

SYMBOLS: DETAIL NO., SHEET NO., ELEV. NO., INTERIOR ELEVATION, SHEET NO., BUILDING SECTION, WALL SECTION, TITLE SCALE, EXTERIOR ELEVATION, DETAIL REFERENCE, LOBBY, ROOM NAME, ROOM FINISH NO., STORE FRONT & WINDOW TYPES, FURNISHINGS LEGEND, DOOR TYPE, DATUM ELEVATION, PARTITION TYPE, CENTER REFERENCE LINE, NOMINAL CEILING HGT.

DEFERRED SUBMITTAL REQUIREMENTS: THE CONTRACTOR SHALL NOT PROCEED WITH ANY OF THE WORK STATED BELOW PRIOR TO THE APPROVAL OF SUCH ITEMS BY THE LOCAL GOVERNING JURISDICTION. THE FOLLOWING ARE "DEFERRED SUBMITTAL" ITEMS WHICH SHALL BE FIRST SUBMITTED TO THE PROJECT ARCHITECT AND/OR ENGINEER FOR REVIEW & COORDINATION.

SPRINKLER SYSTEM NOTES: MAIN BUILDING & PORTE COCHERE ARE TO BE EQUIPPED THROUGHOUT WITH A SUPERVED AUTOMATIC SPRINKLER SYSTEM DESIGNED & INSTALLED IN COMPLIANCE WITH ALL REQUIREMENTS OF NFPA 13 AND COMPLY WITH APPLICABLE SECTIONS OF BUILDING CODE AND OTHER CODES HAVING JURISDICTION OVER CONSTRUCTION AND OCCUPANCY. PLANS AND SPECIFICATIONS OF SPRINKLER SYSTEM SHALL BE SUBMITTED TO LOCAL JURISDICTIONS FOR APPROVAL BEFORE CONSTRUCTION. THE ATTIC SPACES OF THE BUILDINGS ARE TO BE FULLY SPRINKLERED.

FIRE PREVENTION REQUIREMENTS: 1. THE STRUCTURE SHALL BE PROTECTED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM THE DESIGNED & INSTALLED PER N.F.P.A. STANDARDS #13 & 24.

ARCHITECT: LEE GAGE & ASSOCIATES INC. 7636 N. INGRAM SUITE #107 FRESNO, CA. 93711 TEL.: (559) 439-2222 FAX: (559) 439-2288

STRUCTURAL ENGINEER: RICHARD M. BITTKOFER 323 W. CROMWELL SUITE #111 FRESNO, CA. 93711 TEL.: (559) 438-4432 FAX: (559) 438-1973

SOILS ENGINEER: CONSTRUCTION TESTING & ENGINEERING, INC 3628 MADISON AVENUE SACRAMENTO, CA. 95660 TEL.: (800) 576-4955 FAX: (916) 331-6037

PROJECT INFORMATION: GENERAL, BUILDING CRITERIA, CODE PROVISIONS (1997 UBC), REFERENCES, MEANS OF EGRESS, BUILDING DESCRIPTION, BUILDING AREA, OCCUPANT LOAD BY USE, SITE RELATED DATA, BUILDING INSULATION, SOUND RATINGS, GENERAL NOTES.

APPLICABLE CODES: GOVERNING CODE: UBC 1997 EDITION, UMC 1997 EDITION, UPC 1997 EDITION, UFC 1997 EDITION, NEC 1996 EDITION, LATEST UBC EDITION AMENDMENTS & APPLIED CODES, TITLE 24 ENERGY CODE AND ANY MUNICIPAL CODES & ORDINANCES APPLICABLE BY THE LOCAL GOVERNING AUTHORITY.

MEANS OF EGRESS: 1. NUMBER OF EXITS, 2. TRAVEL DISTANCE, 3. DEAD END CORRIDOR, 4. CORRIDOR WIDTH, 5. SIZE OF EGRESS DOORS, 6. STAIR WIDTH.

BUILDING DESCRIPTION: HOTEL BUILDING, THREE STORY WOOD FRAME ONE HOUR PROTECTED WITH AUTOMATIC SPRINKLER SYSTEM. USED FOR GUESTROOMS, REGISTRATION OFFICE, LAUNDRY AND ELECTRICAL/MECHANICAL ROOMS. STAIR ENCLOSURES ARE TWO HOUR RATED. HANDICAP ACCESSIBLE ROOMS ARE LOCATED ON THE FIRST SECOND & THIRD FLOORS. THE ROOF IS CLASS "A". FIRE PROTECTION SYSTEMS (DETECTORS, ALARMS, SPRINKLERS) ARE DESIGNED, PLANS AND SPECIFICATIONS OF SPRINKLER SYSTEM SHALL BE SUBMITTED FOR LOCAL JURISDICTION'S APPROVAL.

PROPOSED 50 UNIT HOTEL FOR:



1628 WEBSTER STREET
ALAMEDA, CALIFORNIA

DRAWING INDEX

SHEET NUMBER	SHEET TITLE	SHEET NUMBER	SHEET TITLE	SHEET NUMBER	SHEET TITLE
COVER SHEET		ARCHITECTURAL (CONTINUED)		PLUMBING	
STA1	STATE OF CALIFORNIA ENERGY COMPLIANCE	A11	DETAILS	P1	MAIN FLOOR PLUMBING PLAN - WATER & GAS PIPING
21	TITLE 24 CERTIFICATE OF COMPLIANCE FORMS (WHOLE BUILDING ENVELOPE & LIGHTING)	A11B	DETAILS	P2	2nd FLOOR PLUMBING FLOOR PLAN - WATER PIPING
22	TITLE 24 CERTIFICATE OF COMPLIANCE FORMS (MECH FORMS - PUBLIC AREAS)	A12	ROOF PLAN	P3	3rd FLOOR PLUMBING FLOOR PLAN - WATER PIPING
23	TITLE 24 CERTIFICATE OF COMPLIANCE FORMS (MECH FORMS - PUBLIC AREAS & CORRIDORS)	A12B	ROOF DETAILS	P4	MAIN FLOOR PLUMBING PLAN - SANITARY SEWER PIPING
24	TITLE 24 CERTIFICATE OF COMPLIANCE FORMS (GUEST ROOM MECH & LTG FORMS)	A13	MAIN FLOOR REFLECTED CEILING PLAN	P5	2nd FLOOR PLUMBING FLOOR PLAN - SANITARY SEWER PIPING
		A13B	2nd FLOOR REFLECTED CEILING PLANS	P6	3rd FLOOR PLUMBING FLOOR PLAN - SANITARY SEWER PIPING
		A13C	3rd FLOOR REFLECTED CEILING PLANS	P7	PLUMBING SCHEDULES & DETAILS
		A14	INTERIOR SOFFIT SECTIONS		
		A15	GUESTROOM INTERIOR ELEVATIONS		
		A15B	GUESTROOM INTERIOR ELEVATIONS		
		A16	GUEST BATHROOM INTERIOR ELEVATION		
		A17	DETAILS		
		A18	(NOT USED)		
		A19	PUBLIC AREA INTERIOR ELEVATIONS		
		A19B	REGISTRATION COUNTER DETAILS		
		FS1	FIRE RATED ASSEMBLY KEY PLAN / MAIN FLOOR		
		FS2	FIRE RATED ASSEMBLY KEY PLAN / 2nd & 3rd FLOORS		
		FS3	FIRE RATED ASSEMBLY DETAILS		
		ACCESSIBILITY STANDARDS			
		HS1	HANDICAP STANDARDS		
		HS2	HANDICAP STANDARDS		
		HS3	HANDICAP STANDARDS		
		STRUCTURAL			
		S1	STANDARD NOTES & DETAILS		
		S1B	STANDARD STRUCTURAL DETAILS		
		S2	FOUNDATION - FOOTING PLAN		
		S2A	SHEAR WALL KEY PLANS & SCHEDULE - MAIN FLOOR		
		S2B	SHEAR WALL KEY PLANS & SCHEDULE - 2nd FLOOR		
		S2C	SHEAR WALL KEY PLANS & SCHEDULE - 3rd FLOOR		
		S3	2nd FLOOR FRAMING PLAN		
		S4	3rd FLOOR FRAMING PLAN		
		S5	ROOF FRAMING PLAN		
		S6	STRUCTURAL DETAILS		
		S7	STRUCTURAL DETAILS		
		S8	STRUCTURAL DETAILS		
		QT1	QUAKE-TIE DETAILS		
		QT2	QUAKE-TIE SCHEDULES & NOTES		

ARCHITECT'S STATEMENT: UPON REVIEWING THE REQUIREMENTS OF TITLE 24, CALIFORNIA ENERGY REGULATIONS, I CERTIFY THAT THESE PLANS CONFORM SUBSTANTIALLY.

CONTRACTOR'S COMPLIANCE: AT THE TIME OF REQUEST FOR FINAL INSPECTION, THE GENERAL CONTRACTOR SHALL DELIVER TO THE ENFORCING AGENCY, A CERTIFICATE OF CONSTRUCTION COMPLIANCE WITH TITLE 24, CALIFORNIA ENERGY REGULATIONS, BASED ON OBSERVATION OF CONSTRUCTION SIGNED BY THE GENERAL CONTRACTOR, AND SHALL INDICATE THAT THE WORK APPEARS TO HAVE BEEN PERFORMED, AND THE MATERIALS USED AND INSTALLED APPEAR IN EVERY MATERIAL RESPECT IN COMPLIANCE WITH THE APPROVED PLANS AND SPEC'S. FOR WHICH THE BUILDING PERMIT WAS ISSUED.

ENGINEER'S STATEMENT: I HAVE DESIGNED THIS STRUCTURE TO SUPPORT A UNIFORM FIRE SPRINKLER LOAD OF 15 LBS./SQ.FT. ADDITIONALLY, I HAVE DESIGNED ALL PURLINS, FRAMES, BEAMS, TRUSSES, ETC., TO SUPPORT THE CONCENTRATED LOADS OF ALL WATER-FILLED SPRINKLER LINES.

SIGNED: RICHARD M. BITTKOFER, ENGINEER, DATE: 7/3/02

LICENSE # C-30228 (RICHARD M. BITTKOFER)

TO THE BEST OF THE ARCHITECTS/ENGINEERS KNOWLEDGE, THESE PLANS AND SPECIFICATIONS COMPLY WITH MINIMUM ADA & BUILDING CODES LISTED HEREON.

NOTE: ANY CHANGES TO THESE PLANS SHALL ONLY BE BY WRITTEN PERMISSION FROM THE OWNER.

CONTRACTOR SHALL COMPLY WITH ALL FIRE DEPARTMENT REQUIREMENTS FOR FIRE APPARATUS ACCESS DURING CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL VERIFY ALL & NOTIFY THE OWNER OF SUCH REQUIREMENTS PRIOR TO BIDDING.

REVISIONS INCLUDED WITH THIS SET: 1. REVISIONS PER CITY OF ALAMEDA 7/3/02, 2. REVISIONS PER OWNER REQUEST 7/3/02, 3. REVISIONS PER ARCHITECT CLARIFICATION 7/3/02.

LEE GAGE & ASSOCIATES, INC. architecture • engineering • planning

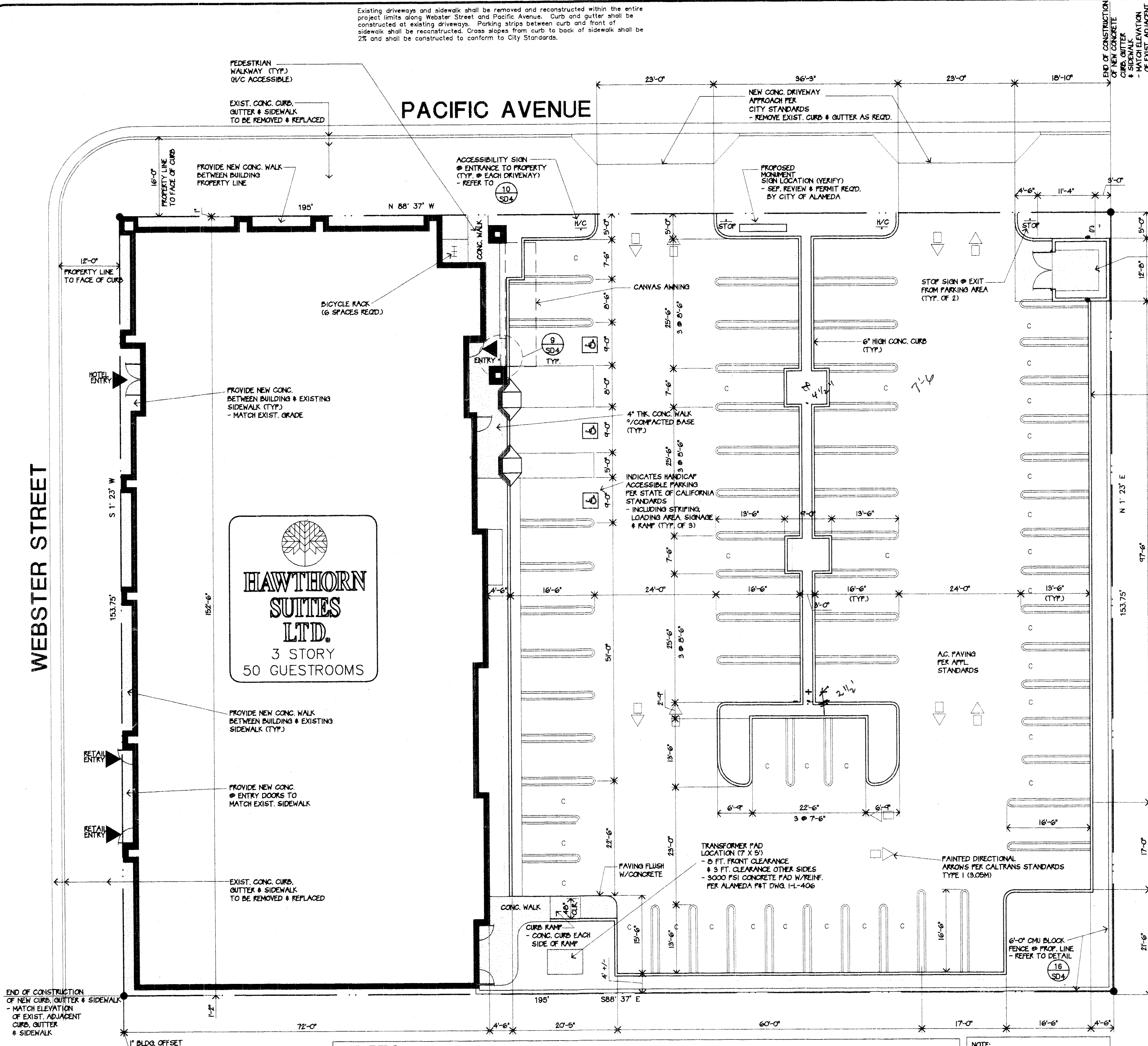
7936 N. INGRAM SUITE 107 FRESNO, CALIFORNIA 93711 PHONE (559) 439-2222

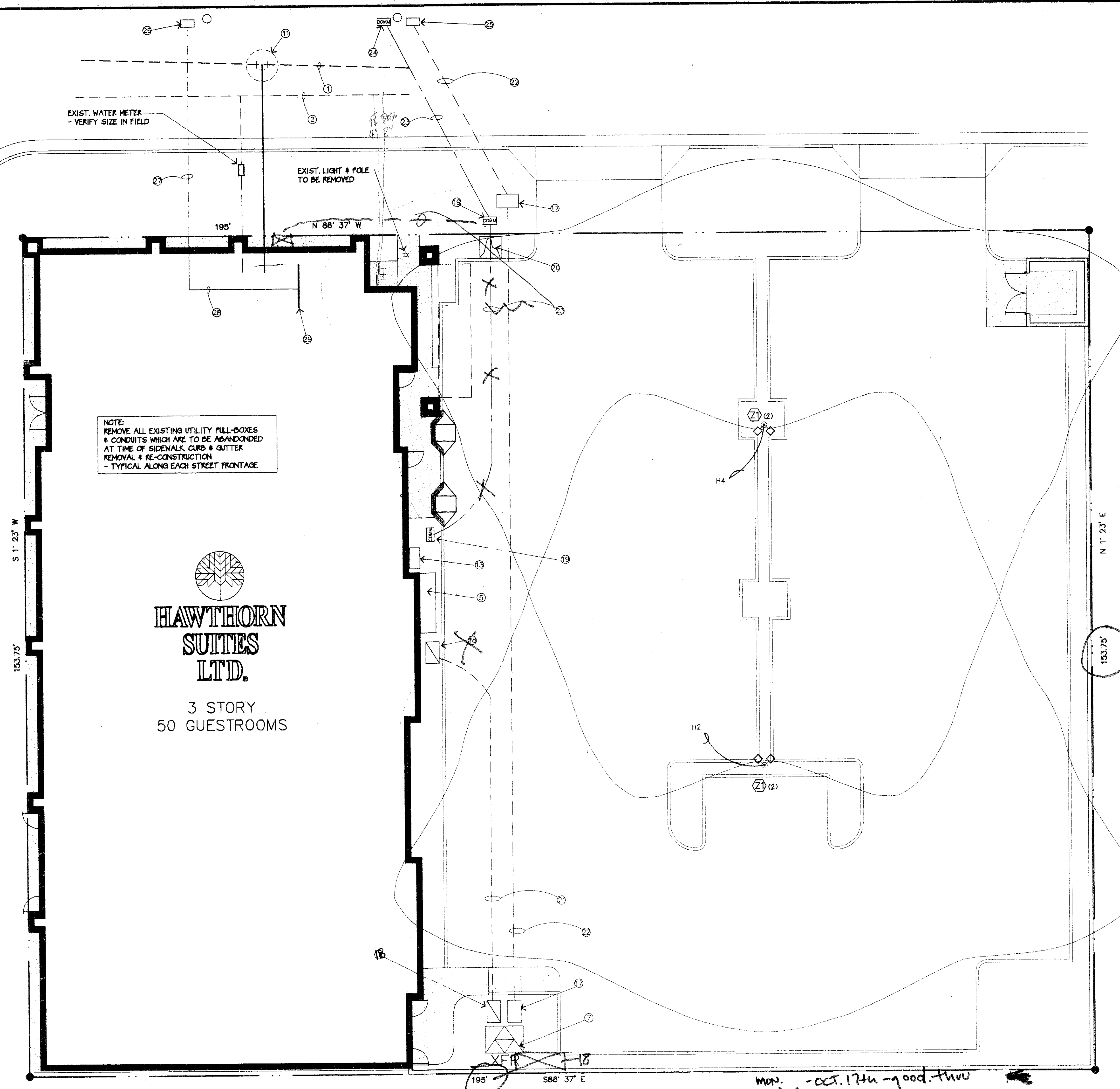
PROPOSED: 1628 WEBSTER STREET, ALAMEDA, CA. 94601

OWNERS: HAWTHORN SUITES LTD., 1628 WEBSTER STREET, ALAMEDA, CA. 94601

REGISTERED ARCHITECT: RICHARD M. BITTKOFER, LICENSE # C-30228

RECEIVED: JUL 11 2002, CITY OF ALAMEDA





NOTE:
REMOVE ALL EXISTING UTILITY PULL-BOXES
& CONDUITS WHICH ARE TO BE ABANDONED
AT TIME OF SIDEWALK, CURB & GUTTER
REMOVAL & RE-CONSTRUCTION
- TYPICAL ALONG EACH STREET FRONTAGE



3 STORY
50 GUESTROOMS

NOTES

CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THE
WORK OF ALL UTILITY COMPANIES WHICH ARE
APPROPRIATE TO SUBJECT SITE.
ALL NECESSARY SAFETY PRECAUTIONS SHOULD BE
TAKEN DURING TRENCHING FOR ALL UTILITIES.
FOLLOW RECOMMENDATIONS INCLUDED WITHIN
GEOTECHNICAL ENGINEERING REPORT.
CONNECTIONS TO EXISTING UTILITIES SHALL BE DONE
W/ APPROVAL AND IN ACCORDANCE WITH THE
UTILITY'S COMPANY'S REQUIREMENTS. CONTRACTOR
SHALL BE RESPONSIBLE TO VERIFY ALL REQUIREMENTS
FROM THOSE SERVICES APPLICABLE TO PROJECT
PRIOR TO INSTALLATION OF THE SAME.
ALL ABANDONED UTILITIES AND HOOK-UPS
SHALL BE REMOVED.

2 WORKING DAYS BEFORE COMMENCING EXCAVATION OPERATIONS WITHIN
THE STREET RIGHT-OF-WAY AND/OR UTILITY EASEMENTS, ALL EXISTING
UNDERGROUND FACILITIES SHALL HAVE BEEN LOCATED BY UNDERGROUND
SERVICES ALERT (USA) CALL 1-800-642-2444

FIRE SYSTEM DESIGN/FIRE PERMIT:

FIRE SPRINKLER SERVICE LINE IS SHOWN HEREON FOR BIDDING
PURPOSES AND UTILITY COORDINATION ONLY. FIRE PROTECTION
CONTRACTOR SHALL REVIEW THE SIZE AND LOCATION OF FIRE
SPRINKLER SERVICE FOR ADEQUACY TO MEET FIRE FLOW DEMANDS.
SUCH REVIEW SHALL CONSIDER FIRE SPRINKLER SERVICE DEMAND
FOR PROPOSED BUILDING.

AS A RESULT OF CONTRACTOR'S REVIEW AND DESIGN, FINAL LINE SIZE,
LOCATION AND ADEQUACY TO MEET FIRE FLOW DEMANDS ARE CONTRACTOR'S
RESPONSIBILITY.

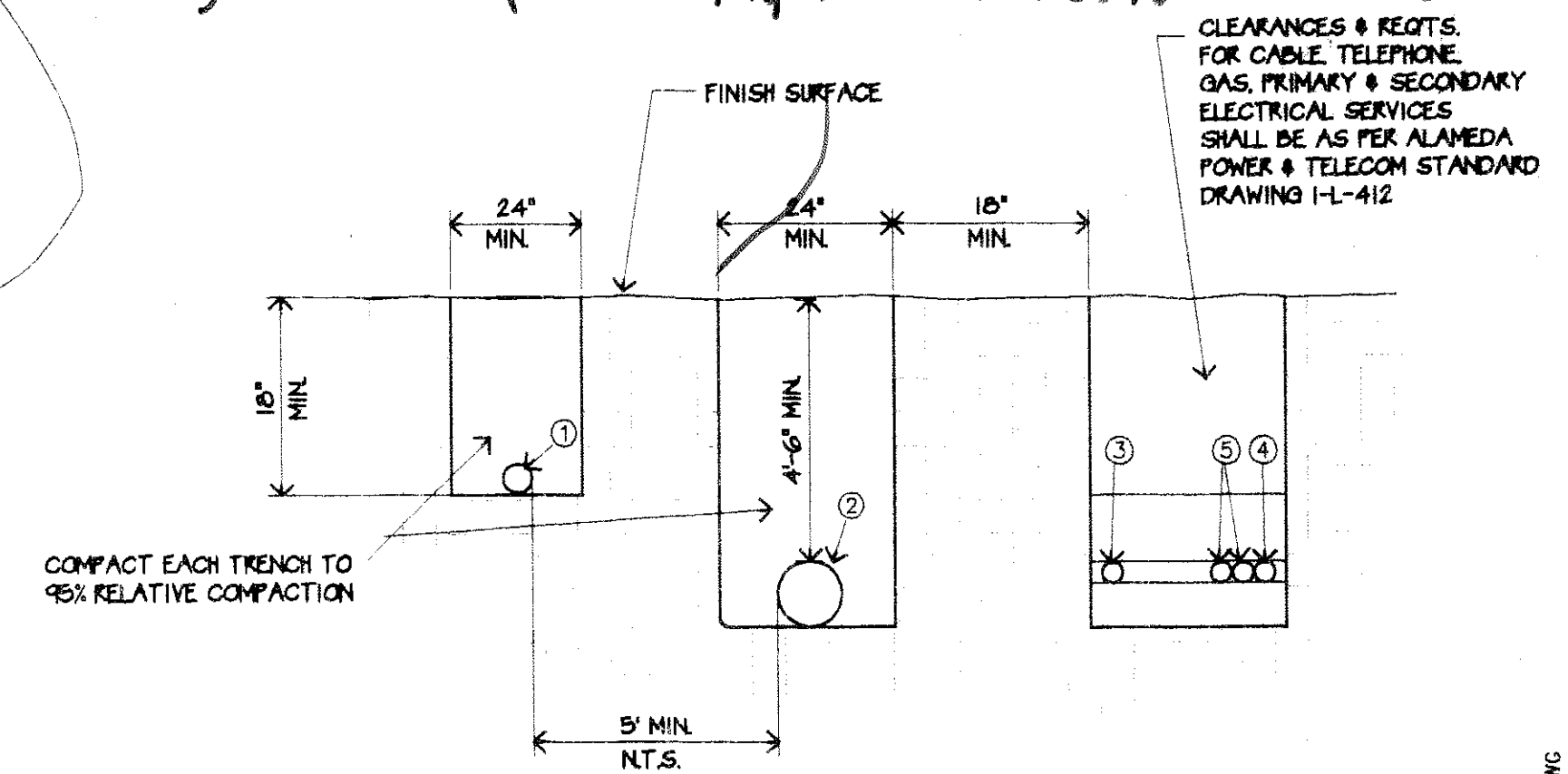
IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR OR THE DEVELOPER
TO OBTAIN A FIRE PERMIT PRIOR TO THE INSTALLATION OF ANY FIRE
RELATED UTILITIES.

KEY NOTES

- EXISTING SEWER MAIN IN STREET
- VERIFY SIZE & LOCATION IN FIELD PRIOR TO BIDDING
- EXISTING WATER MAIN
- VERIFY SIZE & LOCATION IN FIELD PRIOR TO BIDDING
- NEW FIRE SERVICE LINE
- FIRE SPRINKLER SERVICE & SYSTEM TO BE DESIGN/BUILD BY OTHERS
- SEPARATE REVIEW & APPROVAL REQUIRED BY LOCAL JURISDICTION
- STUB & CAP 1 1/2" WATER LINE FOR IRRIGATION SYSTEM
- SYSTEM SHALL BE DESIGN/BUILD OTHERS
- CONTR. TO PROVIDE BACKFLOW PREVENTION DEVICE ON
IRRIGATION SYSTEM
- ELECTRICAL MAIN SERVICE & METER LOCATED IN PLANTER (NEMA TYPE 3R)
- REFER TO ELECTRICAL DRAWINGS
- TELEPHONE TERMINAL BOARD LOCATED IN UTILITY ROOM
(4' x 6' PLYWOOD / VERIFY W/SERVING UTILITY CO.)
- TRANSFORMER PAD LOCATION (7'x5' CONC. PAD PER ALAMEDA P&T DWG. 1-L-406)
10 FT. x 10 FT. EASEMENT REQ'D. (VERIFY W/SERVING UTILITY CO.)
- LOCATE & TIE-TO EXISTING WATER MAIN IN STREET PER APPL. CODES & STDS.
- EXTEND AS SHOWN ON PLAN
- 1 1/2" WATER RISER UP ALONG INSIDE FACE OF WALL
- VERIFY W/OWNER
- MAIN WATER S.O.V. IN BOX
- LOCATE S.O.V. BOX IN PLANTER
- LOCATE & TIE-TO EXISTING 6" SEWER MAIN IN ALLEY PER APPL. CODES & STDS.
- CONSTRUCT NEW TYPE "A" MANHOLE AROUND EXIST. SANITARY SEWER MAIN
- THERE SHALL BE NO WYES AT THIS CONNECTION
- EXTEND AS SHOWN ON PLAN
- NEW FIRE SPRINKLER RISER
- FIRE SPRINKLER SERVICE & SYSTEM TO BE DESIGN/BUILD BY OTHERS
- SEPARATE REVIEW & APPROVAL REQUIRED BY LOCAL JURISDICTION
- GAS METER LOCATION
- LOCATE AS PER SERVING UTILITY CO. REQ'TS.
- 2-WAY MAIN BUILDING SEWER CLEANOUT TO GRADE
- PER CITY STANDARD PLAN DRAWING 9387, CASE 34, STANDARD TWO-WAY CLEANOUT
- LOCATION OF R.P. TYPE BACKFLOW PREVENTION DEVICE
AS PER CITY OF ALAMEDA P.W. STDS.
- 1 1/2" FEBCO MODEL 825YA (OR EQUAL)
- WATER METERS & BOXES IN SIDEWALK
- INSTALL 1-1/2" METER FOR DOMESTIC WATER & 1-1 1/2" METER
IRRIGATION SYSTEM PER CITY OF ALAMEDA P.W. STDS.
- PROVIDE 30 IN. WIDE x 48 INCH LONG x 34 IN. DEEP PRIMARY PULL BOX
(H-10 RATED) PER ALAMEDA P&T DRAWING 1-L-447
- PROVIDE 30 IN. WIDE x 48 INCH LONG x 34 IN. DEEP SECONDARY PULL BOX
(H-10 RATED) PER ALAMEDA P&T DRAWING 1-L-447
- PROVIDE 17 IN. WIDE x 30 INCH LONG x 24 IN. DEEP COMMUNICATIONS PULL BOX
(H-10 RATED) PER ALAMEDA P&T DRAWING 1-L-447
- ALAMEDA P&T WILL PROVIDE ROCK-PEDESTAL (4 FT. x 4 FT. EASEMENT REQ'D.)
- 8-3 1/2" CONDUIT W/4-#500 MCM COPPER (THWN) CONDUCTORS EA. CONDUIT
(SECONDARY POWER SERVICE FROM TRANSFORMER TO MAIN PANEL)
- PROVIDE ADEQUATE SLACK AT SECONDARY BOX TO THE
TRANSFORMER SECONDARY TERMINALS
- 2-4" CONDUIT FROM ALAMEDA P&T PRIMARY PULL BOX TO TRANSFORMER
- 2-2" CONDUIT BY ALAMEDA P&T (COMMUNICATIONS)
- INTERCEPT EXISTING ALAMEDA P&T COMMUNICATION BOX
- INTERCEPT EXISTING ALAMEDA P&T PRIMARY POWER PULL BOX
- INTERCEPT EXISTING PAC-BELL SPLICE BOX
- PAC-BELL TO PLACE 1-4" CONDUIT FROM SPLICE BOX ACROSS PACIFIC AVE. TO PROPERTY LINE
- OWNER (CONTRACTOR) TO PLACE 1-4" CONDUIT FROM PROPERTY LINE
TO TELEPHONE TERMINAL BOARD
- TELEPHONE TERMINAL BOARD IN PBX ROOM (REFER TO FLOOR PLAN FOR EXACT LOCATION)
- VERIFY W/SERVING UTILITY CO.

Wed 10a.m. - Field meet - all members
Out 18th
16th
ATT, ATT Broadband City, City of
OAKLAND E. Bay MUNI, E. Bay water,
ICG Access, page, Pac Bell,
TCI Hayward. # 418-513
Ticket

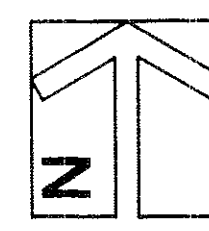
D.P. 9.10.02 CHRIS. PAGE-SIO-437-2153
2) Fabio - Inspectors - 449-5840 - 749-5840 Lee Masters



- | | |
|---|----------------------|
| 1 WATER PIPE | 3 GAS PIPE |
| 2 SEWER PIPE | 4 ELECTRICAL CONDUIT |
| - REFER TO NOTE #5 OF
SANITARY SEWER NOTES (SHEET SD1) | |
| 5 TELEPHONE & CABLE T.V. CONDUIT | |

COMMON TRENCH DETAIL

SCALE: 3/4"=1'-0"



UTILITIES SITE PLAN

SCALE: 1"=10'-0"

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ALAMEDA, CA 94601

LEE GAGE & ASSOCIATES, INC.
architecture • engineering • planning
7636 n. Ingram suite 107 freemont, california 94711 phone (510) 438-2222

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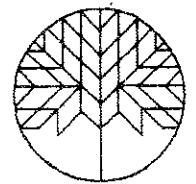


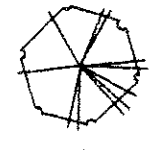
PROPOSED:
HAWTHORN SUITES LTD.
1628 WEBSTER STREET
ALAMEDA, CA
OWNERS:
ALAMEDA HOSPITALITY, LLC
1940 FRANCISCAN WAY, SUITE #10
ALAMEDA, CA 94601 PHONE/FAX (510) 811-9881

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ALAMEDA, CA 94601

WEBSTER STREET

PACIFIC AVENUE


**HAWTHORN
SUITES
LTD.**
3 STORY
50 GUESTROOMS

TREE LEGEND			
Symb	Tree Type & Function	Typical Species	Spacing
	MEDIUM TO LARGE CANOPIED DECIDUOUS OR EVERGREEN TREE FOR SHADE IN PARKING LOT	CHINESE PISTACHE, OAK	25' O.C. ON SITE PERIMETER AND AS SPECIFIED ON INTERIOR
	MEDIUM CANOPIED DECIDUOUS OR EVERGREEN TREE FOR SHADE AND ORNAMENTAL USE.	BRADFORD PEAR, GOLDEN RAIN TREE, AUSTRALIAN WILLOW	AS SHOWN ON PLAN
	SMALL ORNAMENTAL TREE FOR VISUAL ACCENT	MULTI-STEMMED MAGNOLIA, PALMS	AS SHOWN ON PLAN

PLANT PALETTE

Description	Botanical Name	Common Name	Size	Water Use Factor
TREES				
Drive entry Accent	LARGERSTROEMA INDICA "Watermelon"	Crepe Myrtle, Std.	15-gallon	Low
Large Canopy Shade Tree	CELTIS SINENSIS PISTACIA CHINENSIS	Chinese Hackberry Chinese Pistache	15-gallon 15-gallon	Low Low
Perimeter Evergreen Tree	PINUS ELDARICA PITTOSPORUM PHILLYRAEOIDES	Mondell Pine Willow Pittosporum	15-gallon 15-gallon	Low Low
Flowering Accent Tree	PYRUS CALLERYANA 'Bradfordii'	Flowering Pear	24" Box	Medium
Interior Parking Lot Tree	QUERCUS AGRIFOLIA	Coast Live Oak, Std.	24" Box	Low
Accent Palm	WASHINGTONIA ROBUSTA	Mexican Fan Palm	24" Box	Medium
SHRUBS				
Drive Entry Accent	VERBENA PERUVIANA ANNUALS-IN-SEASON	Verbena Annual color	1-gallon 4" Pots	Low High
Parking Lot Screen Hedge	RHAPHIOLEPIS INDICA 'Jack Evans'	India Hawthorn	5-gallon	Low
Perimeter/Screen Planting	CEANOTHUS 'Joyce Coulter' CISTUS PURPUREUS HETEROMELES ARBUTIFOLIA NERIUM OLEANDER 'Little Red'	Wild Lilac Orchid Rockrose Toyon Dwarf Oleander	5-gallon 5-gallon 5-gallon 5-gallon	Low Low Low Low
Building Planting	DIETES VEGETA HEMEROCALLIS 'Stella De Oro' MAHONIA AQUIFOLIUM PHORNIUM TENAX 'Maori Queen' VIBURNUM TINUS 'Spring Bouquet' XYLOSMA CONGESTUM	Fortnight lily Orange Daylily Oregon Grape New Zealand Flax Laurustinus Shiny Xylosma	1-gallon 1-gallon 5-gallon 5-gallon 5-gallon 5-gallon	Low Medium Low Low Low Low
Patio Area Planting	AGAPANTHUS 'Peter Pan' BUXUS J. 'Microphylla' PHOTINIA FRASERI NANDINA DOM. 'Harbor Dwarf'	Lily-of-the-Nile Japanese Boxwood Photinia Dwf. Heavenly Bamboo	1-gallon 5-gallon 5-gallon 1-gallon	Low Medium Medium Medium
GROUND COVER				
Low	Dwarf Fescue-Bluegrass Mix	Lawn	Sod	High
Flowering ground cover	GAZANIA 'Copper King'	Gazania	flats	Low
Spreading ground cover	COTONEASTER DAMMERI	Cotoneaster Bearberry	1-gallon	Low
Spreading ground cover	MYOPORUM PARVIFOLIUM 'Putah Crk.'	Prostrate Myoporum	1-gallon	Low
Flowering ground cover	ROSMARINUS OFFICINALIS	Rosemary	flats	Low
Flowering ground cover	TRACHELOSPERMUM JASMINOIDES	Star Jasmine	flats	Medium
Flowering ground cover	VINCA MINOR	Dwarf Periwinkle	flats	Low

GENERAL LANDSCAPE NOTES

Future landscape construction documents shall endeavor to comply with City of Alameda water conservation requirements, as well as other applicable codes and ordinances.

All landscape areas shall be automatically irrigated with either a pop-up spray or drip system. Irrigation design to follow City guidelines.

Plant material listed on the plant palette are to be selected as the predominate species for areas on the project. Other species may be used in compliance with the City's guidelines where appropriate as accents or to meet specific conditions.

Plant material sizes proposed are preliminary recommendations only. Proposed trees shall be installed as 15-gallon minimum, with one-third planted in specimen size (24" Box); shrubs shall be planted in 5-gallon size typical, smaller accent shrubs and perennials to be planted in 1-gallon size. Final container size specified on construction documents may change, but shall comply with City requirements.

A minimum of two-inches of bark mulch shall be added in shrub areas after planting, where grades allow.

Trees within eight feet of pavement shall have root barriers installed. Tree layout will be adjusted to maintain ten-foot clearance from sewer and water lines, where possible.

Trees adjacent to City sidewalks shall have Deep Root Barrier #UB18-2 (or equal) along back side of sidewalk.

OWNER/DEVELOPER
SANDIP JARIWALA
38 ANTELOPE BLVD.
RED BLUFF, CA. 96080
TELEPHONE: (530) 527-6020
FAX: (530) 527-4853



LANDSCAPE SITE PLAN
SCALE: 1"=10'-0"

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ALAMEDA, CA 94601

L1
SHEET
OF

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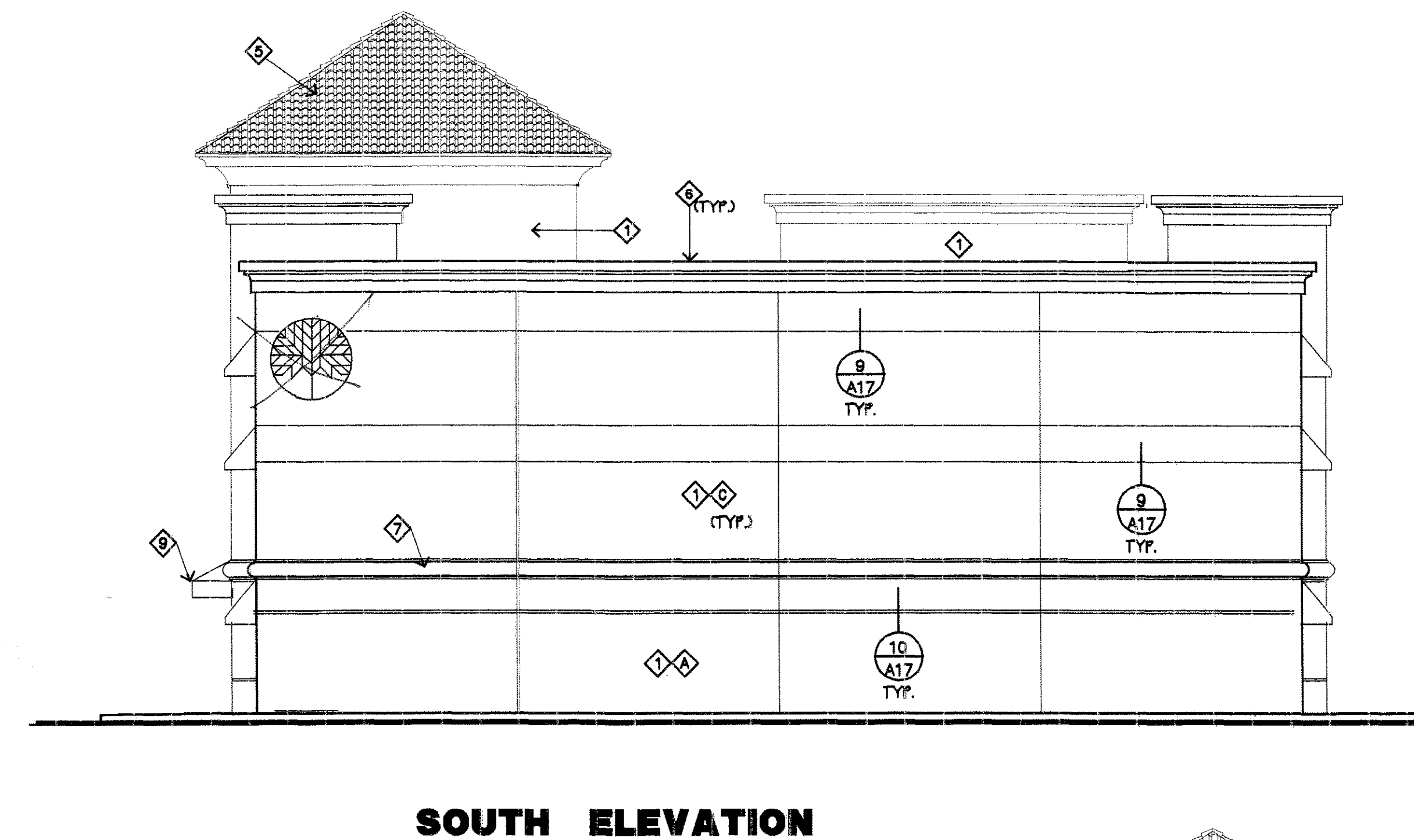
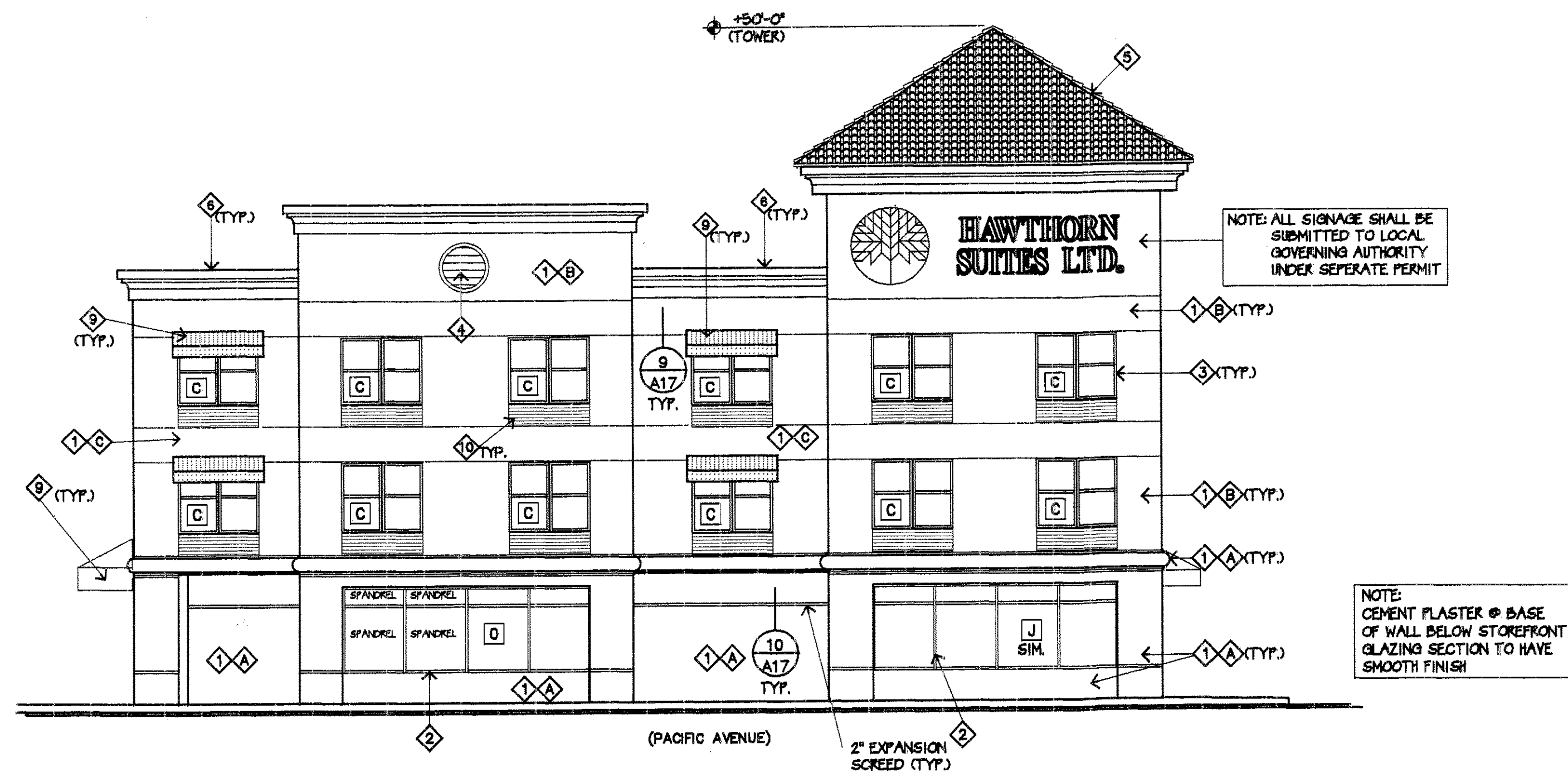
**HAWTHORN
SUITES
LTD.**

PROPOSED:
1528 WEBSTER STREET
ALAMEDA, CA
OWNERS:
ALAMEDA HOSPITALITY, LLC
1528 WEBSTER STREET
ALAMEDA, CA 94601 PHONE: (415) 814-9881

07/26/02
LEE GAGE & ASSOCIATES, INC.
11-31-03
STATE OF CALIFORNIA

L1
SHEET
OF

LEE GAGE & ASSOCIATES, INC.
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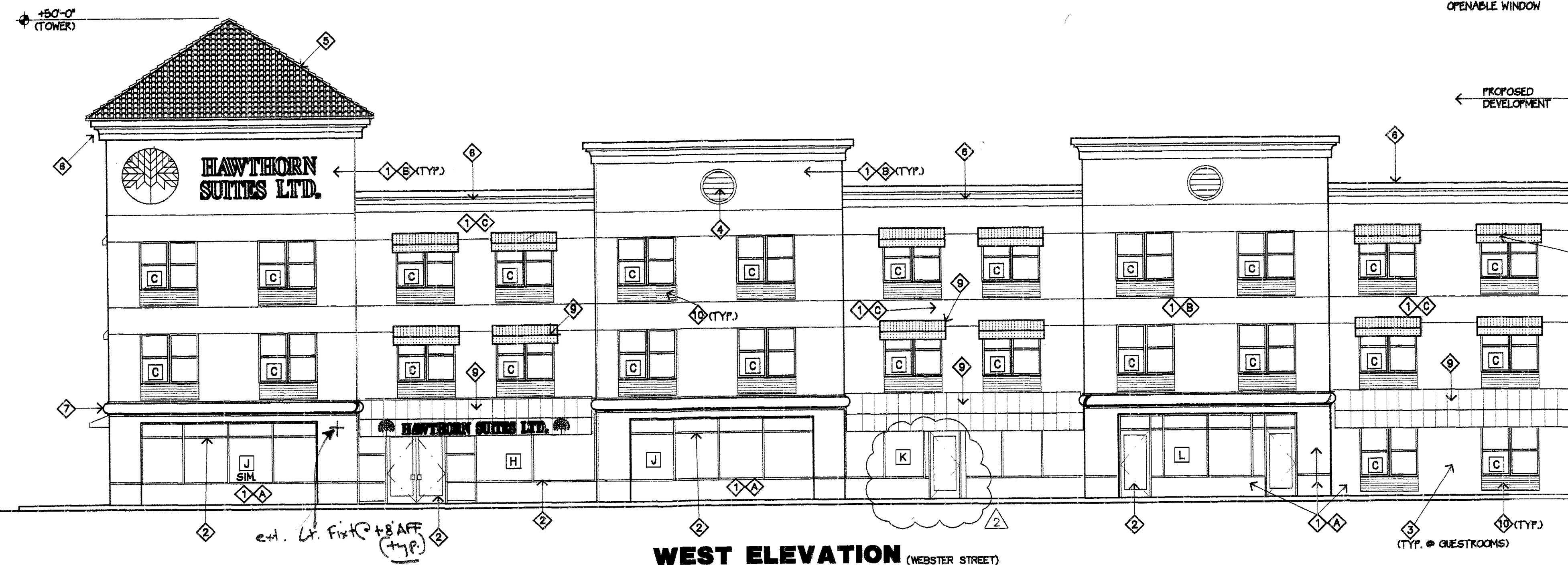
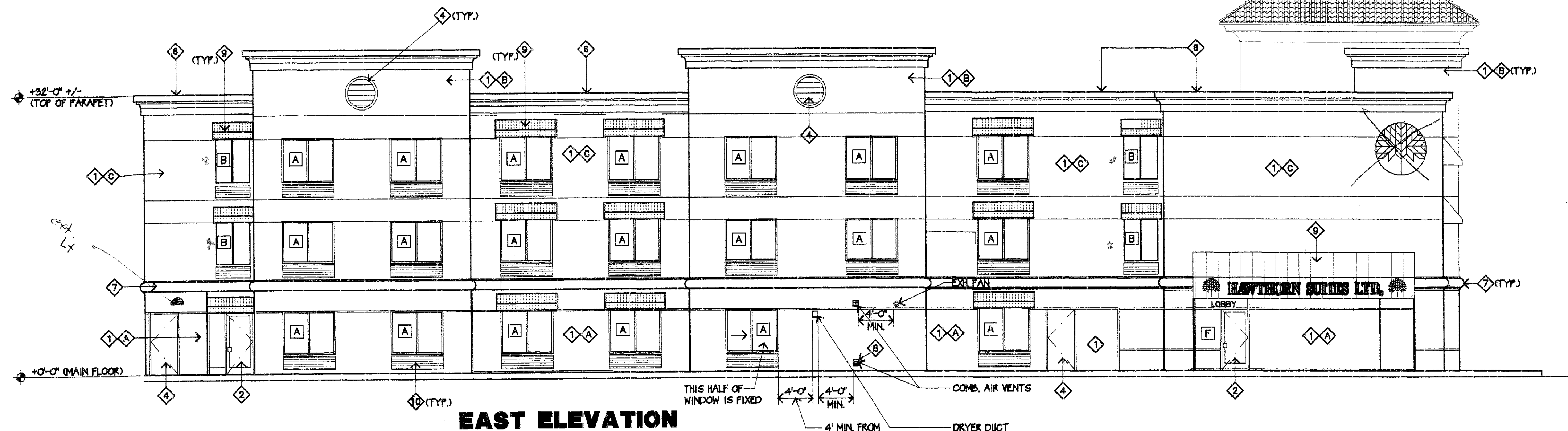


EXTERIOR FINISH SCHEDULE		
SYMBOL	MATERIAL	COLOR
1	CEM. PLASTER WALLS FIRST FLOOR	COPPER NAIL B SW 2315
2	CEM. PLASTER WALLS UPPER EXTRUDED WALLS	HONEY BEE TWT SW2330
3	CEM. PLASTER WALLS UPPER INDENTED WALLS	MONTE CARLO B SW 2314
4	PRE-FINISHED ALUMINUM STOREFRONT ENTRANCE METAL	ENGLISH IVY N SW2935
5	METAL WINDOWS (CLEAR GLASS)	ENGLISH IVY N SW2935
6	METAL DOOR & FRAME - UPPER DECORATIVE VENTS	COPPER NAIL B SW 2315
7	CLAY TILE ROOFING MATCH WITH FIRST FLOOR	TERRA COTTA FLASHED 1ESSS 6300R/1ESSS 6300R
8	CEM. PLASTER/FOAM CORNICE	CREAMY WHITE B SW 2445
9	CEM. PLASTER/FOAM BAND	COPPER NAIL B SW 2315
10	METAL WALL LOUVER	PAINTED TO MATCH ADJACENT WALL COLOR
11	CANVAS AWNING (FIRE RESISTANT)	SUNBRELLA FOREST GREEN
12	HVAC GRILLE	PAINTED TO MATCH ADJACENT WALL COLOR

SW = SHERMAN WILLIAMS COLOR CHART

DARK MEDIUM LIGHT
WINDOW FRAMES -
AWNINGS -

- AWNING RED B SW 2314
- MONTE CARLO B SW 2314
- HONEY BEE TWT SW2330
- ENGLISH IVY N SW2935
- SUNBRELLA FOREST GREEN



PROPOSED DEVELOPMENT
EXISTING IMPROVEMENTS NOT A PART OF THIS DEVELOPMENT
NOTE: FOAM FASCIA SHALL NOT EXTEND PAST PROPERTY LINE (VERIFY IN FIELD)

REVISIONS PER OWNER REQUEST 7/3/02

EXTERIOR ELEVATIONS
SCALE: 1/8" = 1'-0"

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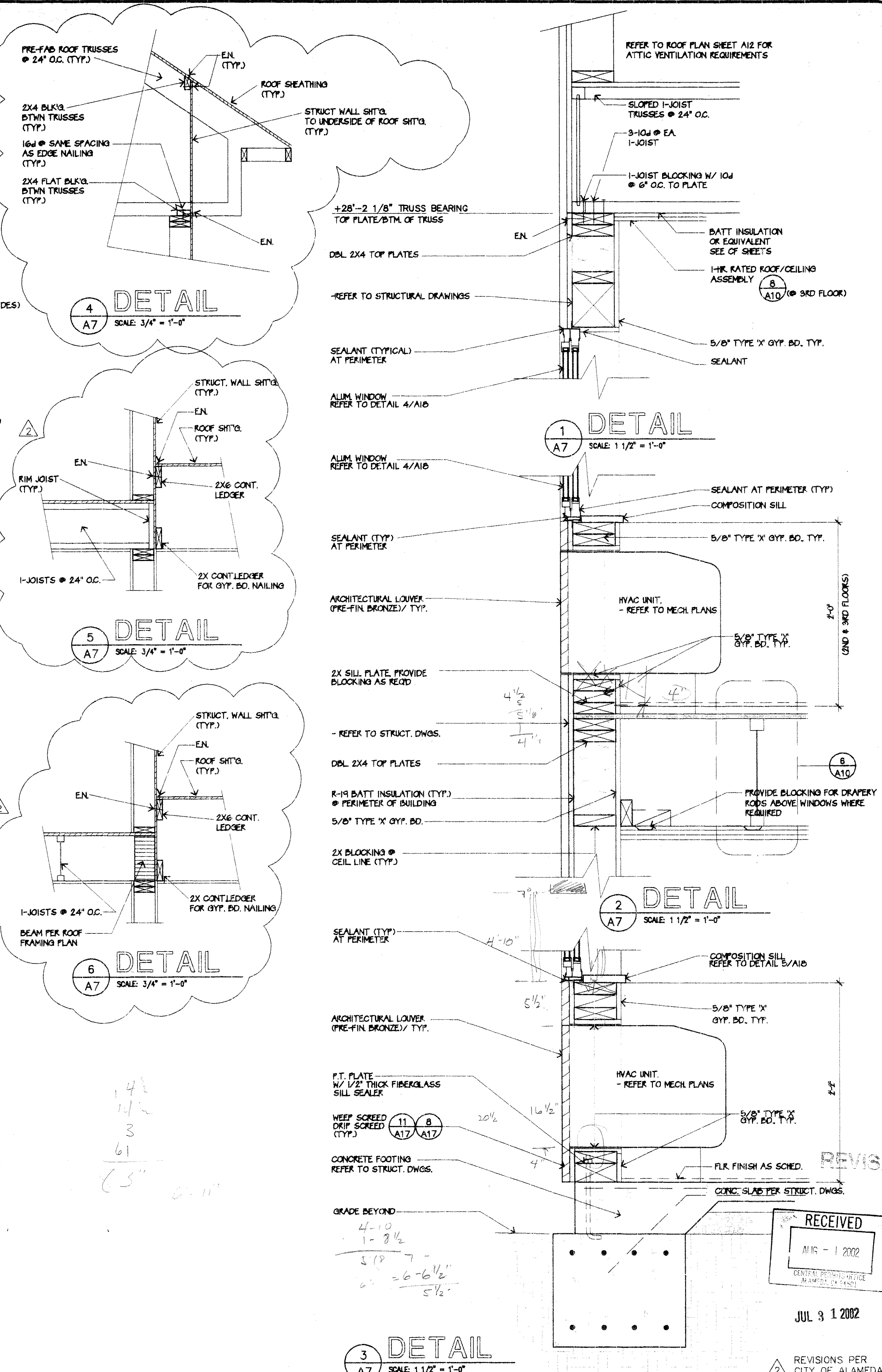
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HAWTHORN SUITES LTD.

PROPOSED: HAWTHORN SUITES LTD.
1440 FRANCIS WAY, SUITE #10
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OWNERS: ALAMEDA HOSPITALITY, LLC
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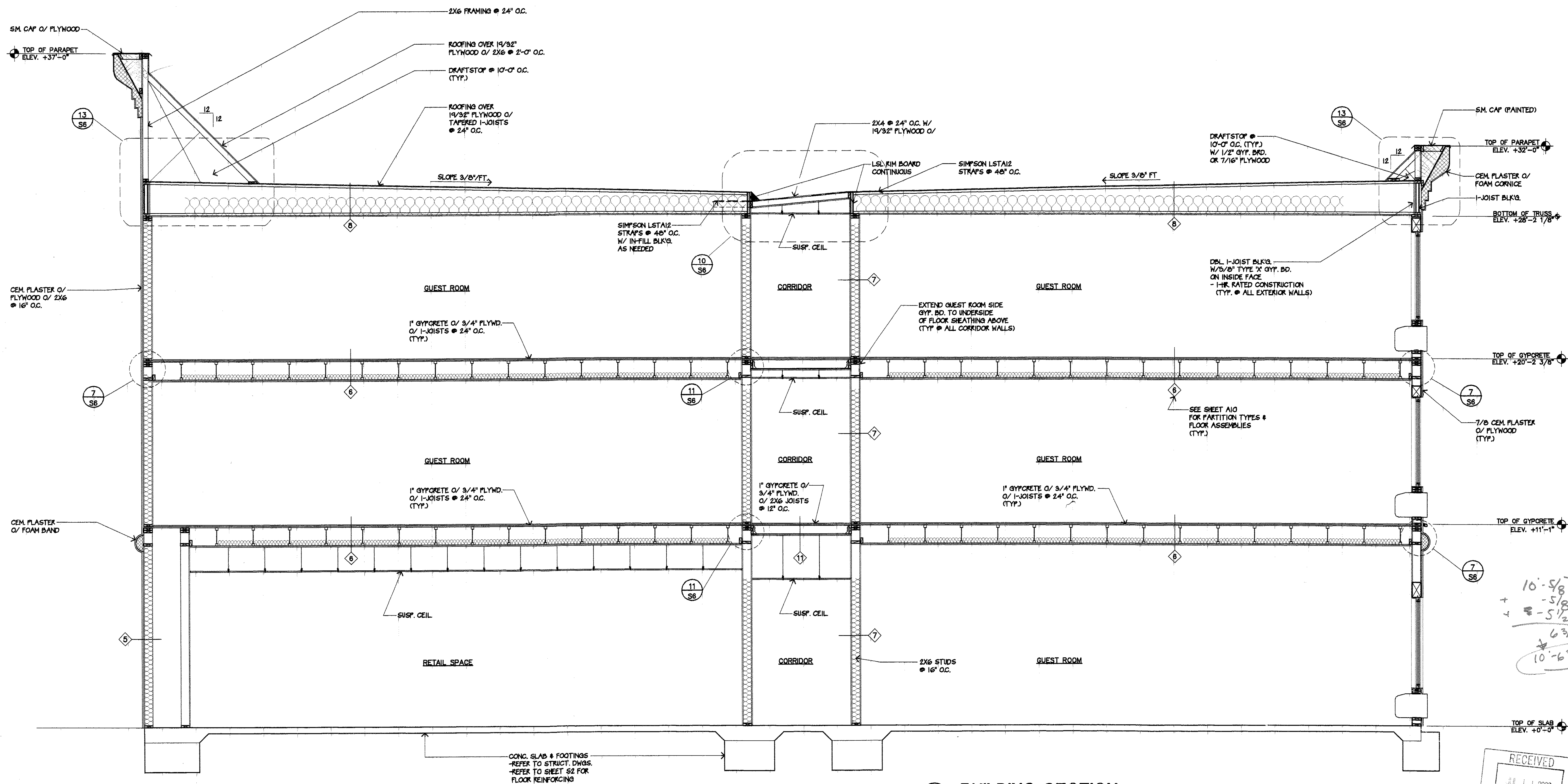


PROPOSED: **HAWTHORN SUITES LTD.**
 1000 STREET
 ALAMEDA, CA
 OWNERS: **HAWTHORN SUITES LTD.**
 1940 FRONZMAN WAY, SUITE #110
 ALAMEDA, CA 94601 PHONE: (415) 814-9861

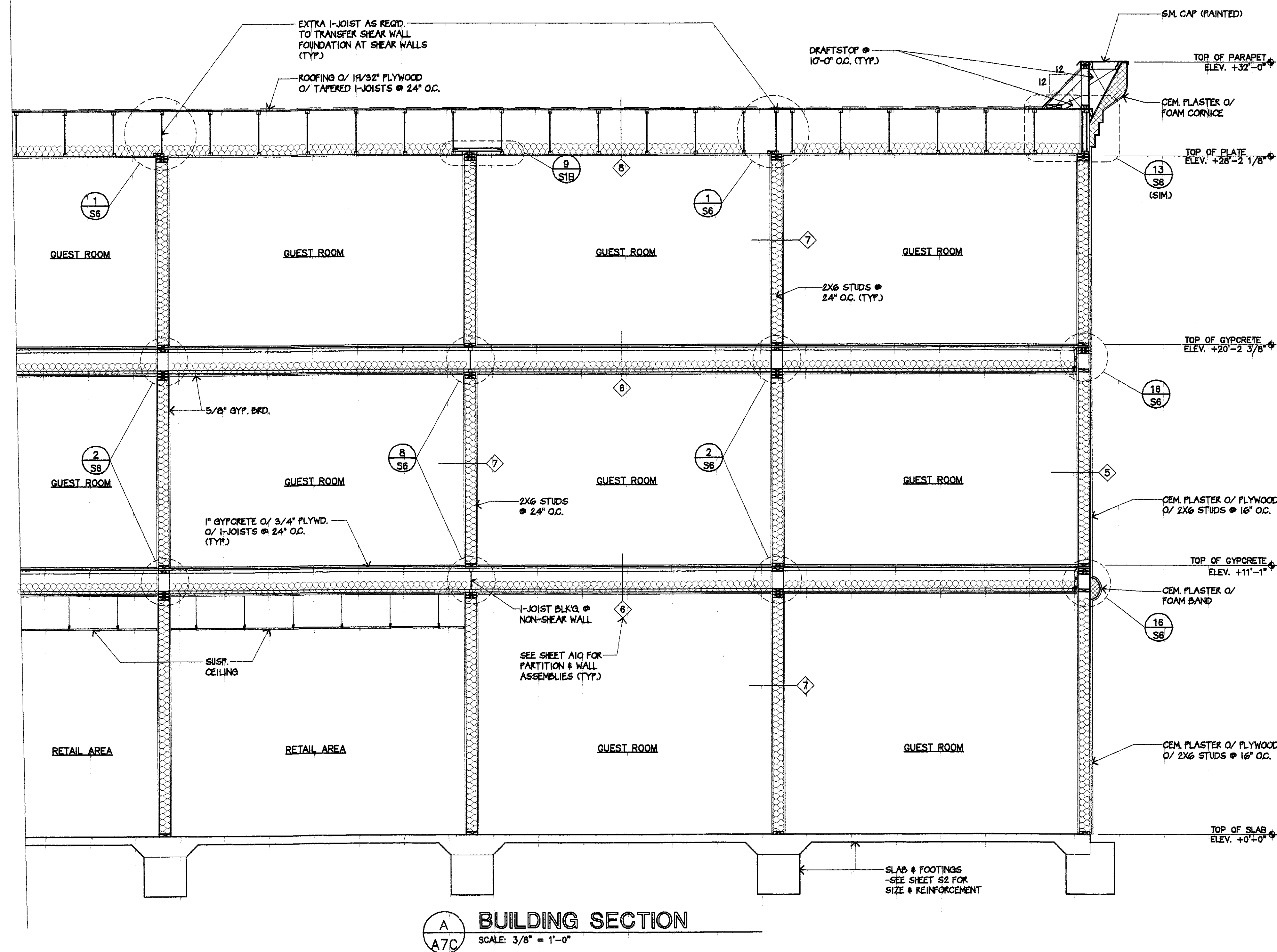
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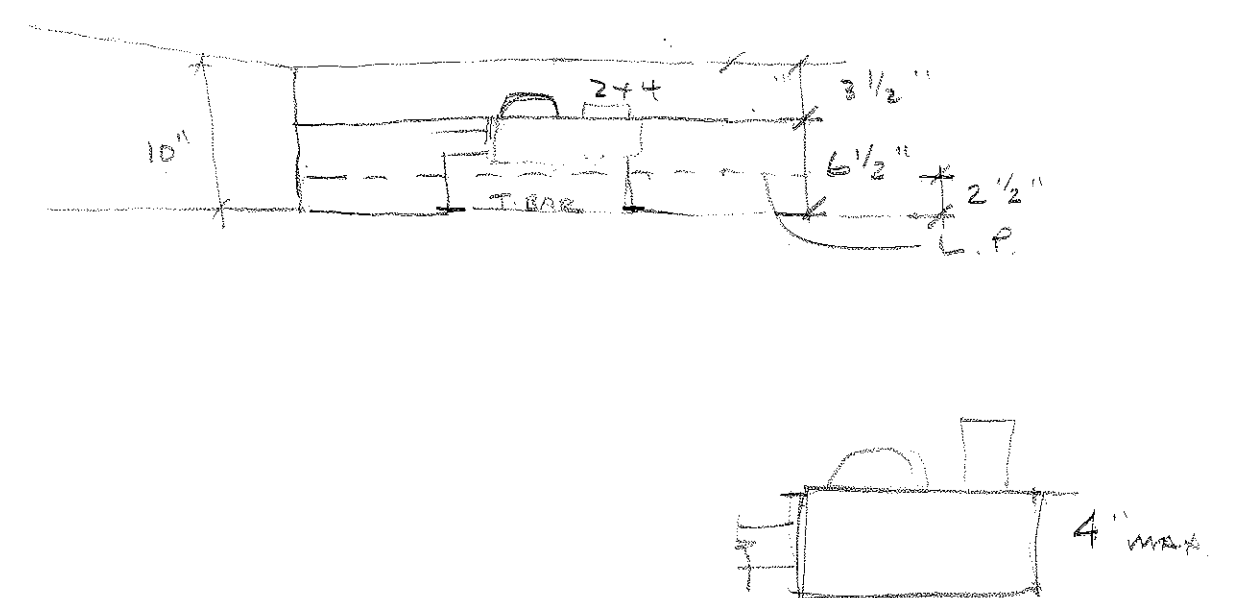
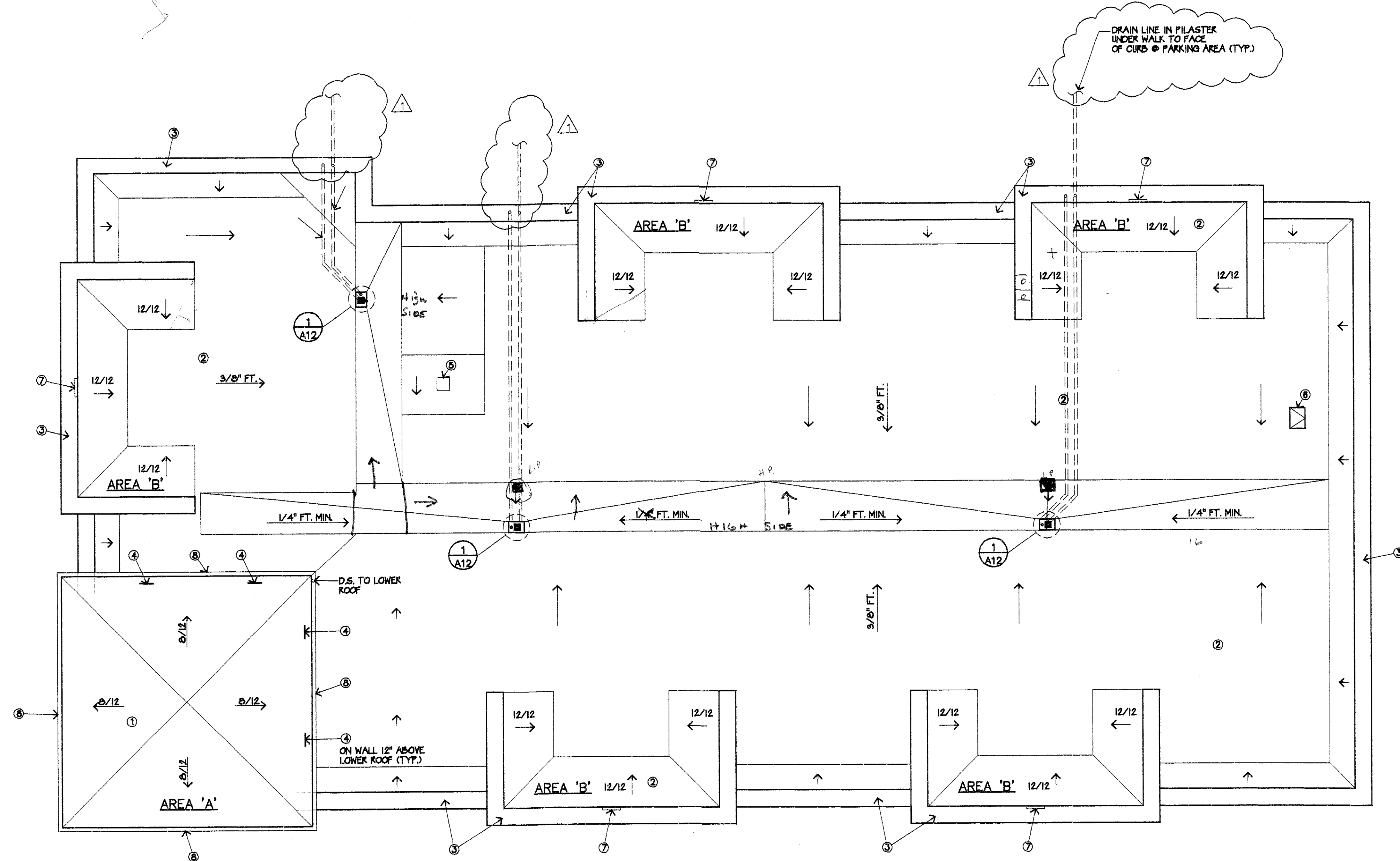


BUILDING SECTION
SCALE: 3/8" = 1'-0"



A7C BUILDING SECTION
SCALE: 3/8" = 1'-0"

REVISED



REVISIONS PER
CITY OF ALAMEDA
7/3/02

ROOF MATERIAL LEGEND

- 1 CONCRETE ROOF TILES/
-CLASS 'A' FIRE RATING
-INSTALLATION SHALL COMPLY W/ U.B.C. STANDARD
15-5 & MANUFACTURER'S INSTRUCTIONS
- 2 CLASS 'A' 3 PLY BUILT-UP ROOFING
W/ FIBERGLAS CAP SHEET
-UNDERLAYMENTS/ TYPE 15 FELT
-BASE PLYS & CAP SHEET INSTALLATION
SHALL BE PER U.B.C. & MANUFACTURER'S
RECOMMENDATIONS
- 3 SHEET METAL FLASHING CAP
TYP. @ ALL PARAPET WALL
TOPS (PAINTED)
- 4 INDICATES 14\"/>

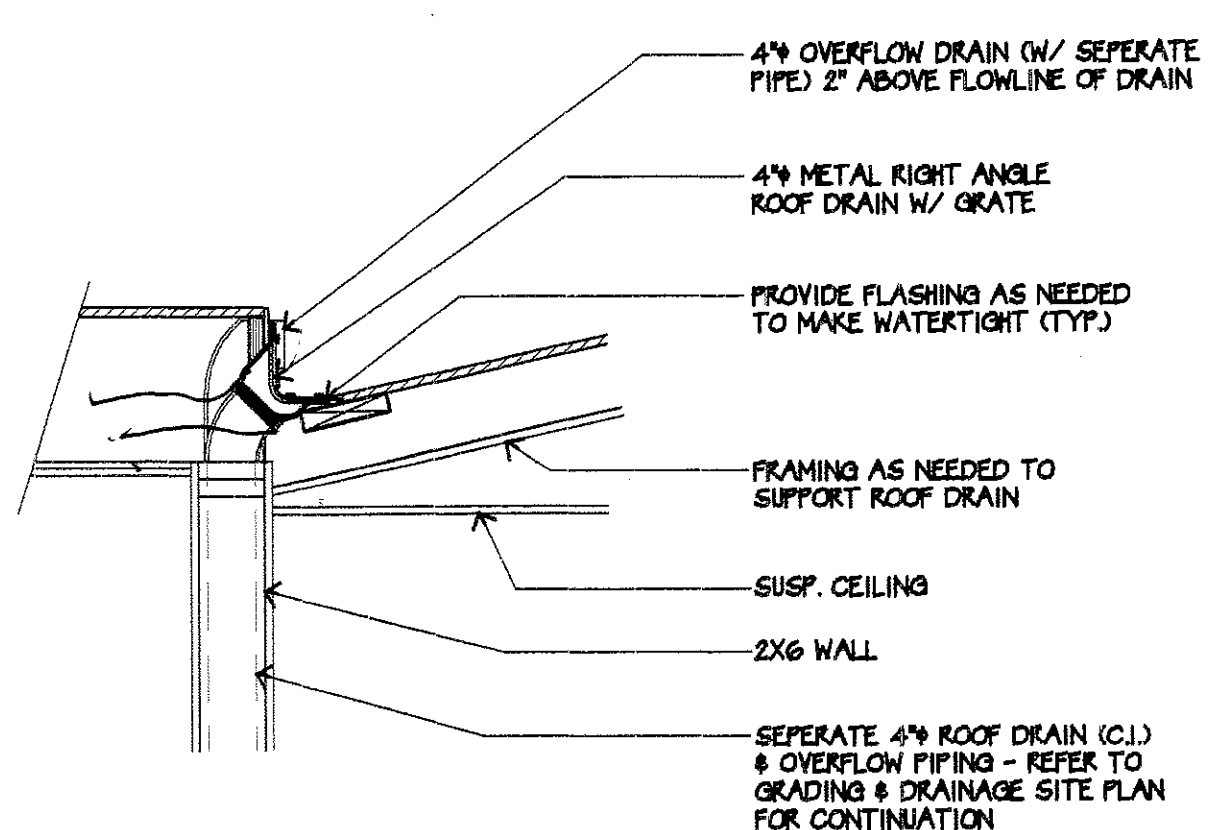
ATTIC VENTILATION CALC:

AREA 'A'
676 S.F. @ 1/150 = 4.5 S.F. = 649 S.I. REQ'D.
-USE 4 ATTIC WALL LOUVERS (14\"/>

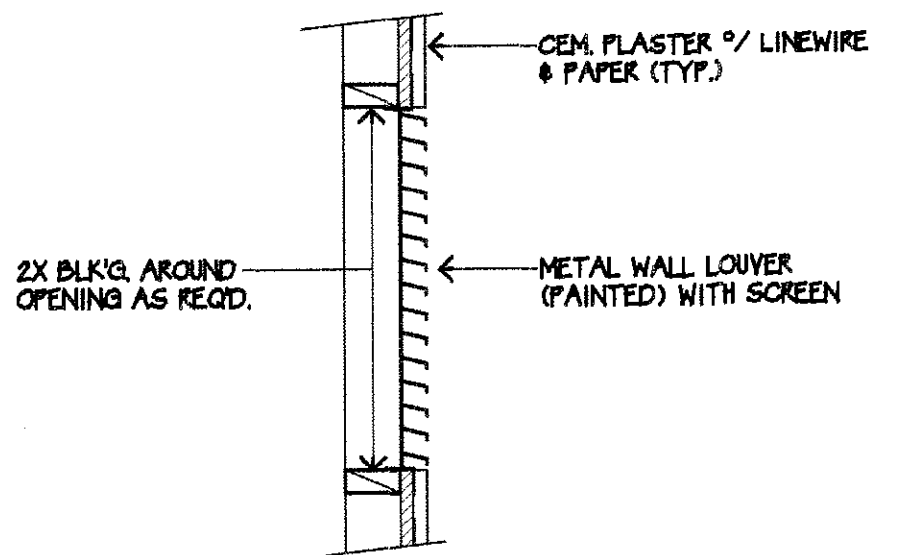
NOTE:
REFER TO SITE GRADING & DRAINAGE PLAN (SHEET SD3)
FOR CONTINUATION OF ROOF DRAINAGE PIPING
ROOF DRAINAGE WATER FROM THIS
BUILDING SHALL NOT BE PERMITTED
TO FLOW OVER PUBLIC PROPERTY.
ALL RAIN WATER PIPING INSIDE OF
BUILDING TO BE RUN WITH METAL PIPE

DRAINAGE CALCULATIONS

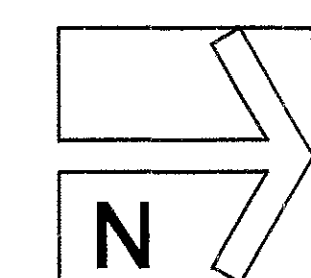
UPC TABLE D-1
SAN FRANCISCO 1.5 INCHES/HOUR
TABLE 11-2
4\"/>



1 ROOF DRAIN DETAIL
SCALE: 1 1/2\"/>

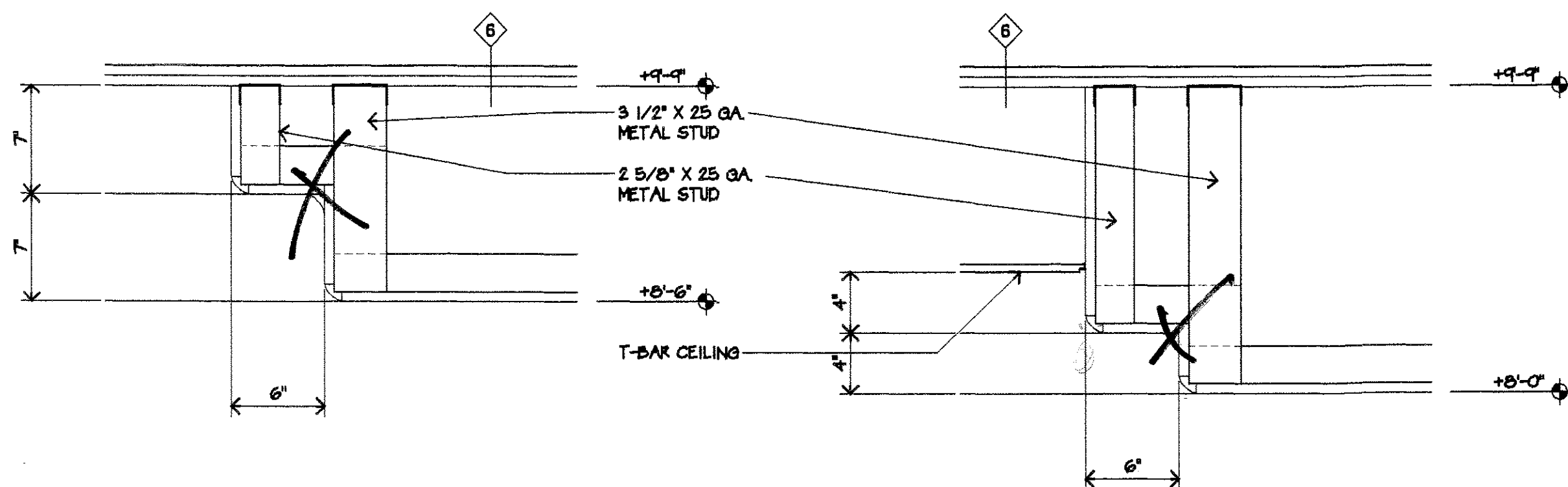
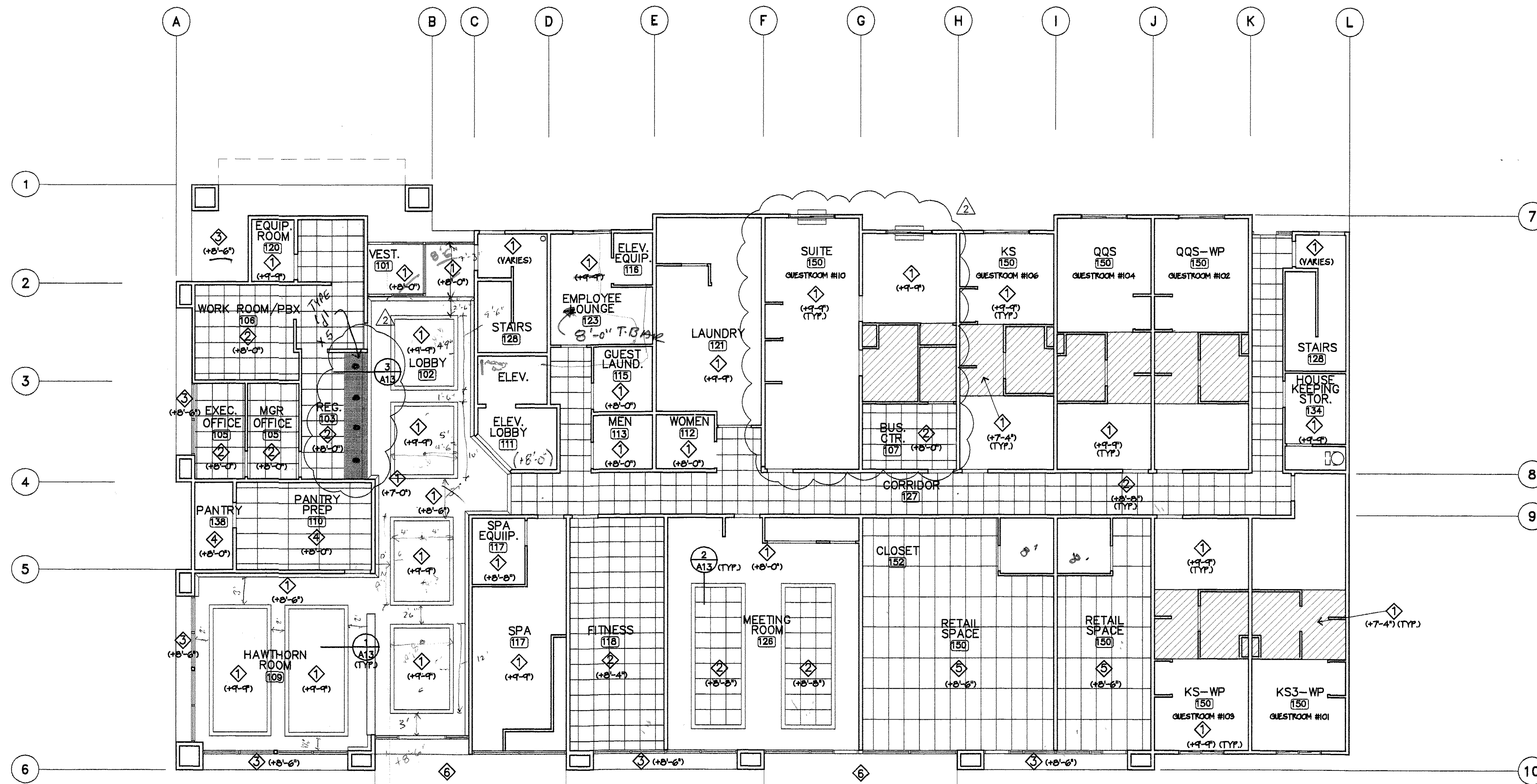


2 DETAIL
SCALE: 1\"/>

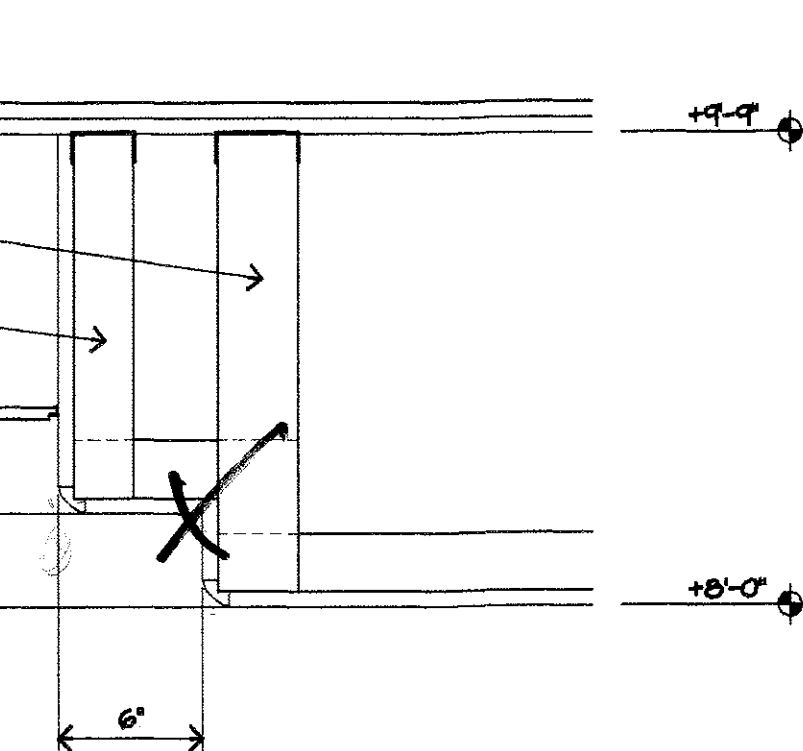


ROOF PLAN

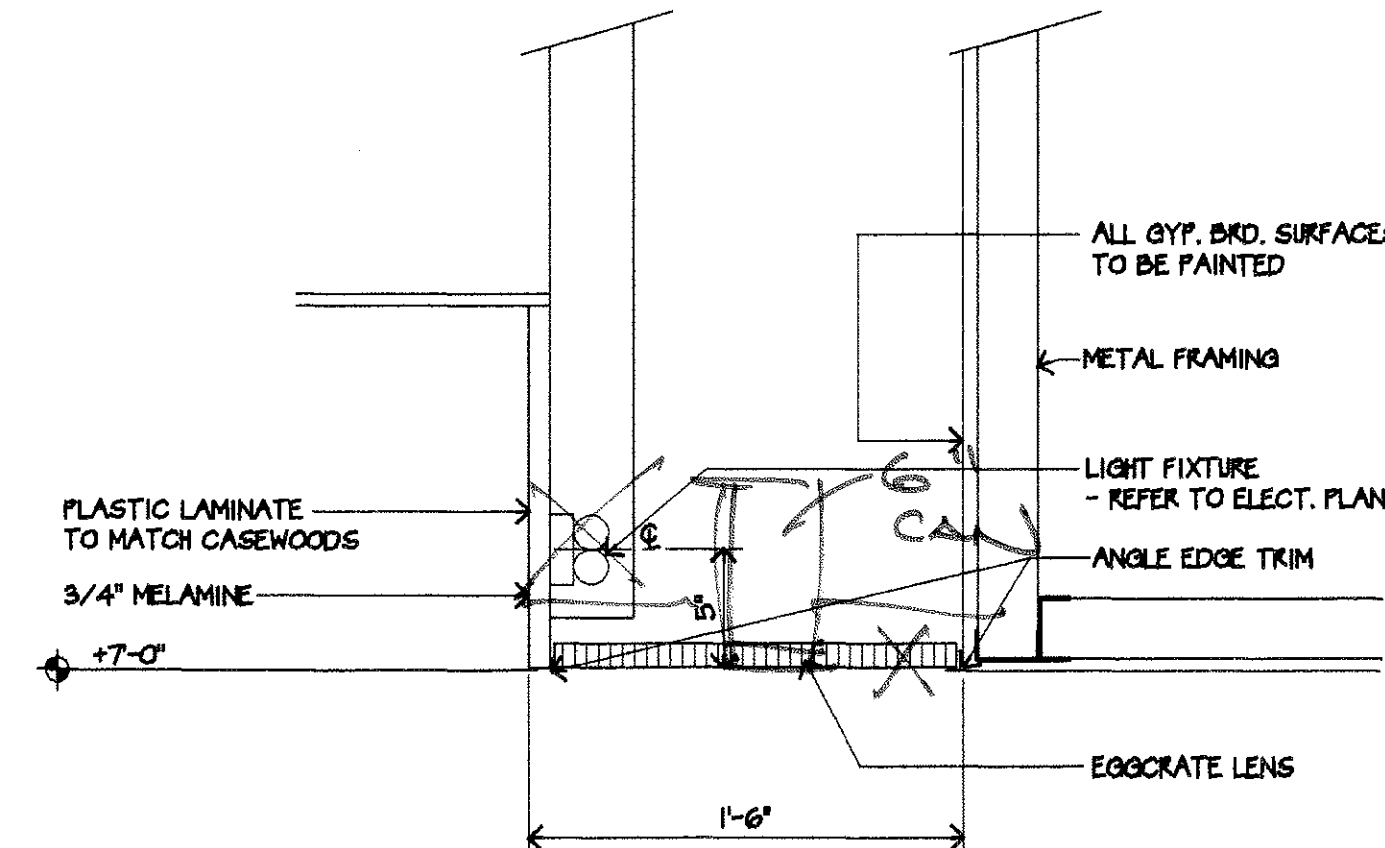
SCALE: 1/8\"/>



1 DETAIL
SCALE: 3"=1'-0"



2 DETAIL
SCALE: 3"=1'-0"



3 VALANCE DETAIL
SCALE: 3"=1'-0"

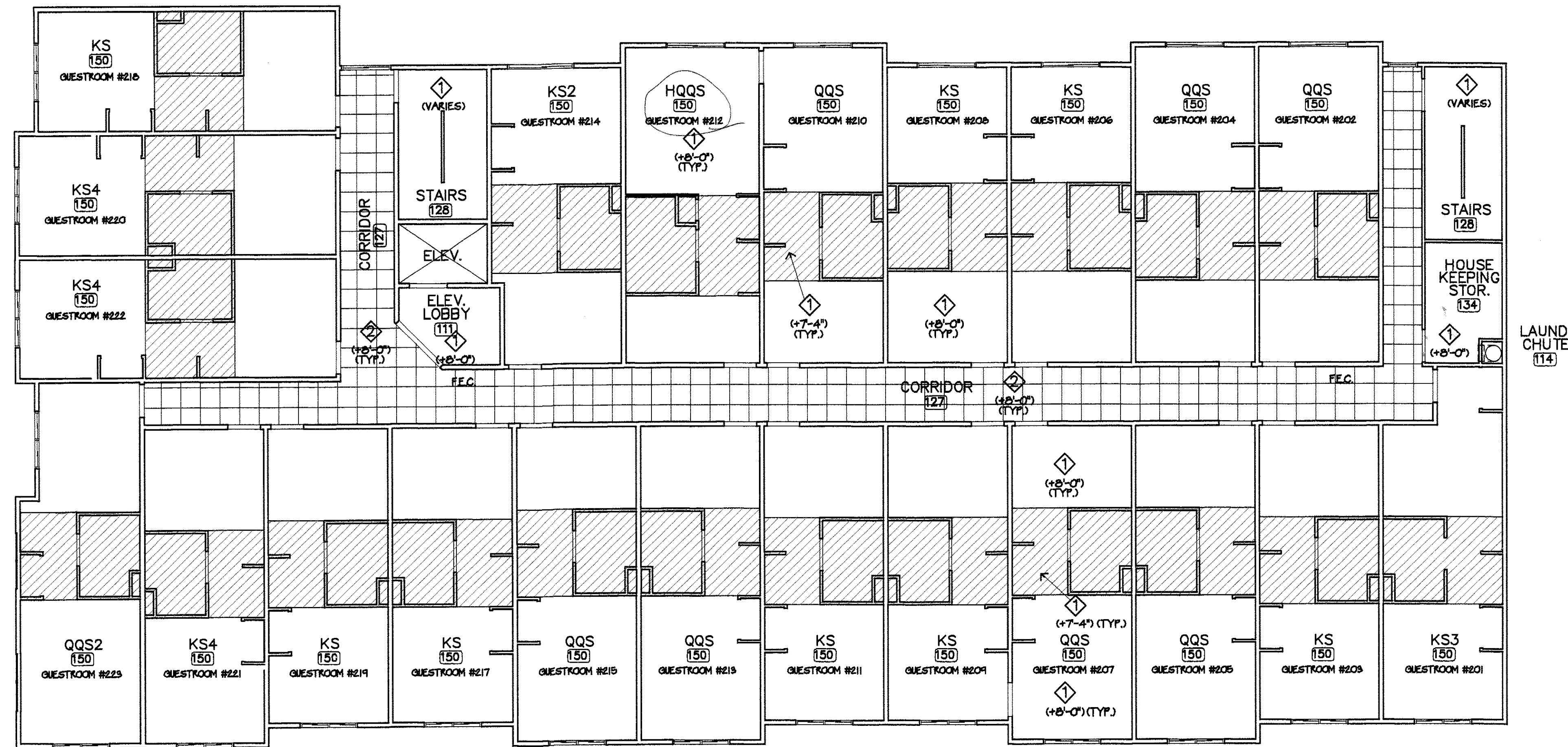
NOTE: REFER TO ELECTRICAL & MECHANICAL DRAWINGS FOR PLACEMENT OF CEILING MOUNTED BOXES, ETC. & FOR HVAC/EXHAUST GRILLES, ETC.

HATCHING INDICATES LOWERED CEILING @ +7'-4" (B.O.F.)/U.N.O. (TYPICAL FOR 1ST, 2ND, & 3RD FLOORS)

CEILING FINISH SCHEDULE

SYMBOL	MATERIAL	FINISH REQUIREMENTS
①	GYPSUM BOARD	KNOCK-DOWN TEXTURE & PAINT/ REFER TO SHT. A9
②	SUSPENDED ACOUSTICAL CEILING	2x4 GRID (ARMSTRONG SECOND LOOK II / OR EQUAL)
③	CEMENT PLASTER	REFER TO EXTERIOR ELEVATIONS FOR COLOR
④	SUSPENDED ACOUSTICAL CEILING	2x4 GRID-WASHABLE
⑤	SUSPENDED ACOUSTICAL CEILING	2x4 GRID
⑥	CANVAS AWNING	(VERIFY w/OWNER)

1ST FLOOR REFLECTED CEILING PLAN
SCALE: 1/8"=1'-0"



NOTE: REFER TO ELECTRICAL & MECHANICAL DRAWINGS
FOR PLACEMENT OF CEILING MOUNTED BOXES, ETC. &
FOR HVAC/EXHAUST GRILLES, ETC.

HATCHING INDICATES LOWERED CEILING @ +7'-4" (B.O.F.)/U.N.O.
(TYPICAL FOR 1ST, 2ND, & 3RD FLOORS)

CEILING FINISH SCHEDULE

SYMBOL	MATERIAL	FINISH REQUIREMENTS
①	GYPSUM BOARD	KNOCK-DOWN TEXTURE & PAINT/ REFER TO SHT. A9
②	SUSPENDED ACOUSTICAL CEILING	2x2 GRID/REFER TO SPECIFICATIONS
③	CEMENT PLASTER	REFER TO EXTERIOR ELEVATIONS FOR COLOR



**2ND FLOOR
REFLECTED
CEILING PLAN**

SCALE: 1/8"=1'-0"

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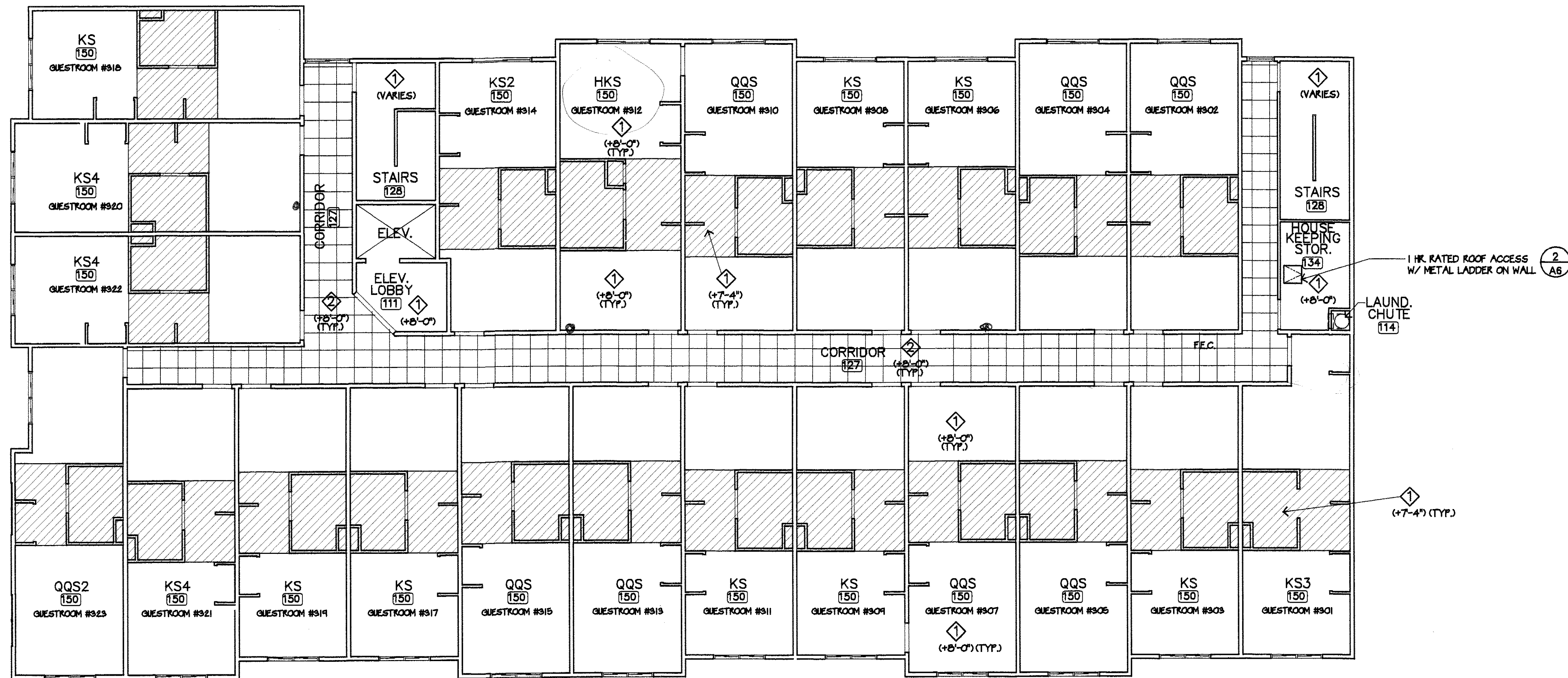
**HAWTHORN
SUITES
LTD**

PROPOSED: **HAWTHORN SUITES LTD.**
1920 WEBSTER STREET
ALAMEDA, CA
OWNERS: **ALAMEDA HOSPITALITY, LLC**
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NOTE: REFER TO ELECTRICAL & MECHANICAL DRAWINGS
FOR PLACEMENT OF CEILING MOUNTED BOXES, ETC. &
FOR HVAC/EXHAUST GRILLES, ETC.

HATCHING INDICATES LOWERED CEILING @ +7'-4" (B.O.F.)/U.N.O.
(TYPICAL FOR 1ST, 2ND, & 3RD FLOORS)

CEILING FINISH SCHEDULE

SYMBOL	MATERIAL	FINISH REQUIREMENTS
①	GYP-SUM BOARD	KNOCK-DOWN TEXTURE & PAINT/ REFER TO SHT. A9
②	SUSPENDED ACOUSTICAL CEILING	2x2 GRID/REFER TO SPECIFICATIONS
③	CEMENT PLASTER	REFER TO EXTERIOR ELEVATIONS FOR COLOR



**3RD FLOOR
REFLECTED
CEILING PLAN**

SCALE: 1/8"=1'-0"

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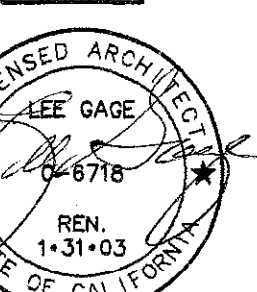
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OWNERS: **ALAMEDA HOSPITALITY, LLC**
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ALAMEDA, CA 94501 PHONE/FAX(910) 814-9881

05/06/02



A13C
SHEET
OF



SCALE: $1/8'' = 1' - 0''$

NOTE:
REFER TO SHEET M1 FOR TYPICAL
MECHANICAL PLAN NOTES

REFER TO SHEETS M3 & M3B FOR ENLARGED
LAYOUTS & SHEET M4 FOR TYP. GUESTROOM

REFER TO SHEET M4 FOR TYPICAL DUCT SHAFT
DETAILS & MECHANICAL EQUIPMENT LIST

REFER TO ARCHITECTURAL DRAWINGS FOR
DESIGNATION AND LISTING OF FIRE RATED
ASSEMBLY DESIGN NUMBERS. COORDINATE
MECHANICAL REQUIREMENTS WITH FIRE
RESISTANCE OF MATERIALS AND CONSTRUCTION

The logo consists of a rounded rectangle containing the text 'M2B' in a large, bold, sans-serif font. Below this, the words 'SHEET' and 'OF' are printed in a smaller font, followed by horizontal lines for handwritten input.

PROPOSED: **HAWTHORN SUITES LTD.**
1628 WEBSTER STREET
ALAMEDA, CA.

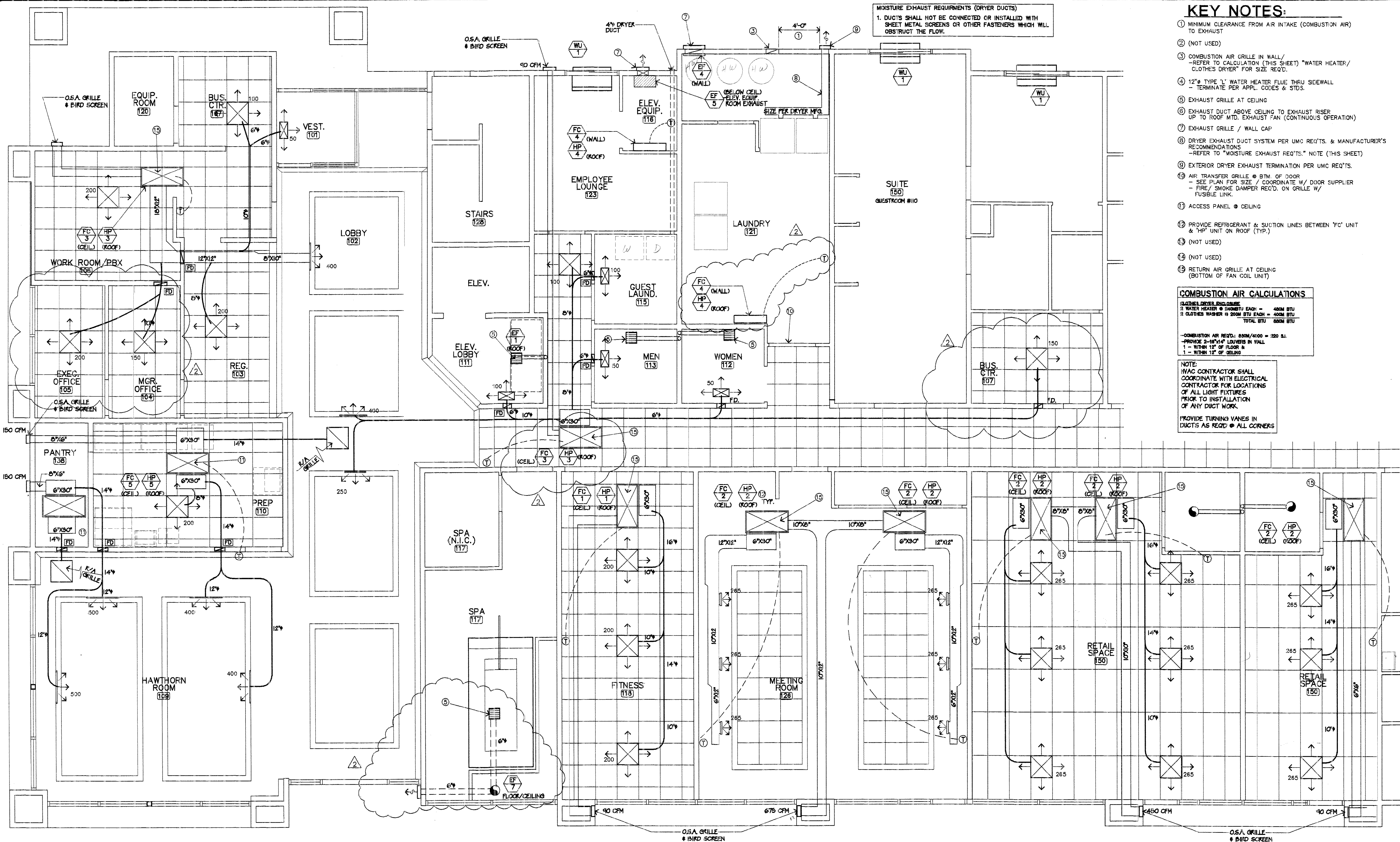
OWNERS: **ALAMEDA HOSPITALITY, LLC**
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**HAWTHORN
SUPPLIES
LTD**

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MOISTURE EXHAUST REQUIREMENTS (DRYER DUCTS)
 1. DUCTS SHALL NOT BE CONNECTED OR INSTALLED WITH SHEET METAL SCREENS OR OTHER FASTENERS WHICH WILL OBSTRUCT THE FLOW.

KEY NOTES:

- MINIMUM CLEARANCE FROM AIR INTAKE (COMBUSTION AIR) TO EXHAUST
- (NOT USED)
- COMBUSTION AIR GRILLE IN WALL / REFER TO CALCULATION (THIS SHEET) "WATER HEATER / CLOTHES DRYER" FOR SIZE REQ'D.
- 12" TYPE "L" WATER HEATER FLUE THRU SIDEWALL - TERMINATE PER APPL. CODES & STD.
- EXHAUST GRILLE AT CEILING
- EXHAUST DUCT ABOVE CEILING TO EXHAUST RISER UP TO ROOF MTD. EXHAUST FAN (CONTINUOUS OPERATION)
- EXHAUST GRILLE / WALL CAP
- DRYER EXHAUST DUCT SYSTEM PER UMC REQ'TS. & MANUFACTURER'S RECOMMENDATIONS - REFER TO "MOISTURE EXHAUST REQ'TS." NOTE (THIS SHEET)
- EXTERIOR DRYER EXHAUST TERMINATION PER UMC REQ'TS.
- AIR TRANSFER GRILLE @ BTM. OF DOOR - SEE PLAN FOR SIZE / COORDINATE W/ DOOR SUPPLIER - FIRE / SMOKE DAMPER REQ'D. ON GRILLE W/ FUSIBLE LINK.
- ACCESS PANEL @ CEILING
- PROVIDE REFRIGERANT & SUCTION LINES BETWEEN "FC" UNIT & "HP" UNIT ON ROOF (TYP.)
- (NOT USED)
- (NOT USED)
- RETURN AIR GRILLE AT CEILING (BOTTOM OF FAN COIL UNIT)

COMBUSTION AIR CALCULATIONS

WATER HEATER EXHAUSTS:
 1 WATER HEATER @ 30,000 BTU EACH = 4000 BTU
 2 CLOTHES WASHER @ 2000 BTU EACH = 4000 BTU
TOTAL BTU 8000 BTU

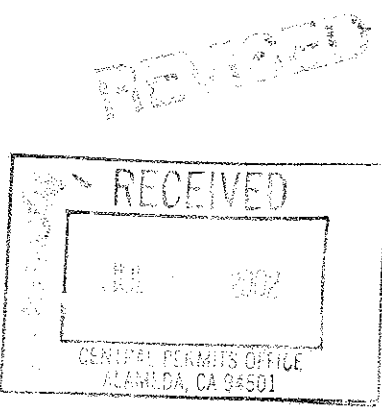
COMBUSTION AIR REQ'D: 0.050A/1000 = 220 S.F.
 PROVIDE 2-16"x14" LOUVERS IN WALL
 1 - WITHIN 12" OF FLOOR &
 1 - WITHIN 12" OF CEILING

NOTE:
 HVAC CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR FOR LOCATIONS OF ALL LIGHT FIXTURES PRIOR TO INSTALLATION OF ANY DUCT WORK.
 PROVIDE TURNING VANES IN DUCTS AS REQ'D @ ALL CORNERS

- NOTE:**
- ALL DUCTWORK RUN BETWEEN CEILING FRAMING WHERE POSSIBLE: (BELOW RATED CEILING LID)
 - DUCTS SHALL BE RUN WITHIN SCFFIT FRAMING WHERE POSSIBLE
 - OPENINGS FOR DUCTWORK RUN THRU JOISTS SHALL BE COORDINATED WITH STRUCTURAL FRAMING SYSTEM (DEPTH UNITS MAY REQUIRE ALTERNATE ROUTING).
 - FD = FIRE/SMOKE DAMPER (WHERE REQ'D. BY CODE)
 - SD = SMOKE DAMPER (WHERE REQ'D. BY CODE)
 - * INDICATES DOOR TO BE UNDERCUT 1" FOR RETURN AIR PURPOSES
 - REFER TO MECHANICAL EQUIPMENT LIST ON SHEET M-4 FOR ALL HVAC EQUIPMENT
 - REFER TO SHEET FS-1 REGARDING LOCATION OF FIRE-RATED ASSEMBLIES
 - REFER TO DETAIL 6/FS-3 FOR DUCT PENETRATIONS THRU RATED WALLS WHERE DAMPERS ARE REQUIRED.

ENLARGED MEETING ROOMS, LOBBY & HAWTHORN ROOM MECHANICAL FLOOR PLAN

SCALE: 1/4"=1'-0"



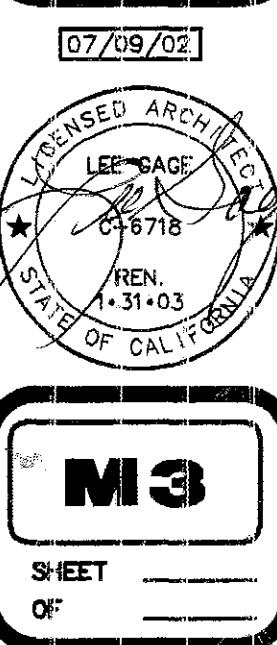
REVISIONS PER OWNER REQUEST
 7/3/02

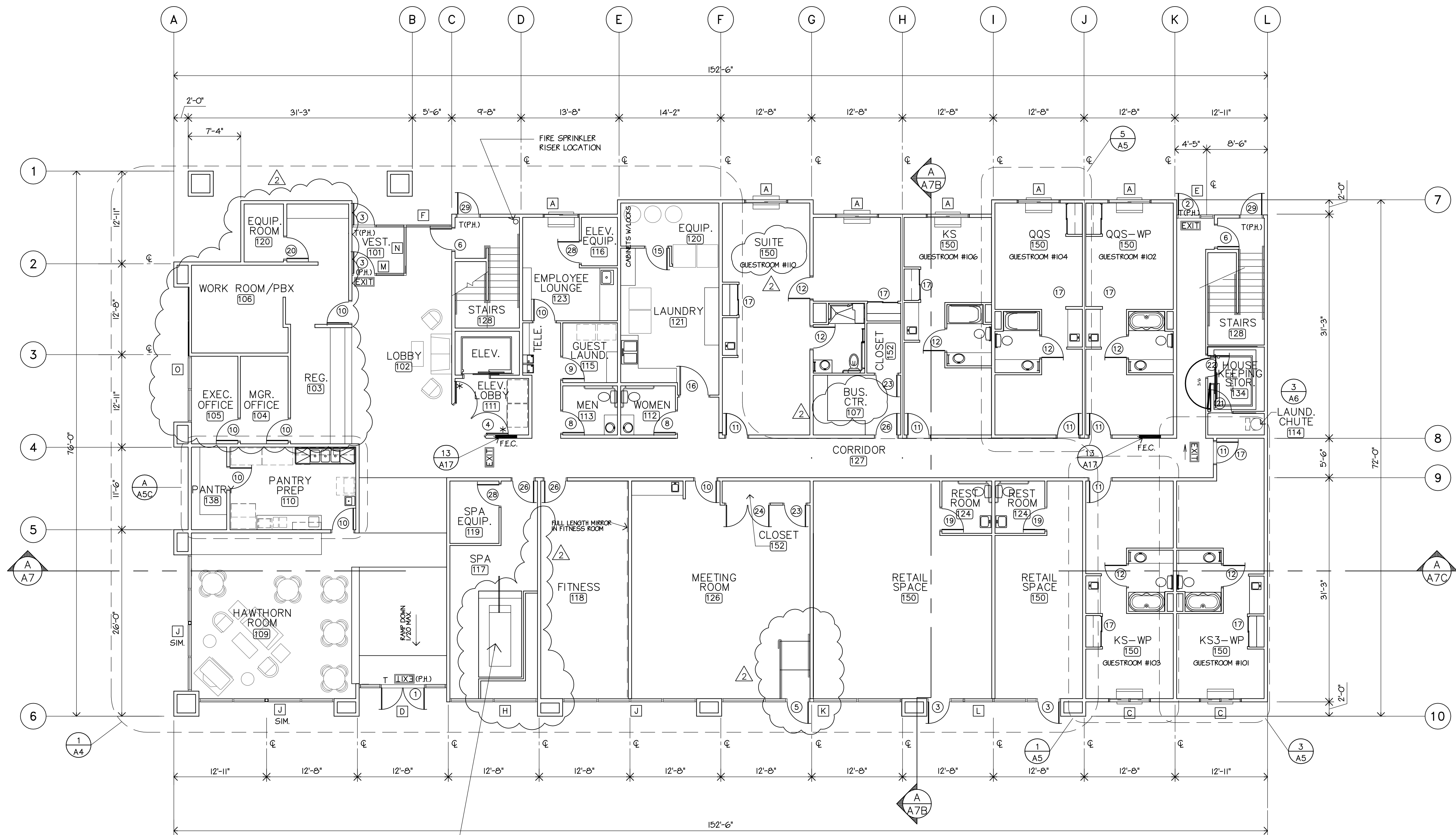
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HAWTHORN SUITES LTD.

PROPOSED: **HAWTHORN SUITES LTD.**
 1000 S. MAIN STREET
 ALAMEDA, CA 94601
 OWNERS: **ALAMEDA HOSPITALITY, LLC**
 1000 S. MAIN STREET
 ALAMEDA, CA 94601 PHONE/FAX (510) 814-9881





NOTE:
SPA & EQUIPMENT REQUIRE
SEPARATE REVIEW & PERMIT
BY GENERAL CONTRACTOR

NOTES:

- INSULATE ALL EXTERIOR WALLS W/ R-19 FIBERGLASS BATT INSULATION. (UNLESS NOTED OTHERWISE)
- INSULATE CEILING AREA WITH R-30 FIBERGLASS BATT INSULATION/ UNLESS NOTED OTHERWISE ON PLANS.
- PROVIDE LEVER-TYPE DOOR HARDWARE PER STATE OF CALIFORNIA TITLE 24 REQUIREMENTS. NOT LESS THAN 30" NOR MORE THAN 44" A.F.F.
- PROVIDE PORTABLE FIRE EXTINGUISHERS / SIZE AND LOCATION PER FIRE DEPT. REQUIREMENTS (NFPA PAMPHLET PG. 10)
- FLAME SPREAD CLASSIFICATION FOR INTERIOR WALLS AND CEILINGS TO BE CLASS III. (AUTOMATIC FIRE SPRINKLER SYSTEM PROVIDED).
- FIRE EXTINGUISHING PLANS TO BE SUBMITTED TO THE LOCAL GOVERNING FIRE DEPT. PRIOR TO ERECTION FOR APPROVAL AND PROVIDE CENTRAL STATION SUPERVISION ON SYSTEMS. (GENERAL CONTRACTOR REQ'T.)
- THE FIRE ALARM SYSTEM SHALL BE U.L. LISTED AND APPROVED BY THE STATE FIRE MARSHALL. PLANS SHALL BE SUBMITTED TO THE LOCAL GOVERNING FIRE DEPT. PRIOR TO INSTALLATION FOR APPROVAL. (GENERAL CONTRACTOR REQ'T.)
- ALL EXPOSED INSULATION SHALL HAVE MAX. FLAME SPREAD OF 25 & MAX. SMOKE RATING OF 450.
- ALL MATERIAL EXPOSED IN PLENUM SPACE ABOVE CEILING TO HAVE A MAXIMUM FLAME SPREAD OF 25 AND A MAXIMUM SMOKE RATING OF 50.
- PROVIDE 5" x 5" SQ. HANDICAP ACCESSIBILITY DECAL AT ALL ENTRANCES TO THE BUILDING/ MOUNT @ +5'-0" AFF - DOORS ① & ② -REFER TO HS2
- WEATHER-STRIP ALL EXTERIOR DOORS PER TITLE 24 REQUIREMENTS.
- EXIT DOORS TO BE OPEN ABLE W/ MAX. 8 1/2 LBS. FOR EXTERIOR DOORS & 5 LBS. FOR INTERIOR DOORS.

- F.E.C. = FIRE EXTINGUISHER CABINET
- 2-A-10BC FIRE EXTINGUISHER
- MOUNT @ +5'-0" A.F.F.
- ALL DECORATIVE MATERIALS SHALL BE FIRE RETARDANT OR APPROVED TREATED MATERIALS.
- THE SPRINKLER SYSTEM SHALL BE INTERCONNECTED W/ THE FIRE ALARM SYSTEM / TO AUTOMATICALLY ACTIVATE THE FIRE ALARM IF SPRINKLER SYSTEM IS ACTIVATED.
- PROVIDE A STREET VISIBLE ADDRESS ON BUILDING PRIOR TO FINAL INSPECTION. (12" HIGH MINIMUM)
- PROVIDE "NO SMOKING" SIGNS PER F.M.C.
- INTERNATIONAL "NO SMOKING" SYMBOL IN RED OR 1" HIGH LETTER STATING "NO SMOKING"
- 40 SQ. INCHES IN SIZE & LOCATED 60" A.F.F.
- ALL EXTERIOR WALLS ARE 2X6 UNLESS NOTED OTHERWISE
- ALL OTHER FRAMING TO BE 2X4 UNLESS NOTED OTHERWISE / REFER TO STRUCT. DWGS. FOR REQUIREMENTS WHICH SHALL GOVERN OVER ARCHITECTURAL DWGS.
- ALL DIMENSIONS ARE TO THE FACE OF STUDS UNLESS NOTED OTHERWISE.
- PROVIDE BLOCKING BEHIND ALL WALL MOUNTED ACCESSORIES, FIXTURES, FITTINGS, ETC.
- REFER TO DETAIL 9/A11
- REFER TO ENLARGED PLANS FOR ALL DOOR, WINDOW AND PARTITION TYPES UNLESS OTHERWISE NOTED.
- WHERE DRAPERY RODS ARE USED AT WINDOWS, PROVIDE WOOD BLOCKING IN CEILING FOR ATTACHMENT AS REQUIRED.

- ALL COMPONENTS OF FIRE RATED DOOR ASSEMBLIES SHALL BEAR THE LABEL OF AN APPROVED TESTING AGENCY, INCLUDES: DOOR, FRAMES, CLOSING DEVICE & LATCHES.
- * INDICATES LOCATION OF DOOR HOLDER/ RELEASE DEVICE
-REFER TO SHEET A9B FOR INFORMATION
- MAXIMUM CROSS SLOPE OF ALL LANDINGS, RAMPS AND/OR WALKS TO BE 1/4"/FT.
- REFER TO STRUCTURAL PLANS FOR ALL SHEAR WALL LOCATIONS
- NO THUMB LATCHES OR KEYED CYLINDER DEAD BOLTS ALLOWED ON ANY DOORS UNLESS OPERATED BY A SINGLE ACTION WITH A LEVER. THE PROPOSED HARDWARE MUST BE APPROVED FOR EXITING REGARDLESS OF OCCUPANT LOADS.
- PANIC HARDWARE (WHERE REQUIRED) SHALL BE MOUNTED: 30" MIN., 44" MAX. FROM FIN. FLOOR
- OCCUPIED STRUCTURES SHALL BE SOUND PROOFED TO REDUCE INTERIOR NOISE TO 45 dB. ACCORDING TO STATE GUIDELINES. REFLECTIVE MATERIALS ARE NOT PERMITTED TO BE USED IN STRUCTURES OR SIGNS (EXCLUDING TRAFFIC DIRECTING SIGNS), TO AVOID DISTRACTING PILOTS
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES IN WRITING PRIOR TO PROCEEDING WITH THAT PORTION OF WORK
- ALL WORK SHALL MEET OR EXCEED THE REQUIREMENTS OF THE OWNER'S FRANCHISE STANDARDS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY DOCUMENTS PERTAINING TO FRANCHISE REQUIREMENTS AND TO COORDINATE SAME WITH THE OWNER
- F.E. = PORTABLE WALL MTD. FIRE EXTINGUISHER 10 LB. ABC RATED (TYP. WHERE SHOWN)

NOTE:
PROVIDE 1-LAYER OF 5/8" TYPE 'X' GYPSUM BOARD AROUND ALL FACES OF WOOD COLUMNS (4X4, 6X6, 8X8, ETC.) SUPPORTING FLOOR &/ OR ROOF BEAMS - TYP. ALL FLOORS

PROVIDE 1-LAYER OF 5/8" TYPE 'X' GYPSUM BOARD AROUND ALL WOOD BEAMS FOR 1-HR. FIRE-RESISTIVE ASSEMBLY (ALL FACES & BTM.)

EACH DOOR TO AN EXIT STAIRWAY SHALL HAVE A TACTILE SIGN, INCLUDING RAISED LETTERS AND BRAILLE, STATING 'EXIT'

REFER TO ENLARGED PLANS FOR DETAILED REQUIREMENTS NOT SHOWN ON THIS SHEET

REFER TO SHEETS FS1 & FS2 FOR ALL AREA SEPARATION WALLS, OCCUPANCY SEPARATION WALLS, & FIRE SEPARATION WALLS
-FIRE STOP INDEX ON FS1 SHALL BE USED FOR ALL PENETRATIONS WITHIN THESE WALLS.

* INDICATES ELECTRIC MAGNETIC HOLD OPEN WIRED TO FIRE ALARM. SEE NOTE #6 SHEET A9B

ITEMS FURNISHED BY OWNER:

- LAUNDRY EQUIPMENT: WASHERS & DRYERS
 - P.B.X., PHONE SYSTEM, T.V. & TELEPHONE WIRING.
 - CAMERA & MONITORS
 - TESA LOCKS & INSTALLATION
 - GUEST LAUNDRY EQUIPMENT: WASHER & DRYERS
 - PREP./ SERVING AREA EQUIPMENT: REFRIGERATOR & FREEZER
 - VENDING AREA EQUIPMENT: ICE MACHINES, SODA & SNACK MACHINES
- VERIFY DISPOSITION OF GENERAL CONTRACTOR'S INSTALLATION REQ'TS. WITH OWNER PRIOR TO BIDDING.

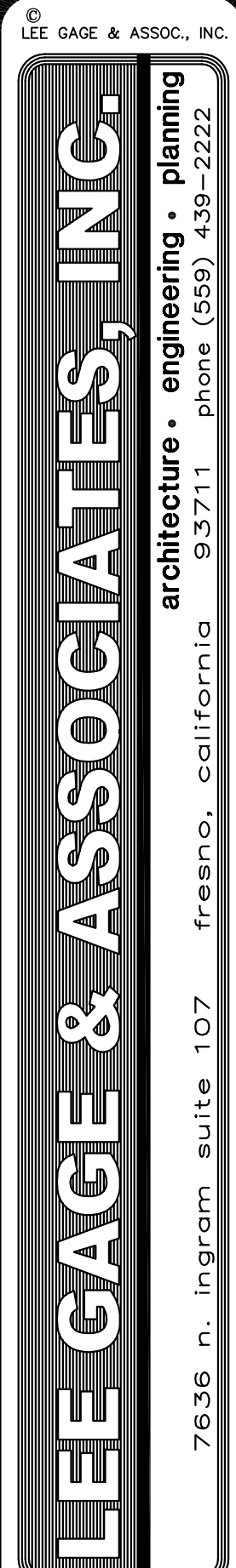
- INDICATES DOOR DESIGNATION
- REFER TO SHEET A9 FOR DETAILED REQ'TS.
- INDICATES WINDOW/ STOREFRONT DESIGNATION
- REFER TO SHEET A9 FOR DETAILED REQ'TS.
- INDICATES PARTITION TYPES
- REFER TO SHEET A10 FOR DETAILED REQ'TS.
- INDICATES THRESHOLD REQUIRED
- (P.H.) INDICATES PANIC HARDWARE REQUIRED
- EXIT INDICATES ILLUMINATED EXIT SIGN WITH REQUIRED DIRECTIONAL ARROWS

REVISIONS PER OWNER REQUEST
7/3/02

ROOM TYPE INDEX

ROOM TYPE	1st	2nd	3rd	TOTAL
QQS	1	7	7	15
QQS-WP	1	-	-	1
QQS2	-	1	1	2
KS	1	8	8	18
KS-WP	1	-	-	1
KS2	-	1	1	2
KS3	-	1	1	2
KS3-WP	1	-	-	1
KS4	-	3	3	6
HQQS	-	1	-	1
HKS	-	-	1	1
SUITE	1	-	-	1
TOTAL	6	22	22	50

ROOM TYPE LEGEND



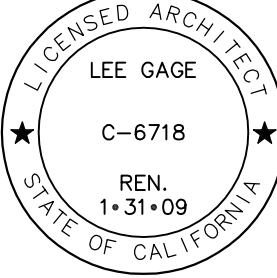
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PROPOSED: **HAWTHORN SUITES LTD.**
1628 WEBSTER STREET
ALAMEDA, CA. 94501

OWNERS: **ALAMEDA HOSPITALITY, LLC**
1940 FRANCISCAN WAY, SUITE #110
ALAMEDA, CA 94501 PHONE (510)522-1000

07/10/02



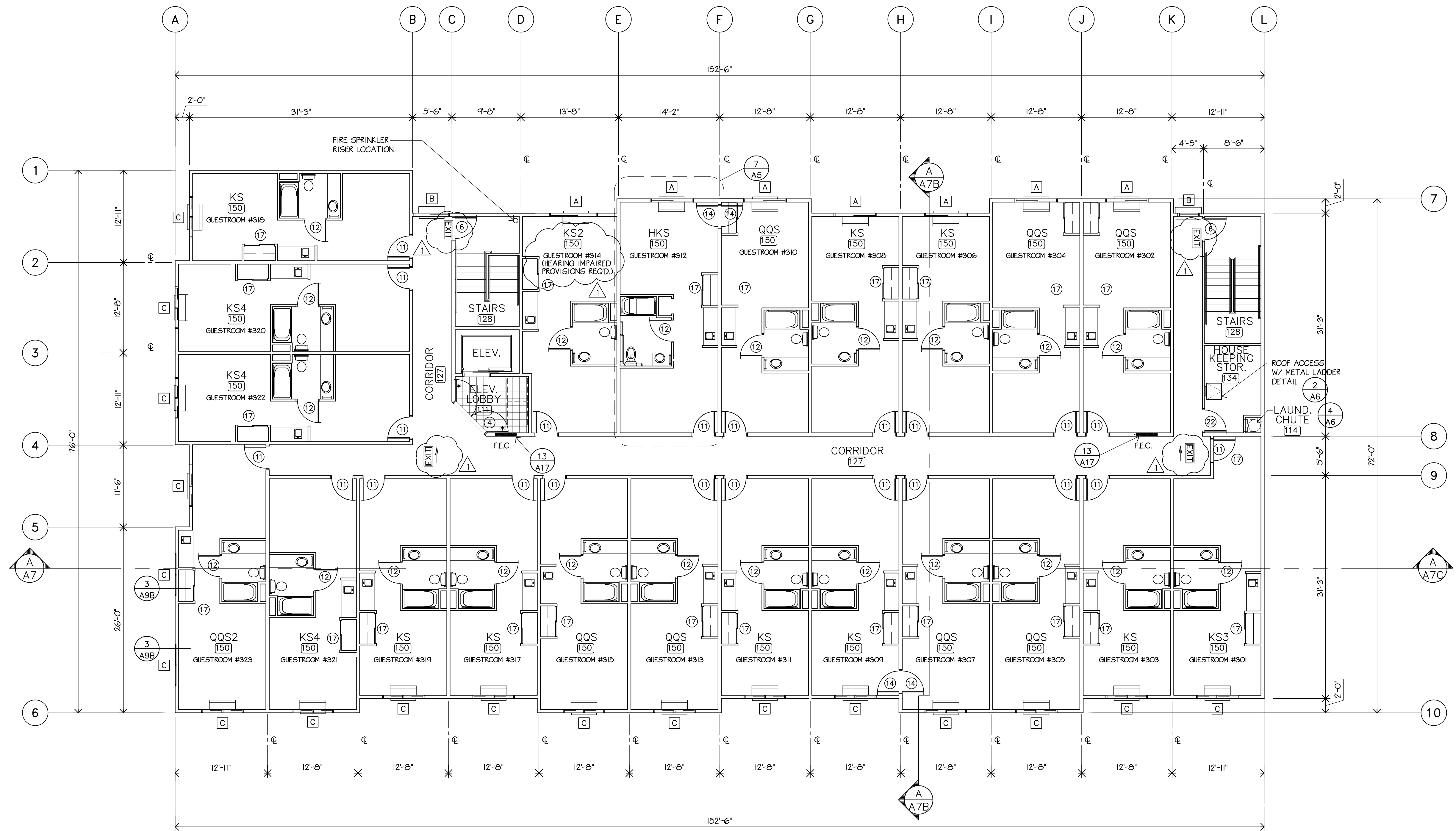
A2

SHEET _____
 OF _____

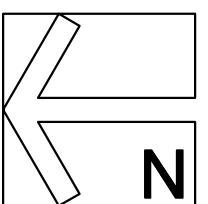
REVISIONS PER
CITY OF ALAMEDA
7/3/02

 **SECOND FLOOR
FLOOR PLAN**

SCALE: 1/8"=1'-0"



REVISIONS PER
CITY OF ALAMEDA
7/3/02



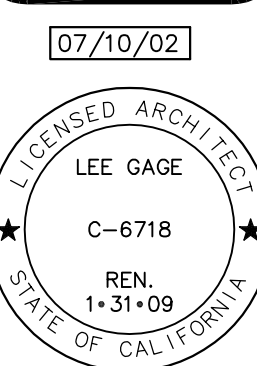
THIRD FLOOR FLOOR PLAN

SCALE: 1/8"=1'-0"

F:\ARCHDESK\SANDIP\HSA-A2B.DWG

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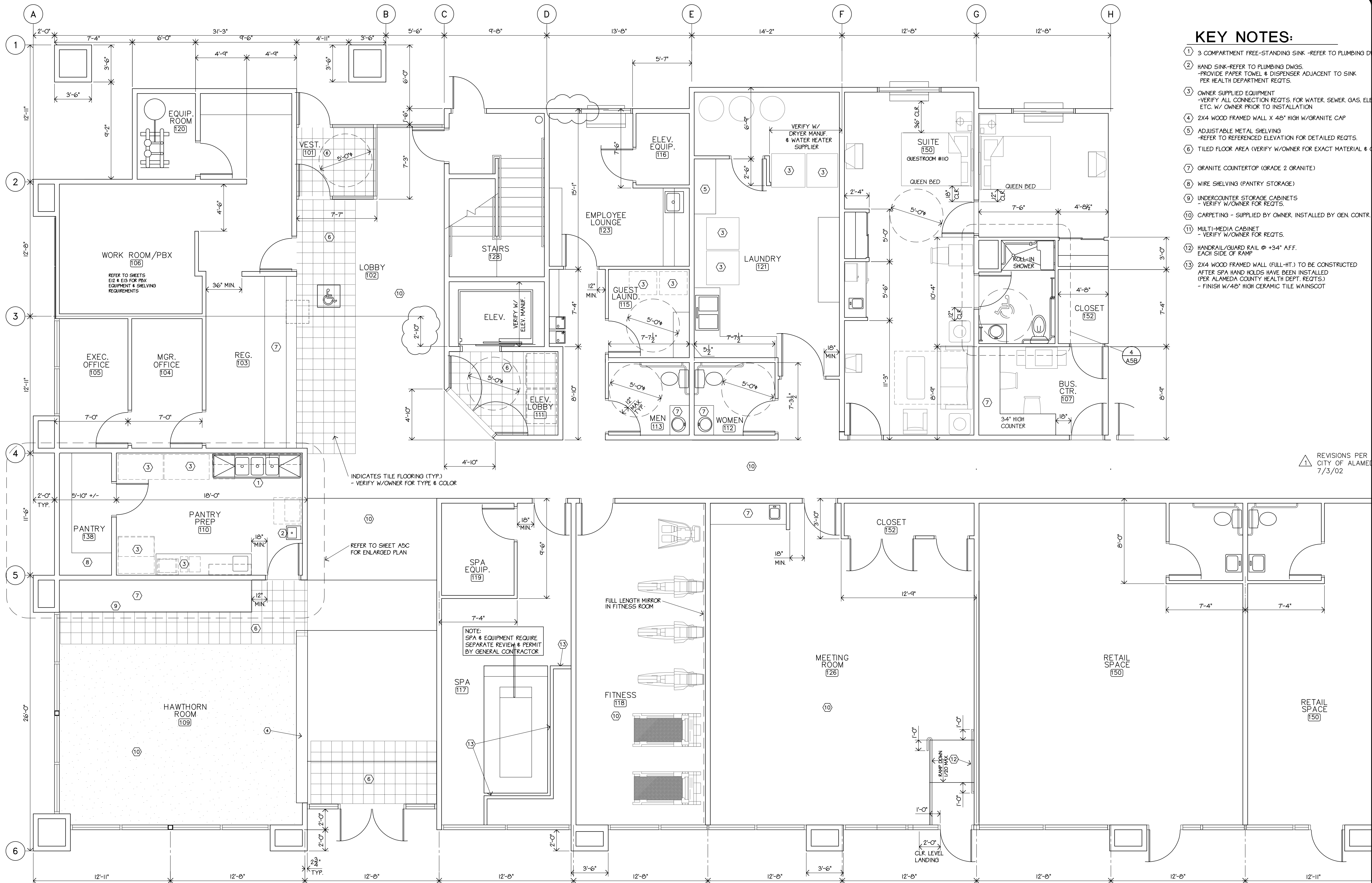
A2B

SHEET
OF

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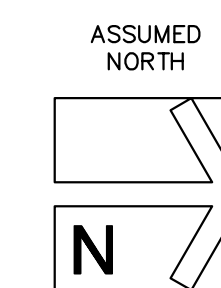


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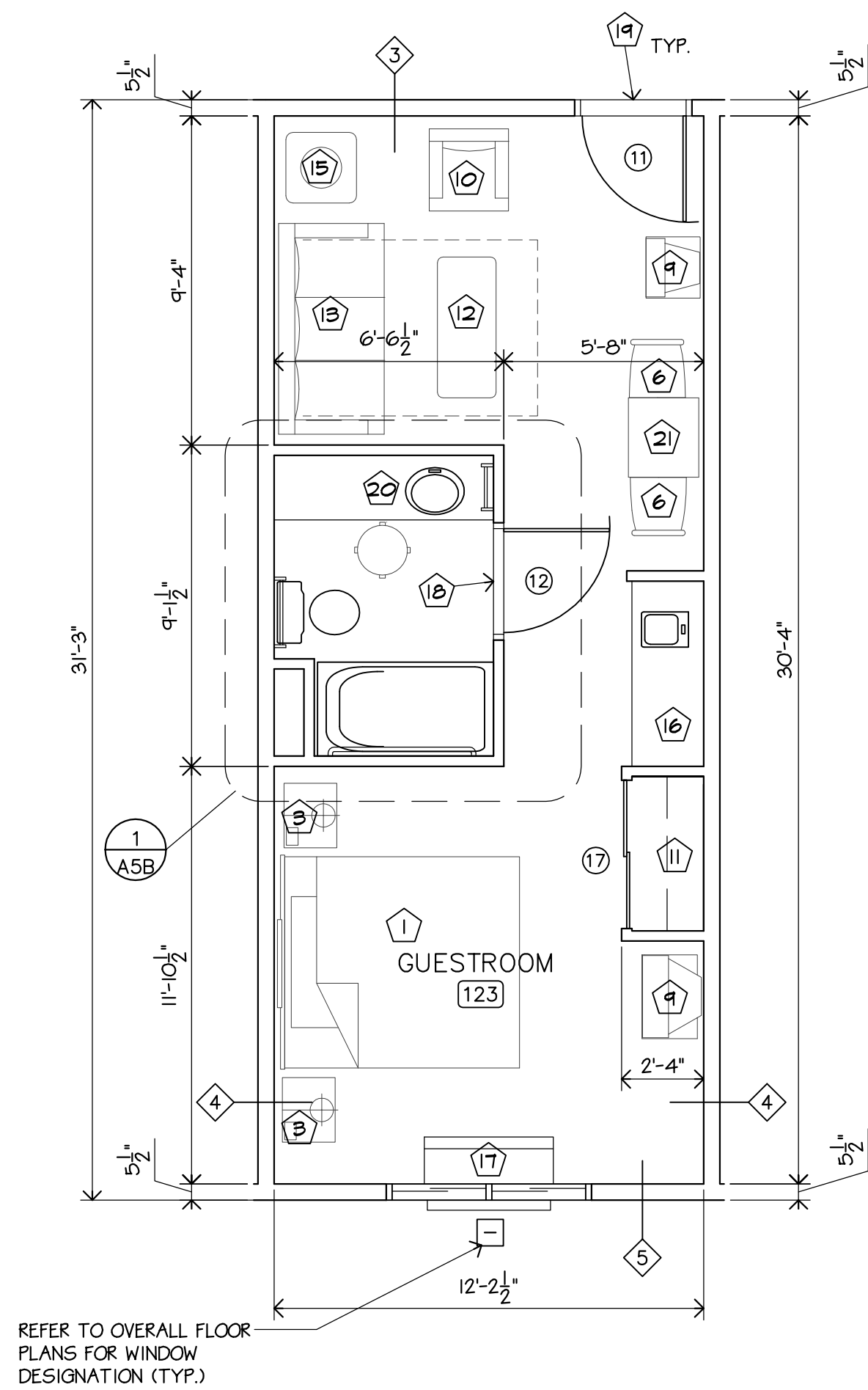
KEY NOTES:

- 3 COMPARTMENT FREE-STANDING SINK -REFER TO PLUMBING DWGS.
- HAND SINK-REFER TO PLUMBING DWGS.
-PROVIDE PAPER TOWEL & DISPENSER ADJACENT TO SINK
PER HEALTH DEPARTMENT REQTS.
- OWNER SUPPLIED EQUIPMENT
-VERIFY ALL CONNECTION REQTS. FOR WATER, SEWER, GAS, ELEC.,
ETC. W/ OWNER PRIOR TO INSTALLATION
- 2X4 WOOD FRAMED WALL X 48\"/>

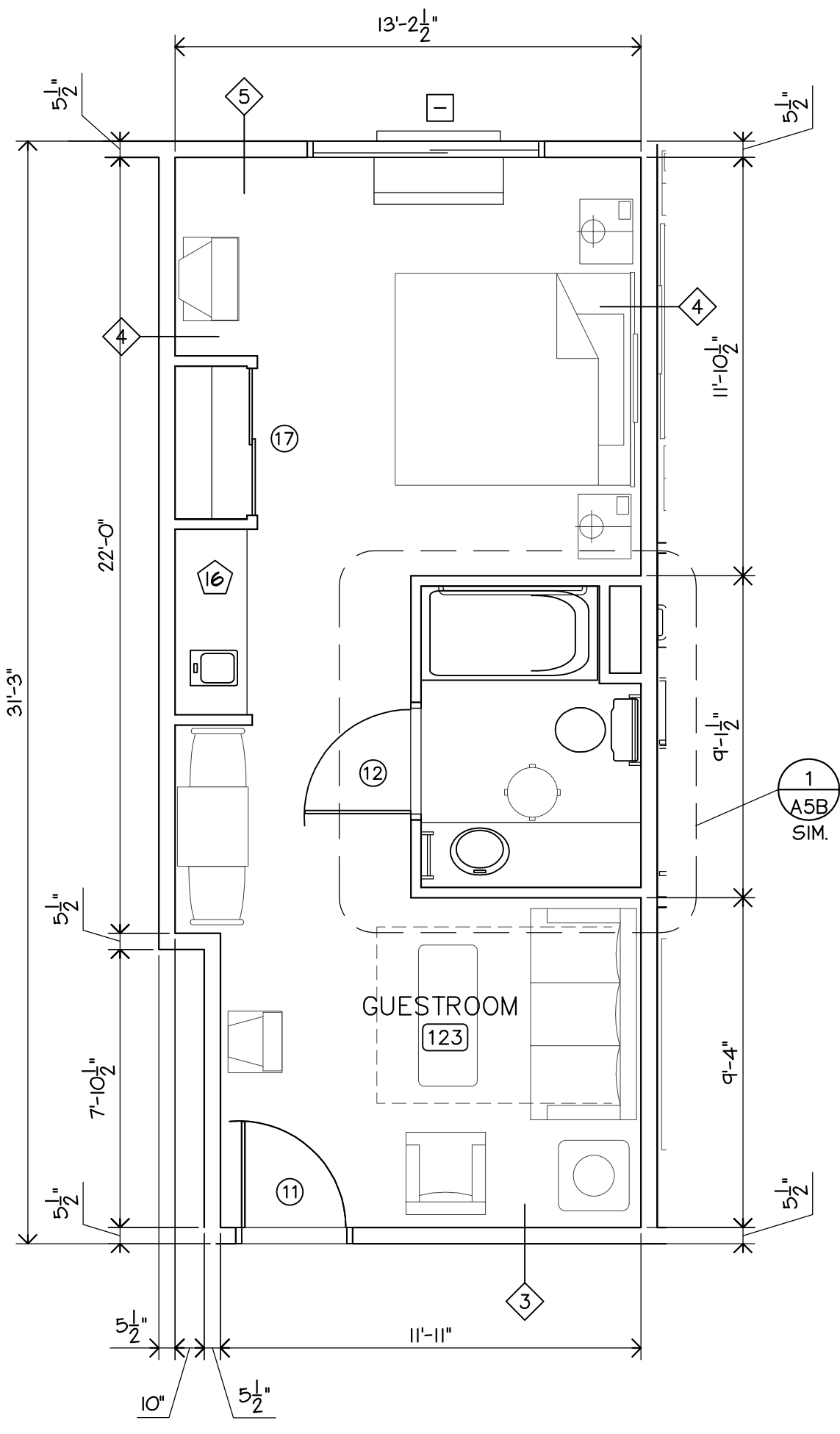


ENLARGED MEETING ROOMS, LOBBY & HAWTHORN ROOM FLOOR PLAN

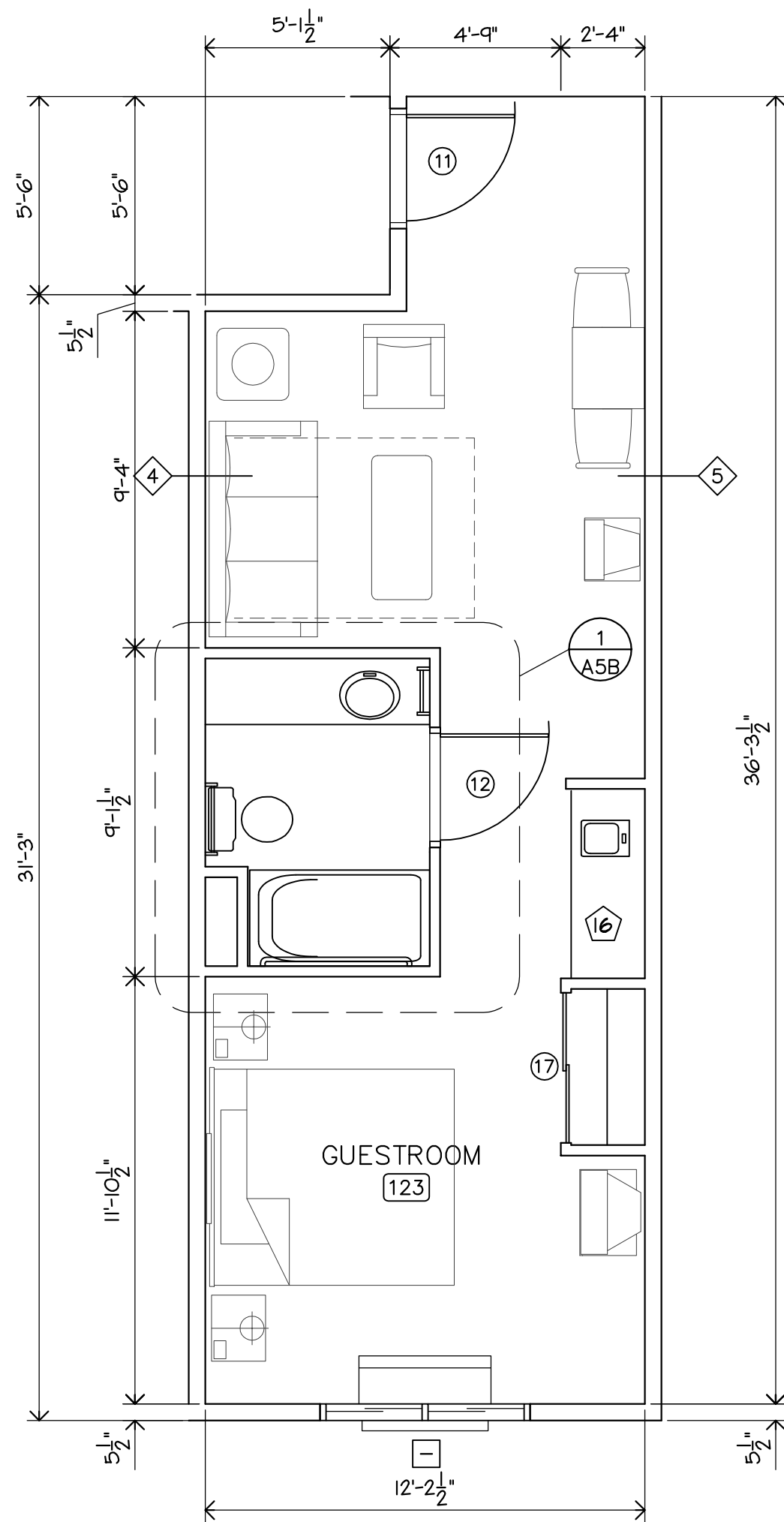
SCALE: 1/4"=1'-0"



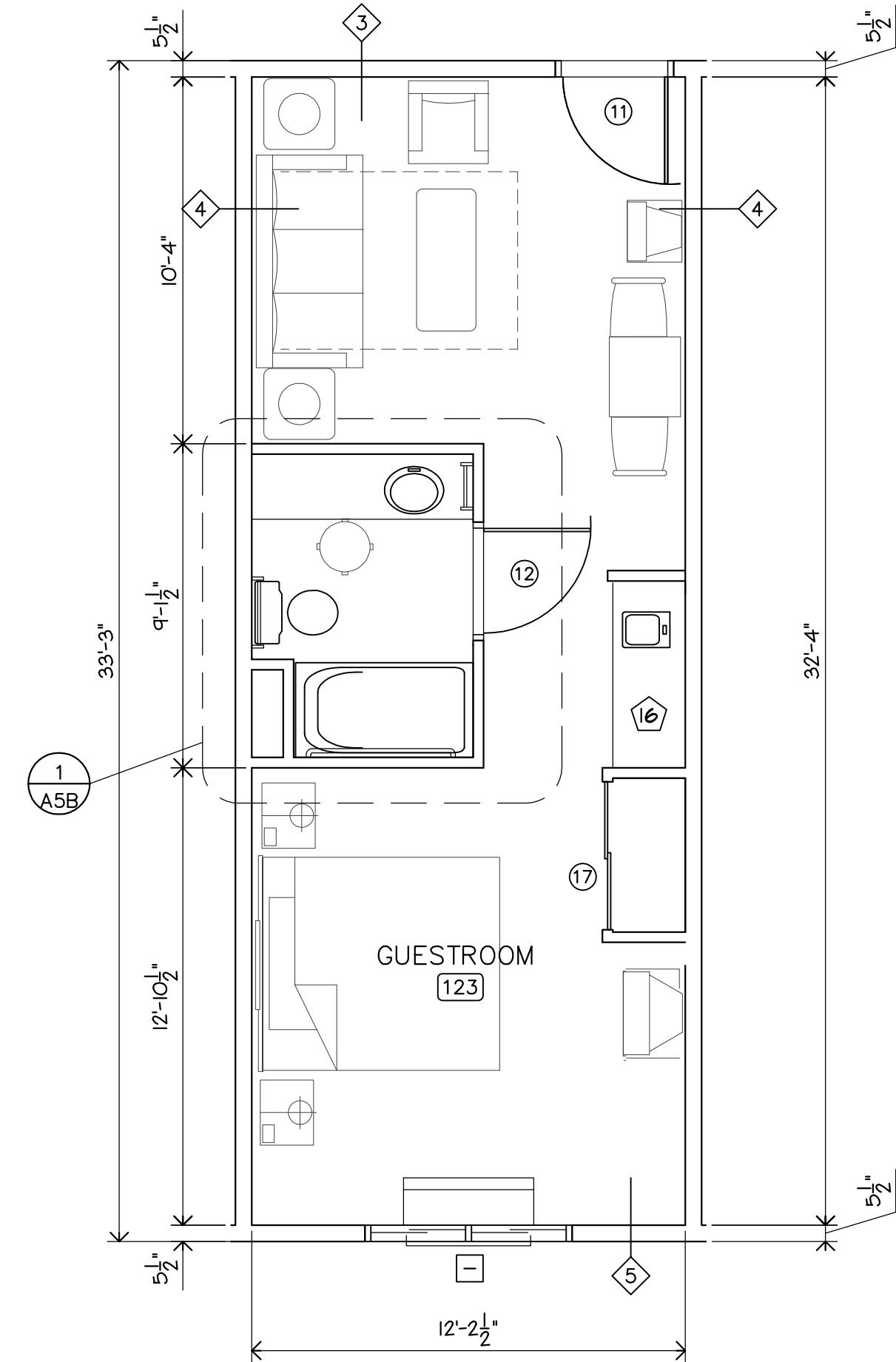
1 KING SUITE (KS)
A5 SCALE: 1/4" = 1'-0"



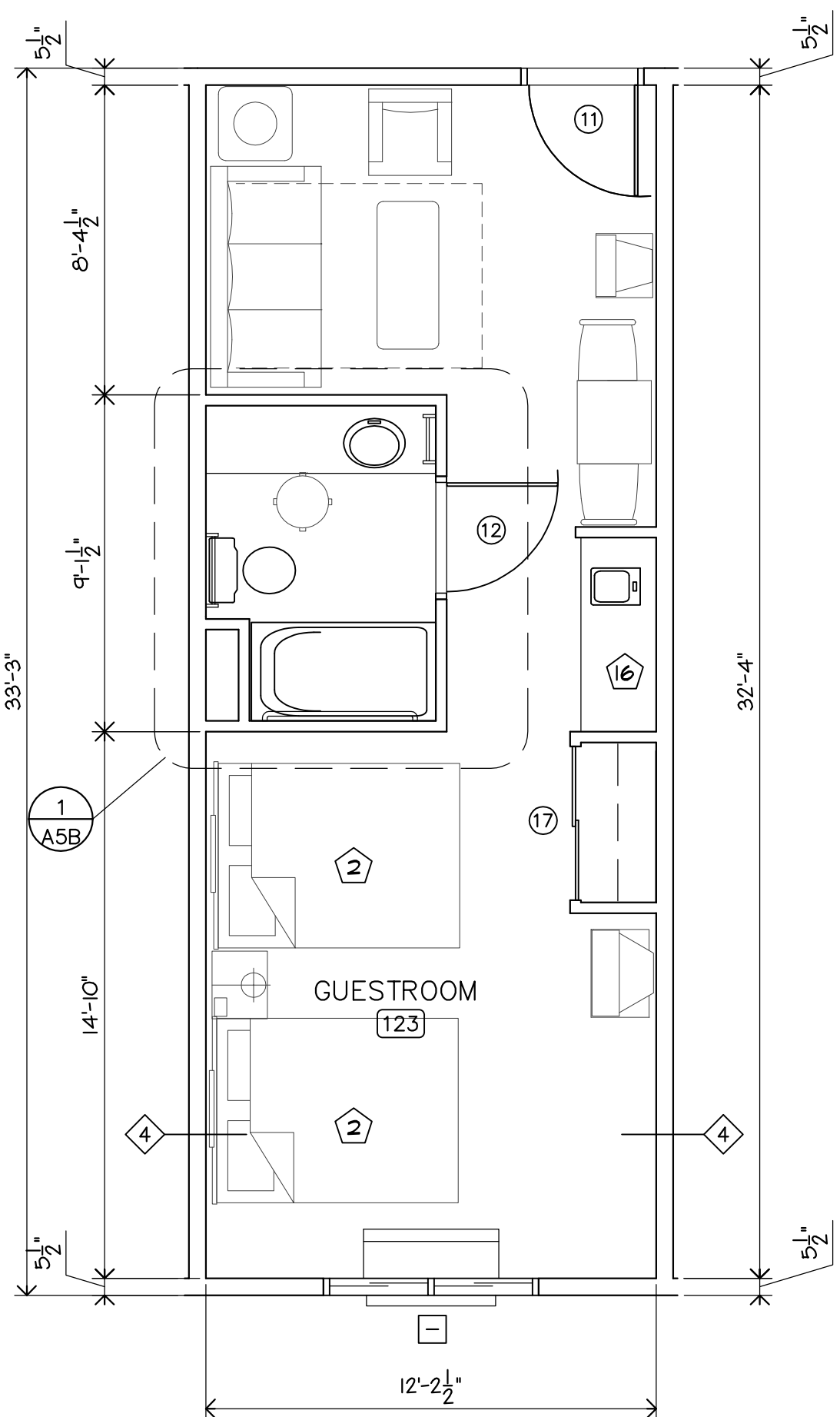
2 KING SUITE (KS2)
A5 SCALE: 1/4" = 1'-0"



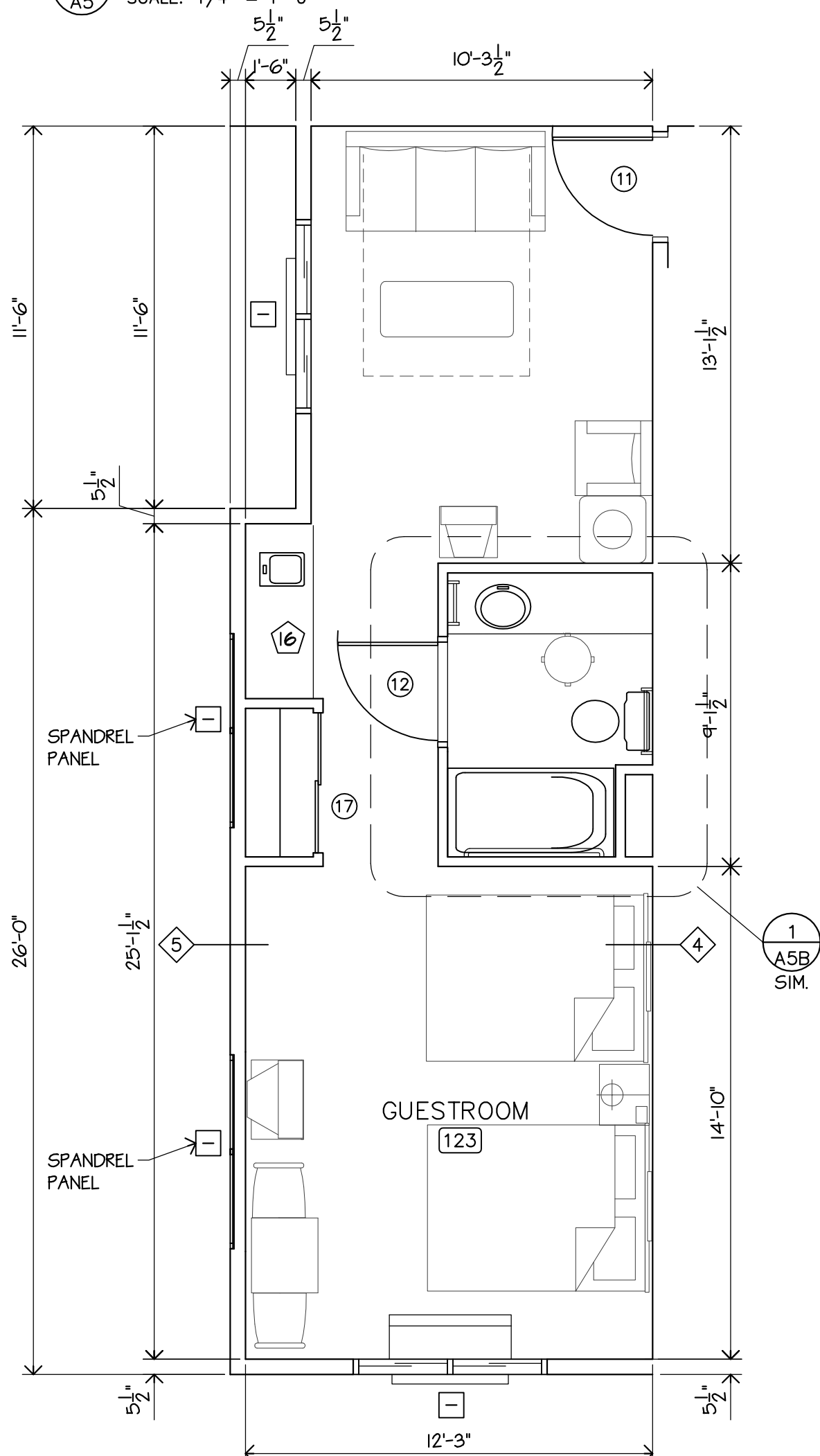
3 KING SUITE 3 (KS3)
A5 SCALE: 1/4" = 1'-0"



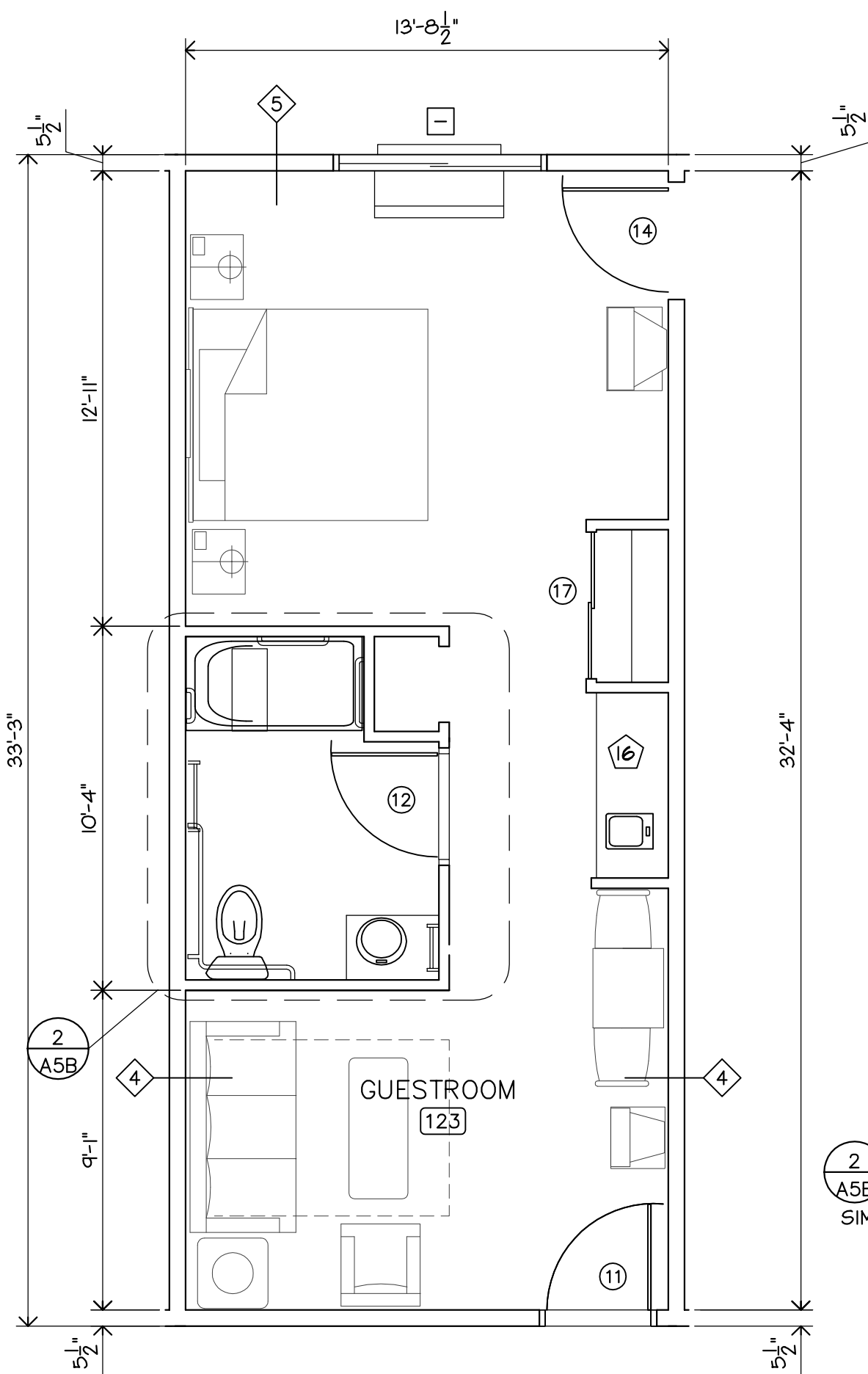
4 KING SUITE 4 (KS4)
A5 SCALE: 1/4" = 1'-0"



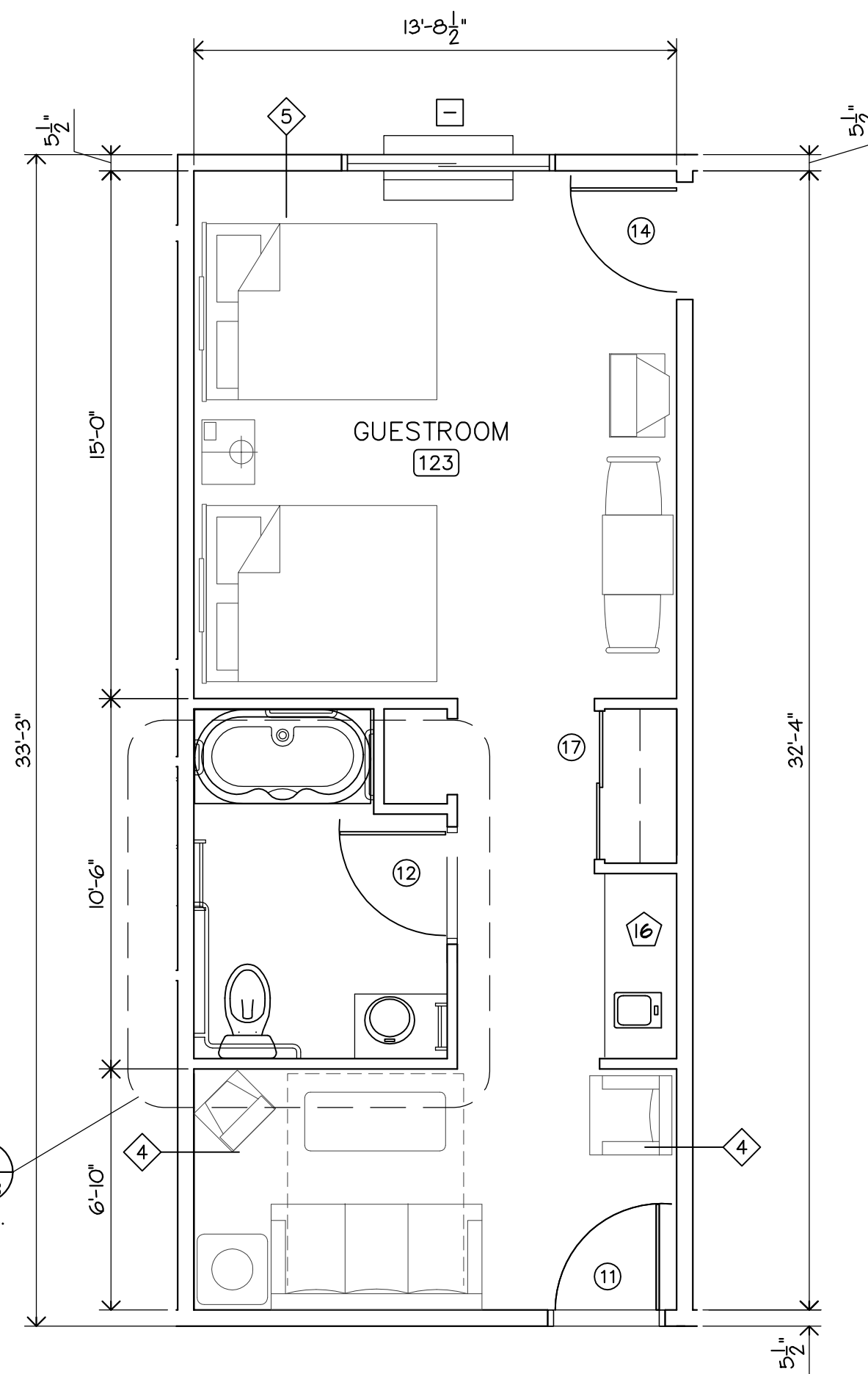
5 DOUBLE QUEEN SUITE (QQS)
A5 SCALE: 1/4" = 1'-0"



6 DOUBLE QUEEN SUITE 2 (QQS2)
A5 SCALE: 1/4" = 1'-0"



7 ACCESSIBLE KING SUITE (HKS)
A5 SCALE: 1/4" = 1'-0"

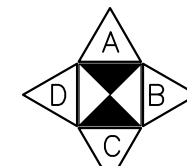


8 ACCESSIBLE DOUBLE QUEEN SUITE DELUXE (HQQS)
A5 SCALE: 1/4" = 1'-0"

FURNISHINGS LEGEND

- 1 KING BED
- 2 QUEEN BED
- 3 NIGHT STAND
- 4 FLOOR LAMP - PLUG WIRED
- 5 (NOT USED)
- 6 DESK CHAIR - 18"W x 22"D x 32"H
- 7 (NOT USED)
- 8 LUGGAGE BENCH - 36"W x 18"H x 22"D
- 9 TV ARMOIRE -
- 10 RECLINER OR LOUNGE CHAIR WITH OTTOMAN
- 11 LAMINATE COVERED SHELF - 12" D WITH 1 1/2" DIA. STAINLESS STEEL POLE - 2" SELF EDGED FRONT
- 12 COFFEE TABLE - 24"W x 16"H x 18"D (RECOMMENDED)
- 13 SOFA-SLEEPER - 64"W x 30"H x 35"D
- 14 END TABLE
- 15 TABLE LAMP - PLUG WIRED
- 16 GUEST ROOM WET BAR w/S.S. SINK & GRANITE COUNTER TOP OVER BASE CABINETS
- 17 WALL HVAC UNIT - REFER TO MECH. DWGS.
- 18 MARBLE THRESHOLD - REFER TO 7c/A11
- 19 RUBBER THRESHOLD
- 20 GRANITE VANITY TOP, SPLASH & SKIRT/CHINA BOWL. (REFER TO PLUMBING DWGS.)
- 21 TABLE

NOTE:
REFER TO DETAIL 1/A5 FOR
TYPICAL GUESTROOM FURN.
REFER TO GENERAL NOTE 6
FOR ANY DISCREPANCIES
FOUND



WALL ORIENTATION AND
INTERIOR ELEVATION INDEX
(REFER TO SHEETS
A15 & A15B)

GENERAL NOTES

- REFER TO SHEET A16 FOR BATHROOM ACCESSORIES SCHEDULE & MOUNTING LOCATION REQUIREMENTS (INTERIOR ELEVATIONS)
- SYMBOL INDICATES DOOR TYPE, REFER TO SHEET A9 FOR DOOR SCHEDULE INFORMATION.
- SYMBOL INDICATES WINDOW TYPE, REFER TO SHEET A9 FOR WINDOW SCHEDULE INFORMATION.
- PROVIDE WOOD BLOCKING OR OTHER SOLID ATTACHMENT MATERIAL BEHIND GYPSUM BOARD PARTITION FOR ATTACHMENT OF ALL FIXTURES, FITTINGS, AND ACCESSORIES. 9 A11
- GRAB BARS MUST BE ABLE TO RESIST A PULL FORCE OF 350 LBS. EXERTED AT ANY POINT IN ANY DIRECTION.
- VERIFY W/ OWNER FOR ANY & ALL FURNITURE, FIXTURES, & EQUIPMENT PLACEMENT PRIOR TO CONSTRUCTION.(MAY OR MAY NOT BE SHOWN ON THESE DRAWINGS)
- MIRROR ABOVE VANITY AND ACCESSIBLE SINKS IS TO BE SUPPORTED WITH A CONTINUOUS S.S. FULL WIDTH J-CHANNEL FASTENED TO WALL ABOVE BACKSPLASH.
- CLOTHES ROD ASSEMBLY TO HAVE SMALL DIAMETER HOOKS IN LIEU OF "PUZZLE TYPE" HANGERS.
- GRANITE VANITY TOP TO HAVE GLOSS FINISH TO MATCH TUB SURROUND.
- ALL ELEC. OUTLETS ARE TO BE PREFINISHED STD. IVORY COLOR.
- PROVIDE GRANITE TUB SURROUND WITH 2"x 1" THICK GRANITE CLOSURE STRIP
- FURNITURE LAYOUT DIMENSIONS ARE FROM THE FACE OF FINISH
- ALL DIMENSIONS ARE TO THE FACE OF STUDS (U.N.O.)
- REFER TO SHEET S2, S2A, S2B, S2C, & S2D FOR SHEAR WALL LOCATIONS.
- REFER TO SHEET A9 FOR FINISH LEGEND.
- PROVIDE WOOD BLOCKING IN CEILING FOR DRAPERY RODS AT WINDOWS WHERE REQUIRED. PROVIDE WOOD BLOCKING BETWEEN STUDS FOR WALL MOUNTED DOOR BUMPERS BEHIND ALL DOORS - REFER TO 9/A11
- REFER TO SHEET A1, A2, A2B & A2C FOR ROOM NUMBERS
- REFER TO DETAIL 7c/A11 FOR MARBLE THRESHOLD REQUIREMENTS @ GUESTBATH DOOR
- REFER TO SHEET A15, A15B, AND A16 FOR TYPICAL GUEST ROOM & BATHROOM INTERIOR ELEVATIONS
- SYMBOL INDICATES WALL TYPE - SEE SHEET A10 FOR DETAILED DESCRIPTION