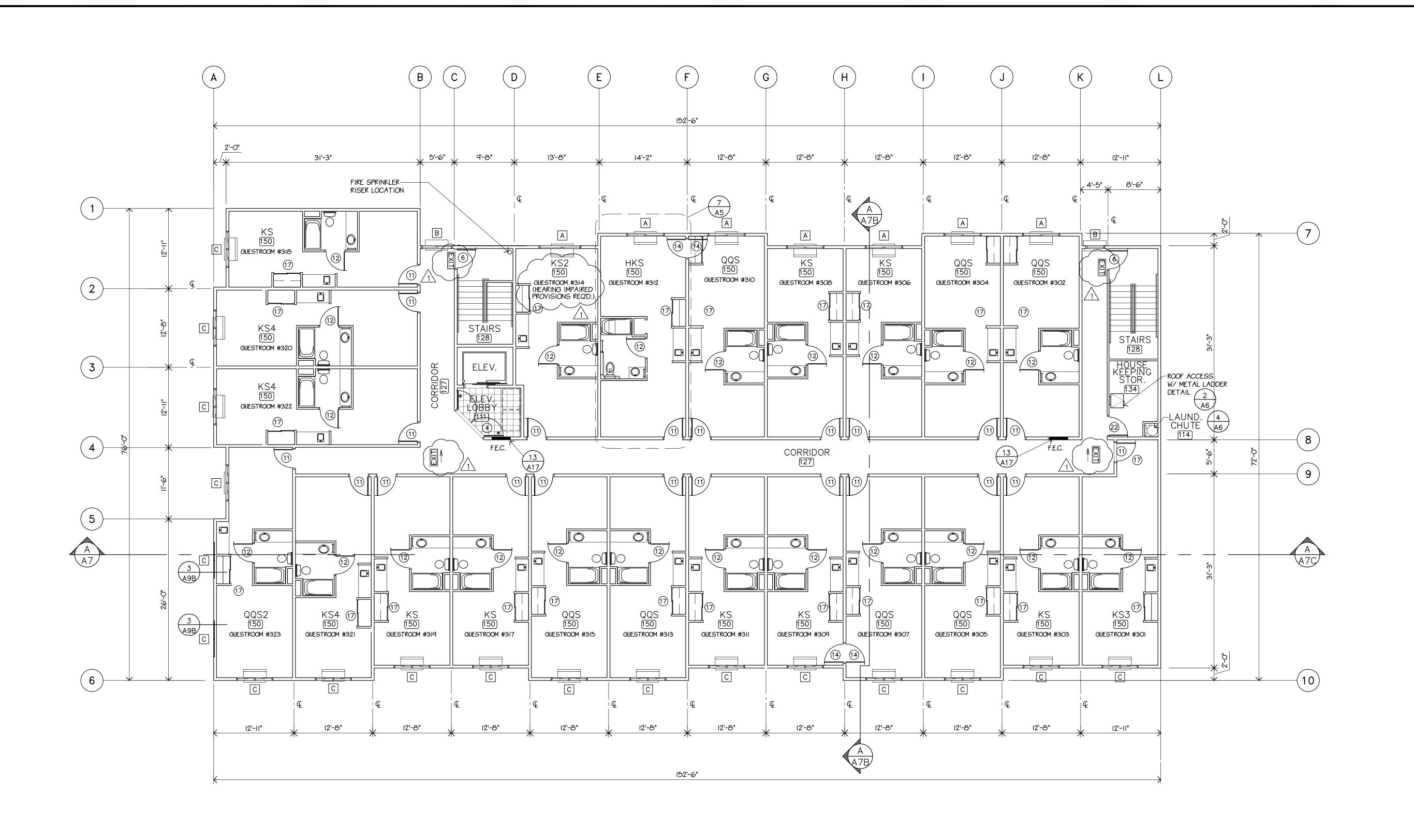






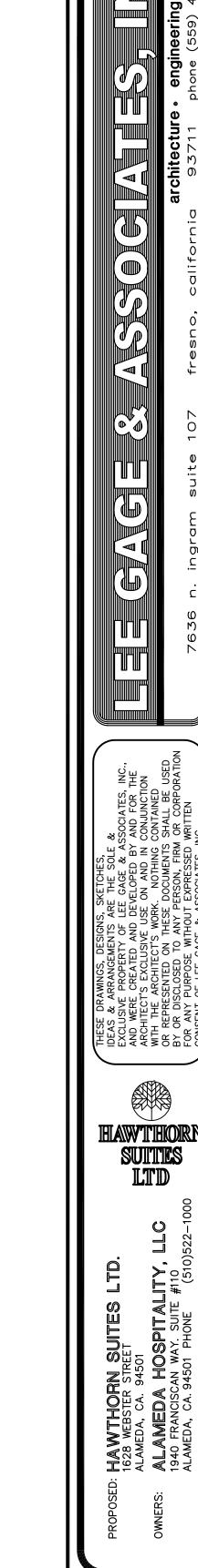






REVISIONS PER
CITY OF ALAMEDA
7/3/02





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