North Housing, Block A 520 Mosley Avenue Alameda, CA 94501

APN: 74-905-12-9



PROJECT DIRECTORY

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Tommy Siu & Associates

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Attn: Michael J Voigtlander

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Island City Development

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CIVIL ENGINEER

Principal

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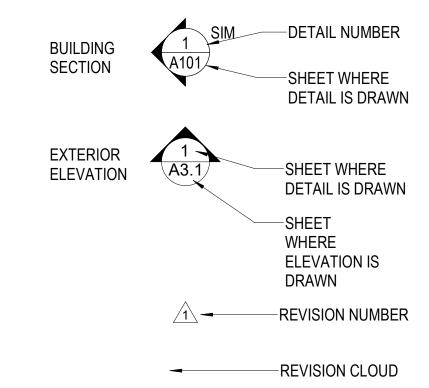
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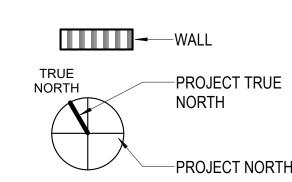
LANDSCAPE ARCHITECT

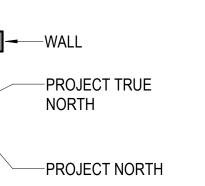
PGA Landscape Architects, Attn: Karen Krolewski, Principal Tel: (510) 550 8858

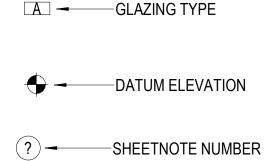
Email: krolewski@pgadesign.com

ARCHITECTURAL SYMBOLS









WINDOW / LOUVER

TYPE

■ ROOM NUMBER

A WALL TYPE

√ 101 → DOOR NUMBER

DEVELOPMENT WILL BE DEVELOPED IN THREE PHASES. THE TWO BUILDINGS ALONG MOSLEY AVENUE WILL PROVIDE NINETY-ONE (91) UNITS OF PERMANENT SUPPORTIVE HOUSING (PSH), IF IT WAS ONE SINGLE BUILDING. THE U-SHAPED BUILDING WILL DEFINE A GENEROUS CENTRAL COURTYARD THAT INCLUDES A BARBECUE. A PATIO FOR GATHERINGS. AND RELAXATION AND BUILDING WITH A COURTYARD TO THE WEST FOR GATHERINGS AND GROUP ACTIVITIES, WITH APPROXIMATELY 48,000 SQUARE FEET IN GROSS AREA.

THESE PROJECT DOCUMENTS ARE FOR THE PSH PHASE 2 ADDITION OF 33,196 SQUARE FEET CONSTRUCTION TO ACCOMMODATE FORTY-FOUR (46) UNITS. THE PROJECT LOCATION IS AT INCLUDE A FENCED COMMUNAL COURTYARD AND DOG RUN. PARKING IS LOCATED ON AN SHARED EXTERIOR LOT WITHIN PROJECT BOUNDS AND ON THE PRIVATE STREET LAKEHURST

PROJECT DATA

SUMMARY OF WORK

ALAMEDA ZONING PROJECT ADDRESS: 520 MOSLEY AVENUE, ALAMEDA, CA 94501 **PROJECT LEGAL PARCELS: APN NOS:** APN: 74-905-12-9 PERMANENT SUPPORTIVE HOUSING PROJECT DESCRIPTION: **ZONING:** GENERAL PLAN LAND USE: MEDIUM DENSITY RESIDENTIAL, R4-PD WITH MULTI-FAMILY OVERLAY SITE AREA: (1.84 ACRES) ALLOWABLE/ REQUIRED **PROPOSED BUILDING HEIGHT: DENSITY:** 155 UNITS 155 UNITS 40% (32.100 SQ.FT / 80.150 SQ.FT*100) 1.69 FAR LOT COVERAGE: 80% MAX 75 SQ.FT/UNIT PSH COURTYARD = 7,780 SF **COMMON OPEN SPACE:** SENIOR YARD=

TOTAL = **LOT DEPTH** 307'-8" (MIN. 50') LOT WIDTH SETBACKS: MOSLEY AVE. MABUHAY ST. LAKEHURST CIRCLE

45 UNITS

46 UNITS

64 UNITS

PARKING: CAR PARKING 0.25/UNIT FOR PSH, 0.5/UNIT FOR SENIORS 57 SPACES (OF WHICH 3 REQUIRED TO BE ADA) ADA SPACES 3 SPACES, MIN. 1 VAN ACCESSIBLE. 3 SPACES TOTAL, 1 VAN ACCESSIBLE **ELECTRIC VEHICLE** 5 SPACES 5 SPACES **BIKE PARKING** LONG-TERM 1,550 SPACES 1,119 SF FOR PSH / 700 SF FOR SENIOR (10SF/UNIT SECURE) SHORT-TERM 18 SPACES 18 BIKE PARKING SPACES (6/ > 40 UNITS)

UNIT TOTALS: PSH 1 PSH 2

PSH 2 - UNIT COUNTS Unit Type | Avg. Unit Net Area | Avg. Unit Gross Area | HVI Count | Mobility Count | LEVEL 1 - TOS STUDIO 409 SF 400 SF 600 SF 605 SF LEVEL 1 - TOS: 9 LEVEL 2 - TOS STUDIO 409 SF 400 SF 605 SF 600 SF LEVEL 2 - TOS: 11 **LEVEL 3 - TOS: 13** LEVEL 4 - TOS STUDIO 409 SF LEVEL 4 - TOS: 13 TOTAL: 46

VICINITY MAP

PSH 2 PHASE

PERMIT SET - 09/23/22



UTILITIES

6,550 SF

14,330 SF

SANITARY SEWER: CITY OF ALAMEDA (COLLECTION) EBMUD (TREATMENT AND TRANSMISSION) CITY OF ALAMEDA / PRIVATE ON - SITE STORM DRAIN: WATER: EAST BAY MUNICIPAL UTILITY DISTRICT (EBMUD) **ELECTRIC:** ALAMEDA MUNICIPAL POWER (AMP) NOT AVAILABLE PER ALAMEDA CODE GAS: TELEPHONE: AT&T CABLE TV: COMCAST

FIRE PROTECTION DISTRICT

CITY OF ALAMEDA FIRE DEPARMENT

APPLICABLE CODES & STANDARDS

2019 CALIFORNIA BUILDING CODE 2019 CALIFORNIA MECHANICAL CODE 2019 CALIFORNIA ELECTRICAL CODE 2019 CALIFORNIA PLUMBING CODE

2019 CALIFORNIA FIRE CODE 2019 CALIFORNIA ENERGY CODE/BUILDING ENERGY EFFICIENCY STANDARDS

2019 CALIFORNIA GREEN BUILDING CODE (CALGreen) TITLE 19, CALIFORNIA CODE OF REGULATIONS TITLE 24, CALIFORNIA CODE OF REGULATIONS ALL ABOVE AS MODIFIED BY THE ALAMEDA MUNICIPAL CODE 2010 AMERICAN DISABILITIES ACT ACCESSIBILITY GUIDELINES

SUMMARY OF DEFERRED APPROVAL / **DESIGN-BUILD ITEMS**

SEE GENERAL NOTE 13

FIRE SPRINKLER: NFPA 13

FIRE ALARM: NFPA 72

EMERGENCY RESPONDER RADIO COVERAGE SYSTEM (ERRCS) **EMERGENCY EVACUATION MAPS**

WINDOW SUN SHADE AWNINGS

PHOTOVOLTAIC PANELS

North Housing, Block A

PSH PHASE 2

520 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO. 19009 **DRAWN** Author CHECKED Checker JOB CAPTAIN Approver

ISSUE DESCRIPTION 2 | 12/8/21 | SD SET 7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE PSH 2 - COVER

SCALE 1/4" = 1'-0"



GENERAL NOTES

- 1. BUILDNG IS TO BE FULLY SPRINKLERED IN ACCORDANCE WITH NFPA 13, ALL FIRE PROTECTION 14. PER CFC SECTION 510, ALL BUILDINGS SHALL HAVE APPROVED SYSTEMS (I.E. UNDERGROUND FIRE SERVICE, FIRE SPRINKLER, AND FIRE ALARM) REQUIRE RADIO COVERAGE FOR EMERGENCY RESPONDERS WITHIN THE SEPARATE FIRE PERMIT PRIOR TO INSTALLATION. BUILDING. UPON COMPLETION OF THE BUILDING CONSTRUCTION
- . UNLESS OTHERWISE INDICATED, ALL PLAN DIMENSIONS ARE TO FACE OF STUD (F.O.S.) FACE OF MASONRY (C.M.U.), FACE OF CONCRETE, OR GRID
- 3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES
- 4. FIGURED DIMENSIONS SHALL TAKE PRECEDENCE OF SCALED DIMENSIONS
- 5. PROVIDE AND VERIFY SIZE AND LOCATION OF THE FOLLOWING: ACCESS DOORS, OPENINGS, FURRINGS, ANCHORS, INSERTS AND BLOCKING REQUIRED FOR ACCESSORIES AND MECHANICAL AND ELECTRICAL EQUIPMENT.
- 6. VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT PROVIDED IN THE CONTRACT.
- 7. MAINTAIN FIRE-RATING BEHIND FIXTURES OR EQUIPMENT RECESSED IN FIRE-RATED ASSEMBLIES.
- 8. WORK INDICATED "N.I.C." OR "NOT IN CONTRACT" WILL BE PROVIDED BY THE OWNER OR UNDER SEPARATE CONTRACT. COORDINATE CONTRACT WORK WITH ALL N.I.C. WORK, OWNER-SUPPLIED EQUIPMENT, ETC.
- 9. WHERE DOOR IS LOCATED NEAR THE CORNER OF A ROOM, AND IS NOT LOCATED BY PLAN DIMENSION OR DETAIL, DIMENSIONS SHALL BE 4-INCHES FROM F.O.S. TO FINISHED DOOR OPENING.
- 10. REPETITIOUS FEATURES ARE NOT DRAWN IN THEIR ENTIRETY AND SHALL BE COMPLETELY PROVIDED AS IF DRAWIN IN FULL.
- 11. ALL ACCESS DOORS IN FIRE RATED CEILINGS AND WALLS TO BE RATED TO COMPLY WITH THE FIRE RATING OF THE CEILING OR WALL AS REQUIRED AND TO BE UL-LABELED.
- 12. SEAL ALL PENETRATIONS IN FIRE RATED ASSEMBLIES, OFF SET ITEMS WHICH ARE BACK-TO-BACK. PROVIDE FIRESTOPPING AT ALL THROUGH PENETRATION AND MEMBRANE PENETRATIONS OF FIRE RATED WALLS (I.E. PARTY, BEARING, CORRIDOR, AREA FIRESTOP MATERIALS SHALL BE U.L. CLASSIFIED FOR THE TYPE AND SIZE OF VOID TO BE FIRESTOPPED AND SHALL NOT BE LESS THAN REQUIRED FIRE RESISITANCE RATING OF THE ASSEMBLY PENETRATED. PENETRATIONS IN NON-BEARING WALLS WITHIN RESIDENTIAL UNITS NEED NOT BE FIRE-STOPPED
- 13. ALL DEFERRED SUBMITTALS SHALL FIRST BE SUBMITTED TO THE ARCHITECT AND/OR ENGINEER FOR REVIEW AND COORDINATION. FOLLOWING THE COMPLETION OF ARCHITECT / ENGINEER REVIEW AND COORDINATION, A SUBMITTAL TO THE CITY OF ALAMEDA SHALL BE MADE (FOR CITY REVIEW AND APPROVAL), WHICH SHALL INCLUDE A LETTER STATING THAT REVIEW AND COORDINATION HAS BEEN PERFORMED AND COMPLETED AND PLAN AND CALCULATIONS FOR THE DEFERRED ITEMS ARE FOUND TO BE ACCEPTABLE (E.G. WITH REGARDS TO GEOMETRY, LOAD CONDITIONS, ETC.) WITH NO EXCEPTIONS.

- 14. PER CFC SECTION 510, ALL BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS WITHIN THE BUILDING. UPON COMPLETION OF THE BUILDING CONSTRUCTION, A RADIO COVERAGE TEST SHALL BE CONDUCTED PER THE APPLICABLE CODES AND STANDARDS, AND IF THE TEST FAILS, AN EMERGENCY RESPONDERS RADIO COVERAGE SYSTEM (ERRCS) SHALL BE INSTALLED.
- 15. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CFC CHAPTER 33 FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION AND CFC CHAPTER 35 WELDING AND OTHER HOT WORK.
- 16. PROVIDE TEMPORARY STANDPIPES FOR FIRE PROTECTION DURING CONSTRUCTION PER SFBC SECTION 905.2
- 17. CONSTRUCTION HOURS ARE LIMITED TO 7:00 AM TO 7:00 PM MONDAY THROUGH FRIDAY AND 8:00 AM TO 5:00 PM ON SATURDAYU, NLESS A PERMIT IS FIRST SECURED FROM THE CITY MANAGER OR DESIGNEE BASED UPON A SHOWING OF SIGNIFICANT FINANCIAL HARDSHIP.. NO CONSTRUCTION ACTIVITIES ARE PERMITTED ON SUNDAY AND HOLIDAYS.
- 18. IF CONSTRUCTION ACTIVITIES, INCLUDING TREE PRUNING, TREE REMOVAL, GROUND DISTURBING ACTIVITIES, OR CONSTRUCTION ACTIVITIES COMMENCE BETWEEN FEBRUARY 1 AND AUGUST 31, THE FOLLOWING STUDIES SHALL BE CONDUCTED:

A QUALIFIED BAT BIOLOGIST.

- a. A PRE-CONSTRUCTION SURVEY FOR BATS SHALL BE PERFORMED NOT MORE THAN 7 DAYS PRIOR TO THE START OF THESE ACTIVITIES. THE PRE-CONSTRUCTION SURVEY SHALL BE CONDUCTED BY
- b. A PRE-CONSTRUCTION SURVEY OF THE OPEN
 GRASSLAND AREAS AND TREES FOR NESTING BIRDS
 (MIGRATORY BIRDS AND RAPTORS) SHALL BE
 PERFORMED NOT MORE THAN 10 DAYS PRIOR TO
 THE START OF THESE ACTIVITIES. THE PRECONSTRUCTION SURVEY SHALL BE CONDUCTED BY
 A QUALIFIED AVIAN BIOLOGIST.
- 19. PROTECT BUILDING MATERIALS DELIVERED TO THE CONSTRUCTION SITE FROM RAIN AND OTHER SOURCES OF MOISTURE.

UNIT MATRIX

UNIT TYPE SA

LEVEL 1 - TOS

LEVEL 2 - TOS

LEVEL 3 - TOS

LEVEL 4 - TOS

PSH 2 - UNIT	Γ MATRIX	PSH 2 - UNIT MA	ATRIX
Count HVI	Mobility	Count HVI	Mobility
UNIT TYPE 1A		UNIT TYPE SA.R	
LEVEL 1 - TOS		LEVEL 1 - TOS	
1		1 YES	
LEVEL 2 - TOS		LEVEL 2 - TOS	
1		1	
1		LEVEL 3 - TOS	
LEVEL 3 - TOS		1	
1		1	
1		LEVEL 4 - TOS	
LEVEL 4 - TOS		1	
1			
1		UNIT TYPE SB	
		LEVEL 1 - TOS	
UNIT TYPE 1A.1		1	11B
LEVEL 3 - TOS		1	11B
1		LEVEL 2 - TOS	
LEVEL 4 - TOS		1	
1		1	
'		LEVEL 3 - TOS	
UNIT TYPE 1A.2		1 YES	
LEVEL 1 - TOS		1	
1		LEVEL 4 - TOS	
LEVEL 2 - TOS		1	
1	11B	I	
LEVEL 3 - TOS	TID	UNIT TYPE SB.R	
1 YES		LEVEL 1 - TOS	
LEVEL 4 - TOS		1	11B
		·	IID
1		LEVEL 2 - TOS	
LINUT T) (DE 4D		1 YES	
UNIT TYPE 1B		LEVEL 3 - TOS	115
LEVEL 1 - TOS		1	11B
1	11B	LEVEL 4 - TOS	
LEVEL 2 - TOS		1	
1		1 YES	
LEVEL 3 - TOS			
1	11B	UNIT TYPE SC	
LEVEL 4 - TOS		LEVEL 2 - TOS	
1		1	11B
<u> </u>		LEVEL 3 - TOS	
UNIT TYPE 1B.1		1	
LEVEL 1 - TOS		LEVEL 4 - TOS	
1	11B	1	
LEVEL 2 - TOS		Grand total: 46	
1 YES		• •	
LEVEL 3 - TOS			
1			
LEVEL 4 - TOS			
1			

ABBREVIATIONS

&	AND	GYP. C.	GYPSUM CONCRETE	R.W.L.	RAIN WATER LEADER (PIPE)
{ @	ANGLE AT	G.A.	GYPSUM ASSOCIATION	S	SOUTH
CL	CENTERLINE	H.B.	HOSE BIBB	SAF	SELF-ADHERED FLASHING
0	DIAMETER OR ROUND CHANNEL	H.C. HDWD.	HOLLOW CORE HARDWOOD	SAHT	SELF-ADHERED HIGH TEMPERATURE
L	PERPENDICULAR	HDWE.	HARDWARE	S.A.P.	SUSPENDED ACOUSTICAL
# (E)	POUND OR NUM1BER EXISTING	H.M. HORIZ.	HOLLOW METAL HORIZONTAL	SASM.	PANEL SELF-ADHERED SHEET
(F)	FUTURE	H.P.	HEAT PUMP	C C D	MEMBRANE
(N)	NEW DEMOVED	HR.	HOUR	S.C.D.	SEE CIVIL DOCUMENTS/SEAT COVER DISPENSER
(R)	REMOVED	HS. HT.	HEAT STRENGTHENED HEIGHT	SCHED. S.C.WD.	SCHEDULE SOUD CORE WOOD
A.B.	ANCHOR BOLT			S.C.WD. S.D.	SOLID CORE WOOD SOAP DISPENSER
ABV. A.C.	ABOVE ASPHALT CONCRETE	I.D. I.D.F.	INSIDE DIAMETER INTERMEDIATE DIST. FRAME	SECT.	SECTION
A/C	AIR CONDITIONING	IGU.	INSULATED GLAZING UNIT	S.E.D.	SEE ELECTRICAL DOCUMENTS
ACOUS. AC.T.	ACOUSTICAL ACOUSTICAL TILE	INSUL. INT.	INSULATION INTERIOR	S.FP.D.	SEE FIRE PROTECTION DOCUMENTS
A.D.	AREA DRAIN		THE THORY	SH.	SHELF
ADJ. A.F.F.	ADJUSTABLE ABOVE FINISH FLOOR	JAN. JT.	JANITOR JOINT	SHT. SHT'G.	SHEET SHEATHING
AGGR.	AGGREGATE	JI.	JOHNI	SHTG.	SHEATHING
ALT.	ALTERNATE	KIT.	KITCHEN	SHWR.	SHOWER
AL./ ALUM. APPROX.	ALUMINUM APPROXIMATE	LAB.	LABORATORY	SIM. S.L.D.	SIMILAR SEE LANDSCAPE
ARCH.	ARCHITECTURAL	LAM.	LAMINATE		DOCUMENTS
BD.	BOARD	LAV. LKR.	LAVATORY LOCKER	S.M.D.	SEE MECHANICAL DOCUMENTS
BITUM.	BITUMINOUS	LT.	LIGHT	S.N.D.	SANITARY NAPKIN DISPENSER
BLDG.	BUILDING BLOCK	LTWT.	LIGHTWEIGHT	S.N.R.	SANITARY NAPKING RECEPTACLE
BLK. BM.	BLOCK BEAM	MAX.	MAXIMUM	SPEC.	SPECIFICATIONS
BOT.	ВОТТОМ	M.B.	MACHINE BOLT	S.P.D. SQ.	SEE PLUMBING DOCUMENTS SQUARE
BSW. BTWN.	BACK OF SIDEWALK BETWEEN	M.C. MECH.	MEDICINE CABINET MECHANICAL	S.S.	STAINLESS STEEL
וע איז ע.	DE I VVEEIN	MECH. MEMB.	MECHANICAL MEMBRANE	S.S.D.	SEE STRUCTURAL DOCUMENTS
CAB.	CATCH BASIN	MET.	METAL	S.SK.	SERVICE SINK
C.B. CEM.	CATCH BASIN CEMENT	MFR. MH.	MANUFACTURER MANHOLE	STA.	STATION
CEM. PLA.	CEMENT PLASTER	MIN.	MINIMUM	STD. STL.	STANDARD STEEL
CER.	CERAMIC	MIR.	MIRROR	STOR.	STORAGE
CFS CI	COLD FORMED STEEL CAST IRON	MISC. MR.	MISCELLANEOUS MOISTURE RESISTANT	STRL.	STRUCTURAL
C.J.	CONTROL JOINT	MTD.	MOUNTED	STRUCT. SUSP.	STRUCTURAL SUSPENDED
CLG. CLKG.	CEILING CAULKING	MUL.	MULLION.	SYM.	SYMMETRICAL
CLO.	CLOSET	N.	NORTH	T.	TILE
CLR.	CLEAR	N.I.C.	NOT IN CONTRACT	T.B.	TOWEL BAR
CMU. COL.	CONC. MASONRY UNIT COLUMN	NO. NOM.	NUMBER NOMINAL	T.BD.	TACKBOARD
CONC.	CONCRETE	N.T.S.	NOT TO SCALE	TEL. THK.	TELEPHONE THICK (THICKNESS)
CONN. CONSTR.	CONNECTION CONSTRUCTION	0/	OVER	T.O.C.	TOP OF CURB/TOP OF
CONSTR.	CONTINUOUS	O/ O.A.	OVERALL	T.O.S.	CONCRETE TOP OF SLAB
CNTR.	COUNTER	O.C.	ON CENTER	T.O.P.	TOP OF PAVEMENT
CT. CTR.	CERAMIC TILE CENTER	O.D. O.F.D.	OUTSIDE DIAMETER (DIM.) OVERFLOW DRAIN	T.O.W.	TOP OF WALL
CTSK.	COUNTERSUNK	OFF.	OFFICE	T.P.D TRD.	TOILET PAPER DISPENSER TREAD
DDI	DOUBLE	O.P.C.	OAKLAND, CA PLANNING CODE	TV.	TELEVISION
DBL. DEPT.	DOUBLE DEPARTMENT	OPNG.	OPENING	TYP. T.W.B.	TYPICAL TACKABLE WALLBOARD
DET.	DETAIL	OPP.	OPPOSITE	T & G	TONGUE AND GROOVE
D.F. D.FIR	DRINKING FOUNTAIN DOUGLAS FIR	P.D.F.	POWER DRIVEN FASTENER	11.0.0	
DIA.	DIAMETER	PERF.	PERFORATED	U.B.C. U.L.	UNIFORM BUILDING CODE UNDERWRITERS
DIM.	DIMENSION	PL. P.LAM	PLATE PLASTIC LAMINATE		LABORATORIES
DIST. DN.	DISTANCE DOWN	PLAS.	PLASTIC	U.O.N. UR.	UNLESS OTHERWISE NOTED URINAL
DR.	DOOR	PLYWD.	PLYWOOD		
DS. DWG.	DOWNSPOUT DRAWING	PR. PRCST.	PAIR PRE-CAST	VCT. VERT.	VINYL COMPOSITION TILE VERTICAL
DWR.	DRAWER	PREFAB.	PRE-FABRICATED	VERT.	VESTIBULE
г ^		PT. PTD.	POINT PAINTED	V.G.	VERTICAL DRAIN
F.A. F.B.	FIRE ALARM FLAT BAR	PTN.	PARTITION	V.W.C.	VINYL WALL COVERING
F.C.C.	FIBER CEMENT CLADDING PANEL	P.T.R. PVDR.	PAPER TOWEL RECEPTACLE FLUOROPOLYMETER (POLY	W.	WEST
F.D.	FLOOR DRAIN	ı VUIN.	VINYLIDENE FINISH SÝSTEM	W/ W.C.	WITH WATER CLOSET
FDN.	FOUNDATION		FLUORIDE)	WD.	WOOD
F.E. F.E.C.	FIRE EXTINGUISHER FIRE EXTINGUISHER CAB.	R.	RISER	W/O	WITHOUT WHERE OCCURS
F.H.C.	FIRE HOSE CABINET	PAD.	RADIUS	W.O. WP.	WHERE OCCURS WATERPROOF
F.H.W.S.	FLATHEAD WOOD SCREW	RAT. RCP.	RATING REFLECTED CEILING PLAN		(WEATHERPROOF)
FIN FL./FLR.	FINISH FLOOR	REQ.	REQUIREMENTS	WP'G	WATERPROOFING (WHEATERPROOFING)
FLASH.	FLASHING	R.D. REF.	ROOF DRAIN REFERENCE/REFRIGERATOR	WPMB.	WATERPROOF MEMBRANE
FLUOR. F.O.C	FLUORESCENT FACE OF CONCRETE/ FACE	REF. RGTR.	REGISTER	WRB.	WEATHER RESISTIVE BARRIER
	OF CURB	REINF.	REINFORCED	WSCT.	WAINSCOT
F.O.F. F.O.S.	FAVE OF FINISH FACE OF STUD	REQ'D RET.	REQUIRED RETARDANT	WT.	WIGHT
F.O.S. FPRF.	FIREPROOF	RESIL.	RESILIENT.	OF/OI	FURNISHED BY OWNER,
F.R.C.B.	FIBER REINF. CONC. BD.	RM.	ROOM ROUGH OPENING		INSTALLED BY OWNER (EQUIVALENT TO N.I.C.)
F.R.P. FRT.	FIBER REINF. PLASTIC FIRE RETARDANT TREATED	R.O. RTD.	ROUGH OPENING RATED	OF/CI	FURNISHED BY OWNER,
F.S.	FULL SIZE	RWD.	REDWOOD	CF/CI	INSTALLED BY CONTRACTOR FURNISHED AND INSTALLED
F.S.#	FINISH SYSTEM NUMBER				BY CONTRACTOR
FT. FTG.	FOOT OR FEET FOOTING			OS/SI	FURNISHED AND INSTALLED UNDER SEPARATE
FURR.	FURRING				CONCURRENT
GA.	GAUGE				OWNER-CONTRACTOR AGREEMENT.
GA. GALV.	GALVANIZED				DEDICAGO ANTE DE S
G,B,	GYPSUM BOARD				PERIODS ARE NOT A NECESSARY CHARACTER IN
G.BAR. G.I.	GRAB BAR GALVANIZED IRON				ABBREVIATIONS AND MAY OR MAY NOT BE USED WITH NO
GL.	GLASS				CHANGE TO THE MEANING.
GND. GR.	GROUND GRADE				
GSM	GALVANIZED SHEET METAL				

RCHITEC

538 NINTH STREET SUITE 240 • OAKLA T 510 625 9800 • F 510 625 9801 • WW



North Housing, Block A

PSH PHASE 2

520 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO. 19009

DRAWN Author
CHECKED Checker

Approver

JOB CAPTAIN ISSUE

DATE DESCRIPTION
7 09/29/22 PERMIT SUBMITTAL

PSH 2 - GENERAL NOTES, ABBREVIATIONS AND UNIT DATA

SCALE 1/4" = 1'-0"

GO.21
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02 Landscape	e
L01	LANSCAPE PLAN OVERALL & GENERAL NOTES
L02	LANDSCAPE PLANT LISTS & NOTES
L-1	PSH 2 - LANDSCAPE MATERIALS PLAN
L-2	PSH 2 - LANDSCAPE LAYOUT PLAN
L-3	PSH 2 - PLANTING PLAN
LD1	DETAILS - PAVING
LD2	DETAILS - STAIRS & ENTRY RAMPS
LD3	DETAILS - FENCING
LD5	DETAILS - SITE FURNISHINGS
LD6	DETAILS PLANTING
LD-2	DETAILS - PHASE 2

02 Landscape: 11

02.1 Irriga		
I-3.1	PSH 2 - IRRIGATION NOTES AND LEGEND	
I-3.2	PSH 2 - IRRIGATION DETAILS	
I-3.3	PSH 2 - IRRIGATION PLAN	

03 Joint Trench

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JT5 JOINT TRENCH COMPOSITE PLAN
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03 Joint Trench: 1

04 Architectu	re
A1.1	SITE PLAN
04 Architectu	re: 1
04.0 DCII.0 D	
04.2 PSH 2 P A2.20D	PSH 2 - 1ST FLOOR PLAN - DEMOLITION
A2.21	PSH 2 - 1ST FLOOR PLAN
A2.21S	PSH 2 - 1ST FLOOR SLAB PLAN
A2.22	PSH 2 - 2ND FLOOR PLAN
A2.23 A2.24	PSH 2 - 3RD FLOOR PLAN PSH 2 - 4TH FLOOR PLAN
A2.24 A2.25	PSH 2 - ROOF PLAN
A3.20	PSH 2 - BUILDING SECTIONS
A3.21	PSH 2 - BUILDING SECTIONS
A3.22	PSH 2 - WALL SECTIONS
A3.23	PSH 2 - WALL SECTIONS PSH 2 - EXTERIOR ELEVATIONS
A3.24 A3.25	PSH 2 - EXTERIOR ELEVATIONS PSH 2 - EXTERIOR ELEVATIONS
A3.26	PSH 2 - BUILDING ELEVATIONS
A4.20	PSH 2 - ENLARGED COMMUNITY ROOM
A4.21	PSH 2 - ENLARGED UNIT PLANS
A5.20	PSH 2 - ENLARGED KITCHEN PLANS & ELEVATIONS
A5.21	PSH 2 - ENLARGED MOBILITY KITCHEN PLANS & ELEVATIONS PSH 2 - ENLARGED BATHROOM PLANS & ELEVATIONS
A5.22 A5.23	PSH 2 - ENLARGED BATHROOM PLANS & ELEVATIONS PSH 2 - ENLARGED BATHROOM PLANS & ELEVATIONS
A5.24	PSH 2 - ENLARGED BATHROOM PLANS & ELEVATIONS
A5.25	PSH 2 - CORRIDOR UNITS ELEVATIONS
A5.26	PSH 2 - CORRIDOR UNITS ELEVATIONS
A5.27	PSH 2 - BIKE PARKING ELEVATIONS
A6.21 A6.22	PSH 2 - 1ST FLOOR REFLECTED CEILING PLAN PSH 2 - 2ND FLOOR REFLECTED CEILING PLAN
A6.23	PSH 2 - 3RD FLOOR REFLECTED CEILING PLAN
A6.24	PSH 2 - 4TH FLOOR REFLECTED CEILING PLAN
A7.20	PSH 2 - STAIR PLANS AND SECTIONS
A7.21	PSH 2 - ENLARGED EXTERIOR STAIRS
A7.22	PSH 2 - ELEVATOR PLANS AND SECTIONS
A8.00 A8.21	EXTERIOR WALL TYPES & HORIZONTAL ASSEMBLIES EXTERIOR WALL DETAILS
A8.22	EXTERIOR WALL DETAILS EXTERIOR WALL DETAILS
A8.23	PSH 2 - EXTERIOR WINDOW SHADE ENLARGED PLANS AND
	ELEVATIONS
A8.30	ROOF DETAILS
A8.31 A8.40	ROOF DETAILS EXTERIOR WINDOW DETAILS
A8.41	EXTERIOR WINDOW DETAILS EXTERIOR LOUVER & SUNSHADE DETAILS
A8.50	EXTERIOR DOOR DETAILS
A8.51	EXTERIOR STOREFRONT DETAILS
A8.61	OPENING FLASHING DETAILS
A9.00	INTERIOR WALL TYPES
A9.10 A9.11	INTERIOR DETAILS INTERIOR DETAILS, INTERIOR ACOUSTICAL DETAILS
A9.11	INTERIOR WALL AND ASSEMBLY DETAILS
A9.30	CEILING DETAILS
A9.40	STAIR AND ELEVATOR DETAILS
A9.50	INTERIOR DOOR & THRESHOLD DETAILS
A9.51	INTERIOR DOOR & THRESHOLD DETAILS
A9.60 A9.90	INTERIOR CASEWORK DETAILS STANDARD ACCESSIBILITY DETAILS
A9.90 A9.91	SIGNAGE DETAILS
A10.21	PSH 2 - LEVEL 1 FINISH PLAN
A10.22	PSH 2 - LEVEL 2 FINISH PLAN
A10.23	PSH 2 - LEVEL 3 FINISH PLAN
A10.24	PSH 2 - LEVEL 4 FINISH PLAN
A10.25 A10.26	PSH 2 - DOOR SCHEDULE AND DOOR TYPES PSH 2 - DOOR SCHEDULE AND DOOR TYPES
A10.26 A10.27	PSH 2 - WINDOW, LOUVER, & STOREFRONT SCHEDULE
A10.28	PSH 2 - INTERIOR FINISH SCHEDULE
A10.29	PSH 2 - INTERIOR FINISH LEGEND
A10.210	PSH 2 - SIGNAGE PLAN
A10.211	PSH 2 - SIGNAGE PLAN
04.2 PSH 2 P	11a3C. U4
05 Structural	
S1.0	STRUCTURAL SPECIFICATIONS

STRUCTURAL CONCRETE SCHEDULE AND NOTES S1.2 STRUCTURAL WOOD SCHEDULES AND NOTES S2.21 PSH PHASE 2 FOUNDATION PLAN S2.21a PSH PHASE 2 SLAB REBAR PLAN PSH PHASE 2 SECOND FLOOR FRAMING PLAN S2.23 PSH PHASE 2 THIRD FLOOR FRAMING PLAN S2.24 PSH PHASE 2 FOURTH FLOOR FRAMING PLAN S2.25 PSH PHASE 2 ROOF FRAMING PLAN CONCRETE SECTIONS AND DETAILS S5.10 FOUNDATION SECTIONS AND DETAILS S5.11 FOUNDATION SECTIONS AND DETAILS S6.20 WOOD FLOOR FRAMING SECTIONS AND DETAILS S6.21 WOOD FLOOR FRAMING SECTIONS AND DETAILS S6.30 WOOD ROOF FRAMING SECTIONS AND DETAILS S6.31 WOOD ROOF FRAMING SECTIONS AND DETAILS S6.40 WOOD WALL FRAMING SECTIONS AND DETAILS WOOD WALL FRAMING SECTIONS AND DETAILS S6.41 S6.42 WOOD WALL FRAMING SECTIONS AND DETAILS S6.50 WOOD COLLECTOR DETAILS STEEL FRAMING DETAILS S8.10 CONCRETE SECTIONS AND DETAILS S9.10 **HOLD DOWNS** HOLD DOWNS HOLD DOWNS 05 Structural: 25

P1.2.1	PLUMBING GENERAL NOTES, SHEET INDEX & LEGEND
P1.2.2	PLUMBING SCHEDULES
P2.2.1a	PHASE 2 - 1ST FLOOR PLUMBING PLAN - WASTE & VENT
P2.2.1b	PHASE 2 - 1ST FLOOR PLUMBING PLAN - HOT & COLD WATER
P2.2.2	PHASE 2 - 2ND FLOOR PLUMBING PLAN
P2.2.3	PHASE 2 -3RD FLOOR PLUMBING PLAN
P2.2.4	PHASE 2 - 4TH FLOOR PLUMBING PLAN
P2.2.5	PHASE 2 - ROOF PLUMBING PLAN
P3.2.1	RISER DIAGRAMS
P3.2.2	DETAILS
P3.2.3	DETAILS
P3.2.4	WATER HEATER PIPING DIAGRAMS
P3.2.5	ENLARGED MECHANICAL ROOM PLUMBING PLAN

09 Electrical: 21

08 Mechai	nical
M1.2.1	GENERAL NOTES, SHEET INDEX & LEGEND
M1.2.2	SCHEDULES - PHASE 2
M2.2.1	PSH 2 - 1ST FLOOR PLAN - MECHANICAL
M2.2.2	PSH 2 - 2ND FLOOR PLAN - MECHANICAL
M2.2.3	PSH 2 - 3RD FLOOR PLAN - MECHANICAL
M2.2.4	PSH 2 - 4TH FLOOR PLAN - MECHANICAL
M2.2.5	PSH 2 - ROOF PLAN - MECHANICAL
M3.2.1	DETAILS
M3.2.2	DETAILS
M3.2.3	DETAILS
08 Mechai	pical: 10

09 Electric	cal
E0.01	LEGEND AND NOTES
E0.02	FIXTURE SCHEDULE, NOTES, AND RESIDENTIAL MANDATORY MEASURES
E1.00	SITE PLAN
E2.11	LEVEL 1 FLOOR PLAN PHASE 2
E2.12	LEVEL 2 FLOOR PLAN PHASE 2
E2.13	LEVEL 3 FLOOR PLAN PHASE 2
E2.14	LEVEL 4 FLOOR PLAN PHASE 2
E2.15	ROOF PLAN PHASE 2
E3.11	LEVEL 1 LIGHTING PLAN PHASE 2
E3.12	LEVEL 2 LIGHTING PLAN PHASE 2
E3.13	LEVEL 3 LIGHTING PLAN PHASE 2
E3.14	LEVEL 4 LIGHTING PLAN PHASE 2
E4.01	SCALE UNIT PLANS
E6.01	SINGLE LINE DIAGRAM, DETAILS AND LOAD SUMMARIES
E6.02	PANELBOARD SCHEDULES
E7.01	ELECTRICAL DETAILS
E7.02	ELECTRICAL DETAILS
E7.03	LOW VOLTAGE DIAGRAMS AND DETAILS
E7.04	LIGHTING CONTROL AND ACOUSTICAL DETAILS
E8.01	INTERIOR LIGHTING ENERGY COMPLIANCE FORMS
E8.02	EXTERIOR LIGHTING ENERGY COMPLIANCE FORMS

City of Alameda • California

DESIGN REVIEW APPROVAL NOTICE

This notice is provided pursuant to Alameda Municipal Code (AMC) Section 30-36.3 to declare that on February 15, 2022, the City of Alameda approved Design Review Application No. PLN21-0414 at 501 Mosley Avenue. This determination has been made following a review for consistency with the City of Alameda's Zoning Ordinance and Objective Design Review Standards adopted on February 22, 2021.

This is not a Building Permit: This approval is for Design Review only, which allows the applicant to apply for a building permit. Separate application forms, plans, and fees are required for the building permit application process. Construction on the project shall not commence until issuance of a building permit.

Project Description: The project consists of the construction of three residential buildings containing 155 affordable residential units within Block A of the North Housing Residential Development site. The two buildings along Mosley Avenue will be built in two phases and will provide ninety-one (91) units of Permanent Supportive Housing. The third building at the corner of Lakehurst Circle and Mabuhay Street will provide sixty-four (64) units of affordable senior apartments. The project also consists of a central courtyard, patio, landscaping, and on-site surface parking. Zoning District: R-4-PD-MF General Plan: Medium Density Residential.

Applicant: Island City Development

Environmental Determination:

The project complies with the requirements of California Government Code Section 65913.4 for streamlined ministerial review and is exempt from environmental review under CEQA pursuant to California Government Code Section 65913.4. No further environmental review is required.

SB 35 Approval (GOVERNMENT CODE SECTION 65913.4)

The proposed project was approved for streamlined review by the City of Alameda pursuant to Government Code Section 65913.4. The North Housing affordable housing project was approved for streamlined ministerial review pursuant to SB 35 (Section 65913.4 of the Government Code) by Planning Board Resolution No. PB-20-16 and City Council Resolution No. 15689. The Design Review for Block A constitutes a subsequent permit required for development and must be approved if consistent with objective design review standards in effect on the submittal date.

Planning, Building and Transportation Department 2263 Santa Clara Avenue, Room 190 Alameda, California 94501-4477 510.747.6805 • Fax 510.865.4053 • TTY510.522.7538

A Printed on Recycled Paper

consistent with the approved Stormwater Quality Management Plan submittal.

- 14. Prior to issuance of the Permit, the Applicant shall submit for review and approval by the City Engineer a Stormwater C3-LID Measures Operations and Maintenance (O&M) Plan that provides a thorough discussion of the inspection, operations, and maintenance requirements of all of the stormwater treatment, including trash capture, and LID design measures at the site. This O&M Plan shall be consistent with the City of Alameda's C3-LID Measures O&M Plan Checklist.
- 15. The development shall incorporate permanent post-construction stormwater quality controls in accordance with the City of Alameda's National Pollution Discharge Elimination System (NPDES) Permit. Stormwater design and treatment measures shall be constructed consistent with the latest version of the Alameda County Clean Water Program's Provision C3 Technical Guidance Manual.
- 16. Plans shall be consistent with documents already submitted and approved of by Public Works, including the Stormwater Quality Management Plan and Stormwater Requirements Checklist. Stormwater design and treatment measures shall be constructed consistent with the latest version of the Alameda County Clean Water Program's Provision C3 Technical Guidance Manual.
- 17. The development is subject to full trash capture requirements of the City's NPDES permit, regardless of impervious surface area. The developer shall provide a full trash capture system, device, or series of devices that traps all particles retained by a 5mm mesh screen and has a design treatment capacity of not less than the peak flow rate Q resulting from a one-year, one-hour storm in the sub-drainage area. Plan sheets shall include location, detail and cross-sectional drawings of the stormwater full trash capture device(s) necessary to treat the entirety of the site. The developer shall confirm that the full trash capture device(s) included in the development plan are on the State Water Resources Control Board's list of certified full trash capture systems. Trash capture shall occur on site, not in the public right of way downstream. Applicant shall submit an O&M plan detailing the necessary maintenance tasks
- 18. Prior to project acceptance and any certificate of occupancy, the Property Owner(s) shall provide the following:

and schedule required to maintain all on-site trash capture devices.

- a. Executed C3-LID Treatment Measures Maintenance Agreement with the City, complete with an approved Operations and Maintenance Plan, the template for annual self-reporting, and assurances for property access for City verification inspections.
- b. Certification report (Report) prepared by a registered civil engineer, licensed in the State of California, affirming that all project site stormwater treatment measures have been constructed per the City approved plans and specifications. As appropriate, the

Design Review Findings:

- <u>Development Plan Consistency</u>: The North Housing Block A project is consistent with the approved Development Plan for the property, and is compliant with each of the Development Plan requirements for Design Review approval listed below.
- AMC Consistency: The project is consistent with the objective standards of the Alameda Municipal Code, unless those standards are in conflict with the approved Development Plan, in which case the standards of the Development Plan shall apply.
- 3. Design Review Objective Standards: The North Housing affordable housing project was approved for streamlined ministerial review pursuant to SB 35 (Section 65913.4 of the Government Code) by Planning Board Resolution No. PB-20-16 and City Council Resolution No. 15689. The Design Review application for Block A is a subsequent permit required for development, and California law requires that the design of the project be reviewed only against objective standards. The Objective Design Review Standards adopted February 22, 2021 serve as the standards for design review. The proposed design is consistent with the General Plan, Zoning Ordinance, North Housing Development Plan and meets all of objective standards required in the City of Alameda Objective Design Review Standards.
- Open Space: The Block A project provides 14,083-square-feet of common open space which
 is consistent with the 75 square feet of useable open space per unit requirement under the
 Development Plan
- 5. <u>Bicycle Parking</u>: The North Housing Block A project is providing 1,550-square-feet of long-term bike parking and 18 short term spaces which is consistent with the least ten (10) square feet of secure bicycle parking for studio, one bedroom and two-bedroom units required by the development plan.
- 6. Affordable Housing: The project will dedicate all of the 155 dwelling units in the North Housing Block A project as affordable rental units. The overall ratio of affordable units to total units permitted for the North Housing development as a whole is above 50% as required by the approved Development Plan.

CONDITIONS OF APPROVAL

Planning Conditions

- A copy of this Design Review Approval Notice and Planning Board Resolution No. PB-20-16 and City Council Resolution No. 15689 shall be printed on the cover of the final Building Permit plans.
- Pursuant to Government Code Section 65913.4(e)(1), this approval shall not expire because
 the project includes public investment in housing affordability, beyond tax credits, where 50
 percent of the units are affordable to households making below 80 percent of the area median
 income.

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- Report shall include, but not be limited to, assurances that: imported materials used for the treatment measure(s) are certified by the supplier; installation of these materials is per approved plans and specifications and meets the intent of the design engineer; required on-site testing results conform with approved plans and specifications; treatment measures conform to dimensions, grades and slopes on approved plans and specifications; all structural features of the treatment measures comply with plan specifications; the irrigation system is installed and functions as designed; healthy vegetation/ground cover is installed as shown on plans. The Report shall be submitted in a form acceptable to the City Engineer.
- 18. The developer shall comply with the State Water Quality Control Board's Construction General Permit requirements. Copies of the required "Notice of Intent" (NOI) and "Storm Water Pollution Prevention Plan" (SWPPP) along with the WDID# shall be submitted to the City Engineer prior to the issuance of the Permit for any site work. The SWPPP shall utilize the California Storm Water Best Management Practices Handbook for Construction Activities, the ABAG Manual of Standards for Erosion & Sediment Control Measures, the City's Grading and Erosion Control ordinances, the City's "Urban Runoff Best Management Practices Standards", and other generally accepted engineering practices for construction activity pollution prevention, sediment, and erosion control.
- 19. Projects proposed for construction between October 1st and April 15th, shall have an erosion and sedimentation control program approved, and implemented to the maximum extent possible, prior to the start of on-site earthwork. Installation of all components of these plans shall be completed by October 1.

Alameda Municipal Power

- 20. The Applicant shall provide all necessary underground substructures, including conduits, pull boxes, electric utility equipment pads, etc. per the AMP specifications. The Applicant must ensure that conduit is not installed in a trench at a depth greater than 60 inches. AMP will require easements for all transformers, primary and secondary boxes, and conduits. AMP will furnish and install all required transformers and high voltage distribution cables.
- 21. HOLD HARMLESS. To the maximum extent permitted by law, the applicant (or its successor in interest) shall defend (with counsel acceptable to the City), indemnify, and hold harmless the City of Alameda, its City Council, City Planning Board, officials, employees, agents and volunteers (collectively, "Indemnitees") from and against any and all claims, actions, or proceedings against Indemnitees to attack, set aside, void or annul an approval by Indemnitees relating to this project. This indemnification shall include, but is not limited to, all damages, losses, and expenses (including, without limitation, legal costs and attorney's fees) that may be awarded to the prevailing party arising out of or in connection with an approval by the Indemnitees relating to this project. The City shall promptly notify the applicant of any claim, action or proceeding and the City shall cooperate in the defense. The City may elect, in its sole

- 3. The plans submitted for building permit and construction shall be in substantial compliance with plans prepared by HKIT Architects, received on January 3, 2022 and on file in the office of the City of Alameda Planning Building and Transportation Department, except as modified by the conditions listed in this letter.
- 4. This approval is limited to the scope of the project defined in the project description and does not represent a recognition and/or approval of any work completed without required City permits. Any additional exterior changes to the approved plans shall be submitted to the Planning Building and Transportation Department for review and approval prior to construction.
- 5. The improvement of the property shall comply with the Conditions of Approval for the North Housing Development Plan PLN20-0099 (Planning Board Resolution No. PB-20-16).
- The final plans submitted for Building Permit plans shall incorporate the approved window schedule.
- The final plans submitted for Building Permit approval shall conform to all applicable codes and guidelines.
- Prior to issuance of building permit(s) for this project, the applicant shall provide evidence that all required approvals, permits, or waivers from regulatory agencies have been obtained.
 A site inspection to determine compliance with this Design Review Approval is required prior to the final building inspection and/or to the issuance of a Certificate of Occupancy. The applicant shall notify the Planning Building and Transportation Department at least four days prior to the requested Planning Inspection dates.

Public Works Conditions

- 12. Project shall incorporate permanent stormwater low impact development (LID) design techniques and source control measures to manage the quantity and quality of stormwater runoff from the planned development to prevent and minimize impacts to water quality, in accordance with the City of Alameda's National Pollution Discharge Elimination System (NPDES) Permit, and consistent with the latest version of the Alameda County Clean Water Program's Provision C3 Technical Guidance Manual. Project plans shall indicate the efforts taken to minimize impervious surface areas, especially directly connected impervious surface areas.
- 13. Prior to issuance of the Permit, the Applicant shall submit an updated Stormwater Quality Management Plan complete with the individual drainage management areas identified, an updated Stormwater Requirements Checklist, and a stamped, signed City of Alameda C3 certification form from a qualified independent (i.e. different engineering firm) civil engineer with stormwater treatment facility design experience, licensed in the State of California, and acceptable to City Engineer that indicates the LID and treatment measure designs of the improvement plans and Stormwater Quality Management Plan meet the established sizing design criteria for stormwater treatment measures. The Civil Improvement Plans shall be

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discretion, to participate in the defense of said claim, action, or proceeding and the applicant (or its successor in interest) shall reimburse the City for its reasonable legal costs and attorneys'

Approved: Allen Tai, City Planner

Per: Henry D

Date: February 15, 2022

North Housing, Block A

PSH PHASE 2

520 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO. 19009
DRAWN Author
CHECKED Checker

JOB CAPTAIN ISSUE

DATE DESCRIPTION
2 12/8/21 SD SET
7 09/29/22 PERMIT SUBMITTAL

Approver

PSH 2 - CONDITIONS
OF APPROVAL

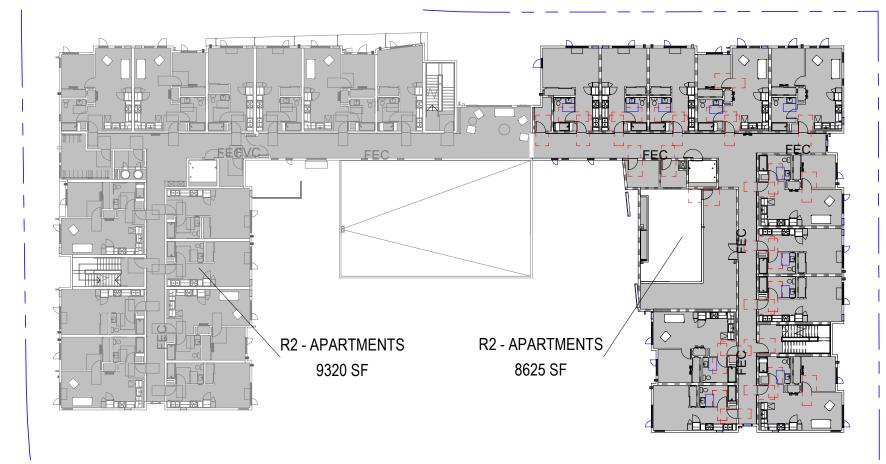
SCA

Page 6 of 6

G1.2C

Page 5 of 6

PSH 2 - LEVEL 1 OCCUPANCY PLAN & FRONTAGE DIAGRAM 1" = 30'-0"



Building Area Legend

A3 - ASSEMBLY

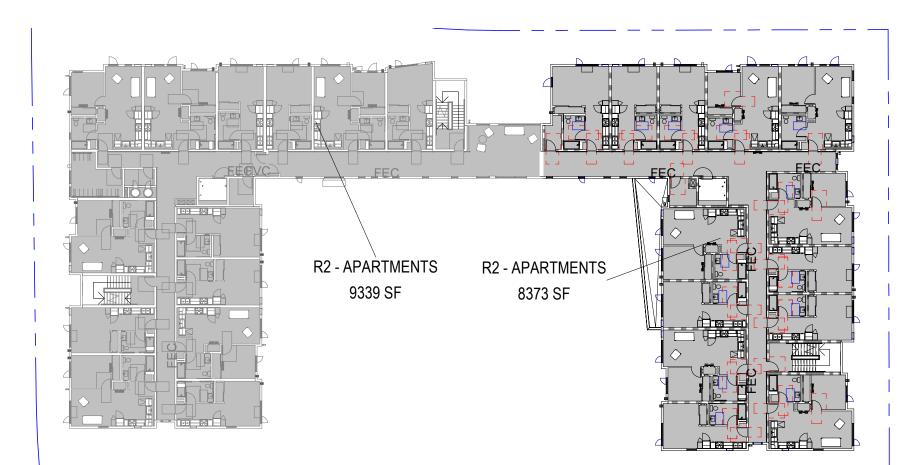
R2 - APARTMENTS

R2 - APARTMENTS

PSH 2 - LEVEL 2 OCCUPANCY PLAN 1" = 30'-0"

PSH 2 - LEVEL 3 OCCUPANCY PLAN

R2 - APARTMENTS



R2 - APARTMENTS

8382 SF

Building Area Legend

R2 - APARTMENTS

Building Area Legend

R2 - APARTMENTS

W = (245x30+120.66x30+60x0+78x30+124.8x30+78x30+60x30+113.12x30) / F = 29.99F = 879.58

 $I_f = [F/P - 0.25] \text{ W} / 30 \text{ where W} = 29.99, F = 819.58, P = 879.58$

Jsing provision "Separated occupancies" per 508.4 to separate residential and assembly occupancies.

R-2 to B: 1 hour fire barrier or horizontal assembly

508.2 - Accessory Occupancies: - Service Provider Office (Small assembly space per CBC 303.1.2.2)

Table 509 -Incidental Uses Room or Area Separation / Protection Boiler room over 15psi / 10hp 1 hour or auto fire ext system ***

509.4.1: Incidental use separation to be provided as fire barriers per CBC 707.3.7

Electrical Room 1 hour Elevator Mechanical Room 1 hour

CODE ANALYSIS

1) Code excerpts provided are for the purposes of assisting plan check, and do not include all applicable code sections. 2) Refer also to City of Alameda Conditions of Approval for additional requirements / limitations.

APPLICABLE CODES - GENERAL 2019 CALIFORNIA BUILDING CODE 2019 CALIFORNIA MECHANICAL CODE 2019 CALIFORNIA PLUMBING CODE 2019 CALIFORNIA ELECTRICAL CODE 2019 CALIFORNIA FIRE CODE

2019 CALIFORNIA ENERGY CODE

APPLICABLE CODES - ACCESSIBILITY COMPLIANCE

2019 CALIFORNIA BUILDING CODE - CHAPTERS 11A for adaptable units and CHAPTER 11B for common spaces, and mobility & communication units. TCAC LARGE FAMILY STANDARDS - MOBILITY REQUIREMENTS.

DEVELOPMENT IS DEFINED AS "PUBLICLY FUNDED HOUSING" 15% of dwelling units will be mobility accessible complying with <u>11B-233.3.1.1</u> and defined in CBC 11B 809.2 through 11B 809.4 See plans for locations 10% of dwelling units will be HVI accessible complying with 11B-233.3.1.3 and defined in CBC 11B 809.5. See plans for locations. Remaining dwelling units will be adaptable per 11A, Division IV.

APPLICABLE CODES - SUSTAINABILITY

2019 CALIFORNIA GREEN BUILDING STANDARDS CODE - MANDATORY MEASURES

APPLICABLE CODES - FIRE PROTECTION

FULLY SPRINKLERED PER NFPA 13 (2016 CBC 903.3.1.1)

ACOUSTICAL PERFORMANCE:

Sound Transmission: Partitions between dwelling units: STC 50. Penetrations sealed and lined. Refer to wall details. Floors between units: IIC 50

Exterior noise: Acoustical Performance per 2019 CBC Refer to Acoustical Report for additiona Acoustical Requirements

CHAPTER 3 - USE OR OCCUPANCY

Occupancy classifications - refer to adjacent diagrams for classifications and areas. For occupancy separation, refer to Chapter 5 summary

CHAPTER 4 - SPECIAL REQUIREMENTS BASED ON OCCUPANCY 420.2 Separation Walls. Walls separating dwelling units in the same building, walls separating sleeping units in the same building and walls separating dwelling or sleeping units from other occupancies contiguous to them in the same building shall be constructed as fire partitions in accordiance with Section 708.

420.3 Horizontal Separation. Floor assemblies separating dwelling units in the same buildings, floor assemblies separating sleeping units in the same buildings and floor assemblies separating dwelling units in other occupancies contiguous to them in the same building shall be constructed as horizontal assemblies in accordance with section 711.

420.5 Automatic Sprinkler System. Group R occupancies shall be equipped throughout with an automatic sprinkler system in accordance with Section 903.2.8.

420.6 Fire Alarm Systems and Smoke Alarms. Fire & smoke alarm systems and smoke alarms shall be provided in Group R-2 in accordance with Section 907.2.9.

CHAPTER 5 - GENERAL BUILDING LIMITATIONS

Construction Type: 4 stories V-A. Allowable number of Stories (CBC table 503): Occupancy Proposed Allowable Type V-A R-2 4 4(3 per CBC Table 503 + 1 with sprinkler increase * per CBC section 504.2) Type V-A A-3 1 2

*Sprinkler Increase in accordance with CBC Section 903.3.1.1 (NFPA 13 System)

Allowable Height:

60' per CBC table 504.3 + area increase * = 60' MAXIMUM HEIGHT

504.3 Roof Structures: Roof structures shall be unlimited in height if of noncombustible materials and shall not extend more that 20 feet above the allowable building height if of combustible materials (see Chapter 15 for additional requirements).

Allowable Area:

for "Mixed Occupancy" per CBC 506.2.4: Sum of ratios of of the actual area of each story divided by the allowable area of such stories shall not exceed 3

Function/Occupancy Const Type Actual Area Aa (see below) V-A 2.297 s.f. 0.087 V-A 1,011 s.f. 11,500 s.f.

Apts, Utility R-2** V-A 16,115 s.f. 44,178 s.f. 0.365 V-A 17,925 s.f. 44,178 s.f. Apts, Utility R-2** 0.401 Apts, Utility R-2** V-A 17,698 s.f. 44,178 s.f. V-A 17,661 s.f. 44,178 s.f. Apts, Utility R-2**

Max Ratio Sum of 1.70 less than 2 maximum allowed

**Accessory use as defined per CBC 303.1.2 (less than 50 occ or 750 SF), Classified as "R-2" Accessory Occupancy Allowable Area Increase Calculations

506.3 Frontage Increase (See 1/G2.20 for Frontage Dimensions)

If = [819.58/879.58 - 0.25] 29.99 /30 =.681

Equation 5-3: $A_a = [A_t + (NS \times I_f)]$

For R-2 Occupancy: $A_a = [36,000 + (12,000 \times .681)]$ $A_a = 44,178 \text{ S.F. per story}$

508.1 - Mixed Occupancy

Areas of building individually complying with Chapter 5

Required separations per CBC table 508.4:

R-2 to A-3: 1 hour fire barrier or horizontal assembly

Laundry Rooms over 100 s.f. 1 hour or auto fire ext system ***

*** Sprinkler provided. Other Incidental Use Areas (misc code references) Room or Area Separation / Protection

508.1 - Mixed Occupancy Allowable building area: Each story allowable area such that the sum of ratios of the actual to allowable building area are less than 2 (see above)

Using a combination of provisions for: "Accessory Occupancies" per 508.2 for small resident offices, conference rooms, utility spaces that are 10% of floor area.

"Separated occupancies" per 508.4. For larger areas of building individually complying with Chapter 5

Required separations per CBC table 508.4: S-2 to R-2: 1 hour fire barrier or horizontal assembly

A-3 to R-2: 1 hour fire barrier or horizontal assembly 508.2 Accessory Occupancies:

- Management Office - Small amenity rooms (Small assembly space per CBC 303.1.2.2)

Table 509 - Incidental Uses

Separation / Protection Boiler room over 15psi / 10hp 1 hour or auto fire ext system *** Laundry Rooms over 100 s.f. 1 hour or auto fire ext system ***

*** Sprinkler provided

509.4.1: Incidental use separation to be provided as fire barriers per CBC 707 Other Incidental Use Areas (misc code references)

Room or Area Separation / Protection Main Switchgear Room Emergency Electrical Room 1 hour Elevator Mechanical Room 1 hour

CHAPTER 6 - TYPES OF CONSTRUCTION

Table 601: Fire-Resistance Rating Requirements for Building Elements Building Element Floor 1-4

Type V-A 1 hour Structural Frame **Bearing Walls** Interior Non Bearing Ext. Walls Table 602* Non Bearing Int. Walls (Floor

* Table 602: Fire rating of exterior walls - see plans for wall ratings. V-A Exterior walls dist 0 - 30' = 1 hour, over 30' = No Rating

CHAPTER 7 - FIRE RESISTANCE-RATED CONSTRUCTION

704.2.3: Columns, Beams, and other structural elements supporting bearing walls above shall be individually protected on all sides. See structural drawings for location and architectural details for protection method. 705.2: Projections such as eave overhangs, balconies, cornices:

Not allowed less than 2' fire separation distance (from property line or center of R.O.W.) 24" allowable projection when 2'-5' fire separation distance. 40" allowable projection if 5' or greater fire separation distance.

705.2.2: Type VA: Projections can be made of any approved material.

705.2.3: Where protection of openings is required, one-hour construction or heavy timber required.

Table 705.8 - for sprinklered building with unprotected openings: 3'-5' 5'-10' 10'-15' 15'-20' 75% 20'+ no limit

705.8.5: Vertical Separation of Openings - not required where sprinkler provided.

705.11: Parapet at exterior walls: Not required where greater than 5' from property as sprinklered building (exception #6). Otherwise, required to be 1-hour construction, 30" above roof surface, and have non-combustible faces for the upper 18".

706: Fire Walls: Fire Walls shall not have a resistance rating of not less than 2 hours (CBC Table 706.4). 708: Fire Partitions: shall have a fire-resistance rating of not less than 1 hour.

711.2.4.2: Where a horizontal assembly separates a single occupancy into different fire areas, the assembly shall have a fire-resistance rating not less than 2hrs (CBC 707.3.10).

713.4: Shaft Enclosures: 2 hours where connecting four stories or more per 708.4. 2 hours where penetrating horizontal assembly between floors 1-2. 713.13: Trash chute openings shall not be located in corridors, doors shall be self-closing. Access openings for refuse chute shall be located in a 1 hour rated compartment with 3/4 hour self closing door.

713.14.1: Elevator Lobbies: Enclosed elevator lobbies are not required:

Exception #1: Not required at level of discharge. Exception #3: where additional smoke doors are provided at hoistway opening. See plans and door schedules for smoke door information.

716: Opening Protectives

Required Assembly Rating Minimum Fire Door Rating Door vision panel size Sidelight rating Fire Barrier (occupancy separation) 100 sq. in

Fire Wall (area separation/ horizontal exit) 2 hours 90 minute 100 sq. in 45 minute Fire Partition (Corridor) 1 hour 20 minute max tested Fire Partition (other) 1 hour 45 minute 45 minute max tested

716.6: Fire Window Assembly Fire Protection Rating Required Assembly Rating Minimum Fire Window Assembly Rating Fire Partition (Corridor) 1 hour 45 minute

CHAPTER 9 - FIRE PROTECTION SYSTEMS

903.3.1.1 Building shall be equipped throughout with an NFPA 13 sprinkler system

905.3.1 Requires standpipes at every floor. Class 1 allowable per exception #1.

905.4 Standpipe locations (see plans for information):

1. Main stair landings, subject to local FD review.

2. Each side of horizontal exit: Exception: not required where within 100' of exit stairway hose connection. 3. Exit passageway (provided at exit stairways)

4. At roof areas less than 4:12, at stair to roof

906: Portable Fire Extinguishers: 2A rated. Max travel distance 75' to extinguisher.

9.15: Carbon monoxide alarms does not apply to our building because there are no fuel-burning appliances in the dwelling units or attached garages.

CHAPTER 10 - MEANS OF EGRESS Refer to egress diagrams on sheet G2.02 for means of egress information Refer to door schedules for door hardware and door operation information.

1003.2: Egress ceiling height: 7'-6" minimum, except protruding objects per 1003.3.1, allowed to be 80" A.F.F. for maximum 50% floor area. 1004.5: Outdoor areas such as the 3rd floor terrace have been provided means of egress as required by chapter 10. For use by residents of the building only. This area considered Assembly UC - OLF 15 sf/occupant

1006.2.1: Common path of travel: Maximum for occupancies (with sprinkler system): R-2: 125', B/S: 100', A-3: 75'.

1007.1.1: Two Exits or exit access doorways:

Exception #2. Exit access separation distance: Minimum, 1/3 length of maximum diagonal for area served (see diagrams). 1009.2.1: Elevator required to be accessible means of egress at floors 4 & 5. Using exception #1: Sprinklers provided. Including horizontal exit at floors 4 & 5.

1009.4: Elevators: Exception #2. Elevators are not required to have access to area of refuge when building is equipped with automatic sprinkler system in accordance with Section 903.3.1.1. 1009.3: Stairways: Exception #2. Clear width of 48" between handrails not required in buildings equipped with automatic sprinkler system in accordance

Exception #5. Areas of refuge are not required where automatic sprinkler system provided in accordance with Section 903.3.1.1.

10011.12: Stair to roof: Required where roof less than 4:12 slope, more than four stories above grade. 1017: Exit access travel distance: by occupancy (sprinklered): Table 1017.2: R-2/A-3: 250', B: 300', S-2: 400'

1020: Corridors: Per Table 1020.1 Corridors shall be 1 hour rated when serving >10 occupants and be equipped with sprinkler system. 1020.4: Dead Ends: Exception #2 - Corridor Dead Ends shall not exceed 50 feet in group R-2 where building is equipped throughout with an automatic sprinkler system in accordance with 903.3.1.1. 1026: Horizontal Exit: 2-hour fire barrier per 707, or horizontal assembly per 711. Extend vertically all floors unless 2-hour horizontal separation with no

unprotected openings. Continuous barrier from wall-to-wall.

CHAPTER 11A/11B - HOUSING ACCESSIBILITY DEVELOPMENT IS DEFINED AS "PUBLICLY FUNDED HOUSING"

Common areas will comply with 11B

TCAC requirements for dwelling unit accessibility: 15% of dwelling units (7 total) will be "built-out" mobility accessible complying with 11B-233.3.1.1. See plans for locations 10% of dwelling units (5 total) will be "built-out" HVI accessible complying with 11B-233.3.1.3. See plans for locations. Remaining dwelling units will be adaptable per 11A, Division IV.

11b-208.2: Resident Parking: Per Table 11b-208.2 - 57 parking spaces provided:3 Accessible stalls required. 3 accessible spaces provided. 108.2.4: Van Parking: 1 stalls required

PAUL M MCELWEE

North Housing, Block A

PSH PHASE 2

520 MOSLEY AVENUE ALAMEDA, CA 94501

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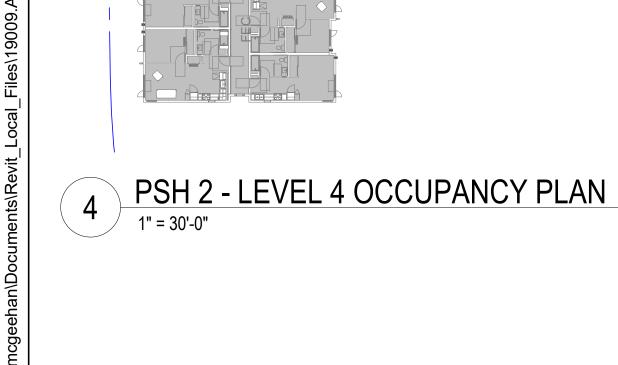
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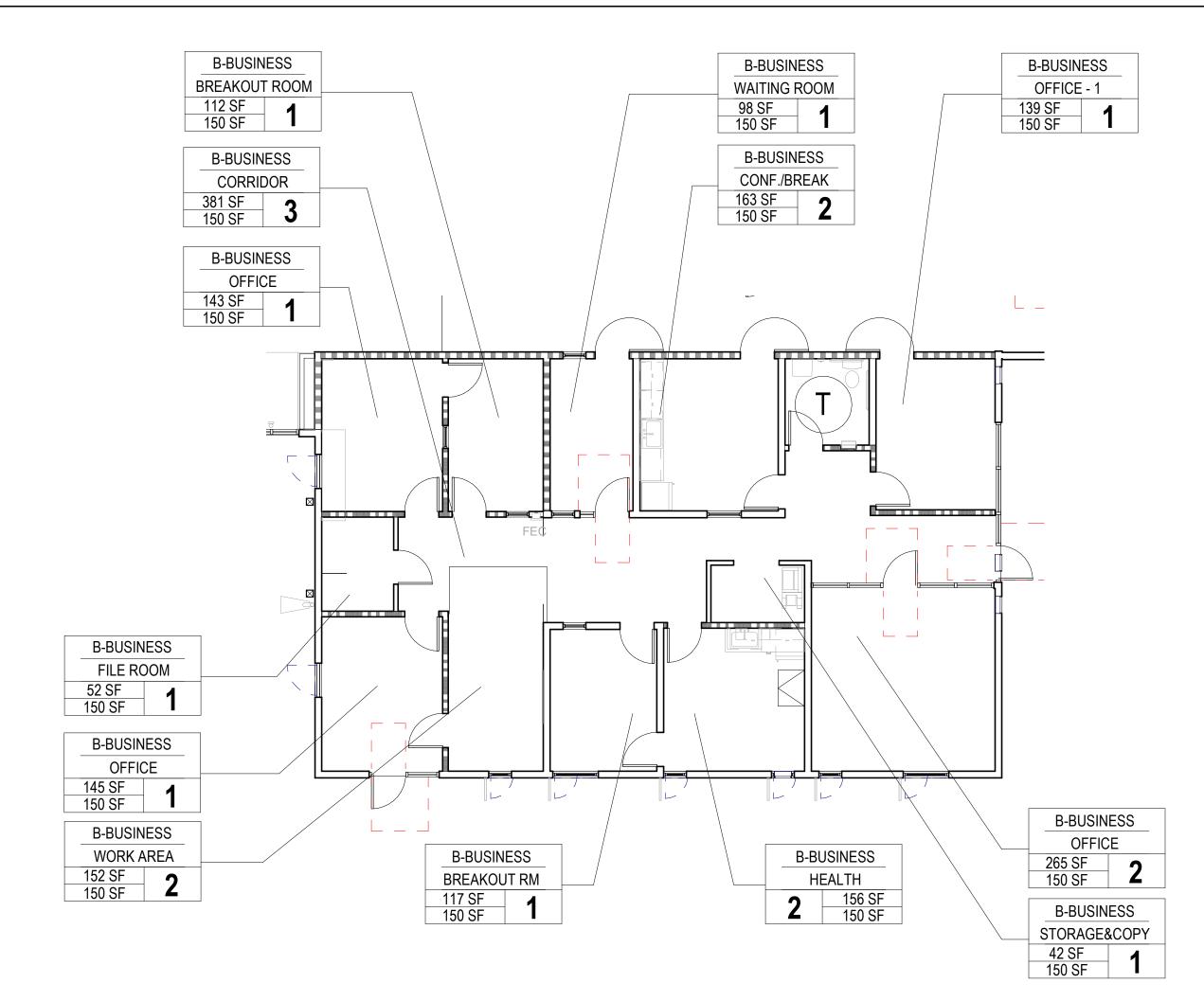
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SCALE As indicated



1" = 30'-0"



PSH 2 - LEVEL 1 - ENLARGED EGRESS PLAN -SERVICE PROVIDER OFFICES

SHEET NOTES- EGRESS PLANS

1/8" = 1'-0"

- 90-MINUTE FIRE-RATED HORIZONTAL EXIT FOR EXCEPTION TO ELEVATOR AS ACCESSIBLE MEANS OF EGRESS REQUIREMENT PER CBC 1009.2.1 EXCEPTION 1. DOORS ON ELECTRO-MAGNETIC HOLD OPEN (EMHO), WHICH RELEASE UPON ACTIVATION OF FIRE ALARM. DOORS TO REMAIN
- 2-HOUR CONTINUOUS FIRE-RATED FIRE BARRIER PER CBC 707. SEE PLANS FOR WALL ASSEMBLY INFORMATION.
- TWO-WAY COMMUNICATION: SYSTEM REQUIREMENTS, PER CBC 1009.8, VISIBLE COMMUNICATION METHOD, PER CBC 1009.8.1.1, AND DIRECTIONS PER CBC 1009.8.2.
- "REFUGE AREA" IS CALCULATED USING 3 SQ. FT. PER PERSON PER CBC 1026.4. THIRD FLOOR LOAD IS WORST CASE SCENARIO. SEE PLANS FOR CALCULATIONS.
- INSTRUCTIONS ON THE USE OF AREA OF REFUGE SHALL BE POSTED PER CBC 1009.11. SEE 12/A10.40 FOR EMERGENCY EVAC SIGN. SEE SHEETS A10.42 & A10.43 FOR SIGNAGE PLANS
- "WORST CASE" COMMON PATH OF EGRESS TRAVEL, NOT TO EXCEED 125'-0" PER CBC 1006.2.1.
- DEAD END CORRIDOR MAX. DISTANCE 50' 0" PER CBC 1020.4
- FIRE DEPARTMENT CONNECTION (FDC)
- STANDPIPE PER CBC 905.4
- PATH OF TRAVEL DISTANCE FROM STANDPIPE TO HORIZONTAL EXIT
- EXIT ACCESS TRAVEL DISTANCE BETWEEN POINTS ALONG EXIT PATH. TRAVEL DISTANCE MUST NOT EXCEED 250' PER CBC TABLE 1017.2
- EXIT SEPARATION SHALL BE NOT LESS THAN 1/3 DIAGONAL DIMENSION OF AREA SERVED PER CBC 1007.1.1 EXCEPTION 2
- DISTANCE TO ELEVATOR PER CBC 11B-206.2.3.2 PROVIDED SHALL BE WITHIN 200' OF TRAVEL OF EACH NEW STAIR.
- EXTERIOR AREAS FOR ASSISTED RESCUE PER CBC 1009.7
- SEE LANDSCAPE DRAWINGS FOR FIXED PLANTERS DEFINING AREA

ACCESSIBLE MEANS OF EGRESS

REFER 1ST FLOOR EGRESS DIAGRAM FOR CLARIFICATION. BUILDING IS EQUIPPED THROUGHOUT WITH AN NFPA 13 SPRINKLER SYSTEM

ALL OCCUPIABLE SPACES CONNECT TO RATED CORRIDOR SYSTEM, WHERE ACCESSIBLE EXIT TO PUBLIC RIGHT OF WAY (PROW) HAVE BEEN PROVIDED DIRECTLY OR THROUGH RATED EXIT ENCLOSURE WHICH DISHARGES TO PROW. SEE SITE PLAN FOR CONTINUATION FROM BUILDING EXIT TO PROW

SECOND THROUGH TO FOURTH FLOORS REFER 2ND - 4TH FLOOR EGRESS DIAGRAMS FOR CLARIFICATION.

BUILDING IS EQUIPPED THROUGHOUT WITH AN NFPA 13 SPRINKLER SYSTEM, EXEMPTING AREAS OF REFUGE FROM BEING REQUIRED IN RATED STAIR ENCLOSURES. A HORIZONTAL EXIT PROVIDED IN LIEU OF USING THE ELEVATOR AS AN ACCESSIBLE MEANS OF EGRESS. ALL OCCUPIABLE SPACES CONNECT TO RATED CORRIDOR SYSTEM, EXIT STAIR OR HORIZONTAL EXIT,

EMERGENCY WARNING SYSTEMS SHALL ACTIVATE A MEANS OF WARNING THE HEARING IMPAIRED. IN ACCORDANCE WITH NFPA 72 AS AMENDED IN CHAPTER 35. EMERGENCY WARNING SYSTEMS SHALL BE DESIGNED AND INSTALLED AS PART OF FIRE ALARM SYSTEM PER CBC 1009.12.

WHERE EXIT TO PUBLIC RIGHT OF WAY IS PROVIDED ON THE FIRST FLOOR.

EGRESS PLAN LEGEND

RESIDENTIAL — UNIT TYPE A — 400 SF 200 \ 2	FUNCTION OF SPACE ROOM NAME OCCUPANT LOAD
	AREA
	OCCUPANT LOAD FACTOR OCCUPANT LOAD
0 EGRESS STAIR 47" WIDTH REQUIRED 72" WIDTH PROVIDED EGRESS WIDTH PROVIDED MIN. EGRESS STAIR WIDTH MUST BE 44" PER CBC 1009.1, MIN EGRESS DOOR WIDTH MUST BE 32" PER CBC 1008.1.1	MIN. EGRESS WIDTH REQ'D OCCUP. LOAD X 0.2 AT STAIRS PER CBC 1005.3 EXCEPTION 1. EGRESS COMPONENT OCCUP. LOAD X 0.15 AT ALL OTHER EGRESS COMPONENTS PER CBC 1005.3.2 EXCEPTION 1.
	PATH OF TRAVEL
Т	ACCESSIBLE PUBLIC TOILET ROOM
	FIRE BARRIER

DISTANCE TO ELEVATOR

FIRE EXTINGUISHER 75 COVERAGE RADIUS

North Housing, Block A

PAUL M

OF CALIFOR

MCELWEE

PSH PHASE 2

520 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO. DRAWN **Author** CHECKED Checker JOB CAPTAIN Approver

DESCRIPTION

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DRAWING TITLE PSH 2 - CODE **ANALYSIS EGRESS** DIAGRAM

SHEET NOTES- EGRESS PLANS

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- INSTRUCTIONS ON THE USE OF AREA OF REFUGE SHALL BE POSTED PER CBC 1009.11. SEE 12/A10.40 FOR EMERGENCY EVAC SIGN. SEE SHEETS A10.42 & A10.43 FOR SIGNAGE PLANS
- "WORST CASE" COMMON PATH OF EGRESS TRAVEL, NOT TO EXCEED 125'-0" PER CBC 1006.2.1.
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- STANDPIPE PER CBC 905.4
- (10) PATH OF TRAVEL DISTANCE FROM STANDPIPE TO HORIZONTAL EXIT PER CBC 905.4 ITEM 2
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- DISTANCE TO ELEVATOR PER CBC 11B-206.2.3.2 PROVIDED SHALL BE WITHIN 200' OF TRAVEL OF EACH NEW STAIR.
- EXTERIOR AREAS FOR ASSISTED RESCUE PER CBC 1009.7
- SEE LANDSCAPE DRAWINGS FOR FIXED PLANTERS DEFINING AREA

ACCESSIBLE MEANS OF EGRESS

REFER 1ST FLOOR EGRESS DIAGRAM FOR CLARIFICATION. BUILDING IS EQUIPPED THROUGHOUT WITH AN NFPA 13 SPRINKLER SYSTEM.

ALL OCCUPIABLE SPACES CONNECT TO RATED CORRIDOR SYSTEM, WHERE ACCESSIBLE EXIT TO PUBLIC RIGHT OF WAY (PROW) HAVE BEEN PROVIDED DIRECTLY OR THROUGH RATED EXIT ENCLOSURE WHICH DISHARGES TO PROW. SEE SITE PLAN FOR CONTINUATION FROM BUILDING EXIT TO PROW

SECOND THROUGH TO FOURTH FLOORS

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OCCUPANT LOAD

CBC 1005.3.2

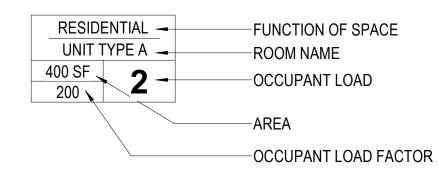
EXCEPTION 1

EGRESS PLAN LEGEND

PER CBC TABLE 1004.1.2

0 EGRESS STAIR

PER CBC 1008.1.1



47" WIDTH REQUIRED --MIN. EGRESS WIDTH REQ'D OCCUP. LOAD X 0.2 72" WIDTH PROVIDED AT STAIRS PER CBC 1005.3 EXCEPTION 1 **EGRESS WIDTH** -EGRESS COMPONENT PROVIDED MIN. EGRESS STAIR OCCUP. LOAD X WIDTH MUST BE 44" 0.15 AT ALL OTHER PER CBC 1009.1, MIN EGRESS DOOR COMPONENTS PER WIDTH MUST BE 32"

PATH OF TRAVEL

FIRE BARRIER

— -- DISTANCE TO ELEVATOR

ACCESSIBLE PUBLIC

TOILET ROOM

FIRE EXTINGUISHER 75' COVERAGE RADIUS

North Housing, Block A

GED ARCA

PAUL M

* P. I Ker

OF CALIFORN

MCELWEE

PSH PHASE 2

520 MOSLEY AVENUE ALAMEDA, CA 94501

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DRAWING TITLE PSH 2 - CODE **ANALYSIS EGRESS** DIAGRAM

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- EXCEPTION 2

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FIRST FLOO

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SECOND THROUGH TO FOURTH FLOORS

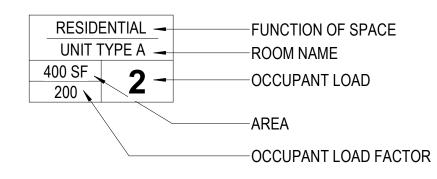
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EGRESS PLAN LEGEND

PER CBC TABLE 1004.1.2



OCCUPANT LOAD

0 EGRESS STAIR

47" WIDTH REQUIRED MIN. EGRESS WIDTH

REQ'D OCCUP. LOAD X 0.2
AT STAIRS PER CBC
1005.3 EXCEPTION 1.

EGRESS WIDTH
PROVIDED
MIN. EGRESS STAIR
WIDTH MUST BE 44"
PER CBC 1009.1, MIN
EGRESS DOOR

REQ'D OCCUP. LOAD X 0.2
AT STAIRS PER CBC
1005.3 EXCEPTION 1.

EGRESS COMPONENT

OCCUP. LOAD X
0.15 AT ALL OTHER
EGRESS
COMPONENTS PER

PATH OF TRAVEL

WIDTH MUST BE 32"

PER CBC 1008.1.1

TOILET ROOM

—--- DISTANCE TO ELEVATOR

FIRE BARRIER

CBC 1005.3.2

EXCEPTION 1

ACCESSIBLE PUBLIC

FIRE EXTINGUISHER 75' COVERAGE RADIUS HKIN ARCHITE

538 NINTH STREET SUITE 240 • OAKLAND, 0

PAUL M
MCELWEE

A CC-28734

PAUL M
MCELWEE

C-28734

C-28734

C-28734

C-28734

North Housing, Block A

PSH PHASE 2

520 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO. 19009
DRAWN Author
CHECKED Checker
JOB CAPTAIN Approver

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PSH 2 - CODE ANALYSIS EGRESS DIAGRAM

SCALE As indicated

G3.22

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SHEET NOTES- EGRESS PLANS

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ACCESSIBLE MEANS OF EGRESS

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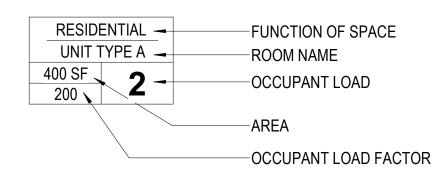
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EGRESS PLAN LEGEND

PER CBC TABLE 1004.1.2

EGRESS DOOR

WIDTH MUST BE 32"



OCCUPANT LOAD 0 EGRESS STAIR 47" WIDTH REQUIRED -MIN. EGRESS WIDTH

REQ'D OCCUP. LOAD X 0.2 72" WIDTH PROVIDED AT STAIRS PER CBC 1005.3 EXCEPTION 1 **EGRESS WIDTH** -EGRESS COMPONENT PROVIDED MIN. EGRESS STAIR OCCUP. LOAD X WIDTH MUST BE 44" 0.15 AT ALL OTHER PER CBC 1009.1, MIN

PER CBC 1008.1.1 **EXCEPTION 1** PATH OF TRAVEL

ACCESSIBLE PUBLIC **TOILET ROOM**

FIRE EXTINGUISHER 75' COVERAGE RADIUS

FIRE BARRIER

COMPONENTS PER

CBC 1005.3.2

North Housing, Block A

GED ARCA

PAUL M

*PS. I ACC

OF CALIFORN

MCELWEE

PSH PHASE 2

520 MOSLEY AVENUE

ALAMEDA, CA 94501 JOB NO. DRAWN **Author**

CHECKED Checker JOB CAPTAIN Approver

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DRAWING TITLE PSH 2 - CODE **ANALYSIS EGRESS** DIAGRAM

North Housing, Block A

PSH PHASE 2

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DESCRIPTION

DRAWING TITLE PSH 2 - GPR SCORECARD

SCALE

MULTIFAMILY Certification Level Targeted: The GreenPoint Rated checklist tracks green features incorporated into the home. GreenPoint Rated is administered by Build It Green, a non-profit whose mission is to promote healthy, energy and resource efficient buildings. Compliance Pathway Targeted: Option 2: All Electric C The minimum requirements of GreenPoint Rated are: verification of 50 or more points; Earn the following minimum points per category: Commuity (2) Energy (25), Indoor Air Quality/Health (6), Resources (6), and Water (6); and meet the prerequisites T24 Compliance Targeted: depending on State. For California: CALGreen Mandatory, E5.2, H6.1, J5.1, J6, O1, O7. Outside California: ICC 700 Mandatory Measures, E5.2, H6.1, J5.1, O1, O7. ■ Points Targeted The criteria for the green building practices listed below are described in the GreenPoint Rated New Home Rating Manual v8.2. For more information please visit www.builditgreen.org/greenpointrated Build It Green is not a code enforcement agency. A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater and submitted through Build It New Home Multifamily Version 8.2 ameda North Housing Block A, PSH 2 Yes CALGreen (REQUIRED) No A1. Construction Footprint A2. Job Site Construction Waste Diversion A2.1 70% C&D Waste Diversion (Including Alternative Daily Cover) A2.2 Recycling Rates from Third-Party Verified Mixed-Use Waste Facility A3. Recycled Content Base Material A4. Heat Island Effect Reduction (Non-Roof) TBD A5. Construction Environmental Quality Management Plan Including Flush-Out A6. Stormwater Control: Prescriptive Path A6.1 Permeable Paving Material A6.2 Filtration and/or Bio-Retention Features A6.3 Non-Leaching Roofing Materials A6.4 Smart Stormwater Street Design
A7. Stormwater Control: Performance Path B1. Fly Ash and/or Slag in Concrete B2. Radon-Resistant Construction (Required for EPA Radon Zone 1) B3. Foundation Drainage System No B4. Moisture Controlled Crawlspace **B5. Structural Pest Controls** B5.1 Termite Shields and Separated Exterior Wood-to-Concrete Connections B5.2 Plant Trunks, Bases, or Stems at Least 36 Inches from the Foundation

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ameda North Housing Block A, PSH 2 TBD J1. Third-Party Verification of Quality of Insulation Installation J2. Supply and Return Air Flow Testing J3. Mechanical Ventilation Testing and Low Leakage

J4. All Electric or Combustion Appliance Safety Testing J5. Building Energy Performance Option 2: All Electric J5.1 Home Outperforms Title 24 J5.2 Non-Residential Spaces Outperform Title 24 J6. Title 24 Prepared and Signed by a CABEC Certified Energy Analyst J7. Participation in Utility Program with Third-Party Plan Review J8. ENERGY STAR® for Homes J9. EPA Indoor airPlus Certification
J10. Blower Door Testing J11. Compartmentalization of Units _ K1. Entryways Designed to Reduce Tracked-In Contaminants K1.2 Entryways to Buildiings K2. Low-VOC Interior Wall and Ceiling Paints K2.1 Zero-VOC Interior Wall and Ceiling Paints (< 5 gpl) K3. Low-VOC Caulks and Adhesives __K4. Environmentally Preferable Materials for Interior Finish K4.1 Cabinets 2 ≥50% K4.2 Interior Trim 2 ≥50% K4.3 Shelving 2

K4.5 Countertops K5. Formaldehyde Emissions in Interior Finish Exceed CARB K5.1 Doors K5.2 Cabinets and Countertops K5.3 Interior Trim and Shelving K6. Products That Comply With the Health Product Declaration Open Standard No K7. Indoor Air Formaldehyde Level Less Than 27 Parts Per Billion K8. Comprehensive Inclusion of Low Emitting Finishes
K9. Durable Cabinets K10. At Least 25% of Interior Furniture Has Environmentally Preferable Attributes

2 2 2 1 2 1 1 L1. Environmentally Preferable Flooring

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lameda North Housing Block A, PSH 2 O5. Home System Monitors
O5.1. Home Energy Monitoring Systems
O5.2. Home Water System Monitors O6. Green Building Education O6.1 Marketing Green Building O6.2 Green Building Signage O7. Green Appraisal Addendum O8. Detailed Durability Plan and Third-Party Verification of Plan Implementation O9. Residents Are Offered Free or Discounted Transit Passes O10. Vandalism Deterrence Practices and Vandalism Management Plan O11. Smokefree Housing O12. Integrated Pest Management Plan 1 1 P1. Acoustics: Noise and Vibration Control Enter the number of Tier 1 practices Enter the number of Tier 2 practices P2. Mixed-Use Design Strategies P2.1 Tenant Improvement Requirements for Build-Outs P2.2 Commercial Loading Area Separated for Residential Area P2.3 Separate Mechanical and Plumbing Systems P3.1 Design Phase P3.2 Construction Phase P4. Building Enclosure Testing TBD _____ Enter Innovation 1 description here. Enter up to four points at right. Enter Innovation 2 description here. Enter up to four points at right. Enter Innovation 3 description here. Enter up to four points at right. Enter Innovation 4 description here. Enter up to four points at right.
 Total Available Points in Specific Categories
 405
 47
 136
 73
 91
 58

 Minimum Points Required in Specific Categories
 50
 2
 25
 6
 6
 6

 Total Points Targeted
 195.3
 18.0
 95.3
 27.0
 30.0
 25.0

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lameda North Housing Block A, PSH 2

Enter the number of Tier 2 services N3.2 Connection to Pedestrian Pathways N3.3 Traffic Calming Strategies N3.4 Sidewalks Buffered from Roadways and 5-8 Feet Wide N3.5 Bicycle Storage for Residents N3.6 Bicycle Storage for Non-Residents 1 space per unit N3.7 Reduced Parking Capacity N4. Outdoor Gathering Places N4.1 Public or Semi-Public Outdoor Gathering Places for Residents N4.2 Public Outdoor Gathering Places with Direct Access to Tier 1 Community N5. Social Interaction N5.1 Residence Entries with Views to Callers NS.2 Entrances Visible from Street and/or Other Front Doors NS.3 Porches Oriented to Street and Public Space N6. Passive Solar Design N6.1 Heating Load N6.2 Cooling Load N7. Adaptable Building

N7.1 Universal Design Principles in Units N7.2 Full-Function Independent Rental Unit N8. Resiliency N8.1 Climate Impact Assessment N8.2 Strategies to Address Assessment Findings N9. Social Equity

N9.1 Diverse Workforce N9.2 Community Location N10.1 Dedicated Units for Households Making 80% of AMI or Less N10.2 Units with Multiple Bedrooms for Households Making 80% of AMI or Less N10.3 At Least 20% of Units at 120% AMI or Less are For Sale N11. Mixed-Use Developments
N11.1 Live/Work Units Include a Dedicated Commercial Entrance N11.2 At Least 2% of Development Floor Space Supports Mixed Use

N11.3 Half of the Non-Residential Floor Space is Dedicated to Community Service Yes O1. GreenPoint Rated Checklist in Blueprints Yes O2. Pre-Construction Kickoff Meeting with Rater and Subcontractors TBD O3. Orientation and Training to Occupants—Conduct Educational Walkthroughs O4. Builder's or Developer's Management Staff are Certified Green Building

Y R R R R

J. BUILDING PERFORMANCE AND TESTING Draft GreenPoint Rated New Home Multi Family Version 6.0

G2.1 WaterSense Bathroom Facuets ≤ 1.0 gpm Less Than 500 Grams ≤ 1.28 gpf OR ≤ 1.1 gpf G2.4 Urinals with Flush Rate of ≤ 0.1 gpf
G3. Pre-Plumbing for Graywater System G4. Operational Graywater System No G5. Thermostatic Shower Valve or Auto-Diversion Tub Spout No G6. Submeter Water for Tenants H. HEATING, VENTILATION, AND AIR CONDITIONING H1. Sealed Combustion Units H1.1 Sealed Combustion Furnace H1.2 Sealed Combustion Water Heater H2. High Performing Zoned Hydronic Radiant Heating System H3. Effective Ductwork

G2.1 WaterSense Showerheads ≤ 1.8 gpm with Matching Compensation Valve

Yes H3.1 Duct Mastic on Duct Joints and Seams H3.2 Pressure Balance the Ductwork System H4. ENERGY STAR® Bathroom Fans H4.1 ENERGY STAR® Bathroom Fans Per HVI Standards H5. Advanced Practices for Cooling H5.1 ENERGY STAR® Ceiling Fans in Living Areas and Bedrooms No H5.2 Operable Windows and Skylights Located to Induce Cross Ventilation in At H6. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality H6.1 Meet ASHRAE Standard 62.2-2016 Ventilation Residential Standards

1 1 H6.2 Advanced Ventilation Standards H6.3 Outdoor Air is Filtered and Tempered H7. Effective Range Design and Installation H7.1 Effective Range Hood Ducting and Design H7.2 Automatic Range Hood Control H8. High Efficiency HVAC Filter (MERV 16+)

No H9. Advanced Refrigerants 0.0% I1. Onsite Renewable Generation (Solar PV, Solar Thermal, and Wind)

12. Net Zero Energy Home I2.1 Near Zero Energy Home

12.2 Low Carbon Home No 13. Energy Storage
No 14. Solar Hot Water Systems to Preheat Domestic Hot Water ≥60% of common area | I5. Photovoltaic System for Multifamily Projects

ameda North Housing Block A, PSH 2

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C2. Three Inches of Mulch in Planting Beds C3. Resource Efficient Landscapes C3.1 No Invasive Species According to Cal-IPC C3.2 Plants Chosen and Located to Grow to Natural Size C3.3 Drought Tolerant, Native, Mediterranean Species, or Other Appropriate Species C4. Minimal Turf in Landscape C4.1 No Turf on Slopes Exceeding 10% and No Overhead Sprinklers Installed in Areas Less Than Eight Feet Wide C5. Trees to Moderate Building Temperature C6. High-Efficiency Irrigation System

lameda North Housing Block A, PSH 2

C1. Plants Grouped by Water Needs (Hydrozoning)

C4.2 Turf on a Small Percentage of Landscaped Area C6.1 System Uses Only Low-Flow Drip, Bubblers or Sprinklers C8. Rainwater Harvesting System
C9. Recycled Wastewater Irrigation System C10. Submeter or Dedicated Meter for Landscape Irrigation ≤0.5 Eto C11. Landscape Meets Water Budget C12. Environmentally Preferable Materials for Site

C7. One Inch of Compost in the Top Six to Twelve Inches of Soil C12.1 Environmentally Preferable Materials for 70% of Non-Plant Landscape Elements and Fencing C13. Reduced Light Pollution C14. Large Stature Tree(s)
C15. Third Party Landscape Program Certification

Enter the landscape area percentage. Points capped at 3 for less than 15%.

C12.2 Play Structures and Surfaces Have an Average Recycled Content ≥20% C16. Maintenance Contract with Certified Professional C17. Community Garden D. STRUCTURAL FRAME AND BUILDING ENVELOPE

D1. Optimal Value Engineering
D1.1 Joists, Rafters, and Studs at 24 Inches on Center

D1.2 Non-Load Bearing Door and Window Headers Sized for Load D1.3 Advanced Framing Measures D2. Construction Material Efficiencies __ D3. Engineered Lumber D3.1 Engineered Beams and Headers
D3.2 OSB for Subfloor D3.3 OSB for Wall and Roof Sheathing No D4. Insulated Headers
D5. FSC-Certified Wood
D5.1 Dimensional Lumber, Studs, and Timber

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lameda North Housing Block A, PSH 2

D6.1 At Least 90% of Floors
D6.2 At Least 90% of Exterior Walls

D10. Structural Pest and Rot Controls

Materials Other Than Wood

Utility Rooms, and Basements)

E2. Flashing Installation Third-Party Verified

E5.2 Roofing Warranty for Shingle Roofing

E4. Durable and Non-Combustible Cladding Materials

F3. Insulation That Does Not Contain Fire Retardants

E5.1 Durable and Fire Resistant Roofing Materials or Assembly

F1. Insulation with 30% Post-Consumer or 60% Post-Industrial Recycled Content

F2. Insulation that Meets the CDPH Standard Method—Residential for Low Emissions

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2 2

E1. Environmentally Preferable Decking

E3. Rain Screen Wall System

E6. Vegetated Roof

F1.2 Ceilings

F2.2 Ceilings

F3.2 Ceilings

F1.1 Walls and Floors

F2.1 Walls and Floors

F3.1 Cavity Walls and Floors

F3.3 Interior and Exterior Insulation

G1.1 Insulated Hot Water Pipes

G2. Install Water-Efficient Fixtures

lameda North Housing Block A, PSH 2

M2. Efficient Clothes Washing and Drying

M3. Size-Efficient ENERGY STAR® Refrigerator

M4. Permanent Centers for Waste Reduction Strategies

M6. Electric Vehicle Charging Stations and Infrastructure

M5.2 Lighting System Designed to IESNA Footcandle Standards or Designed

N3.1 Pedestrian Access to Services Within 1/2 Mile of Community Services

M2.1. CEE-Rated Clothes Washer

M2.2 ENERGY STAR® Dryer

M2.3 Solar Dryer/ Laundry Lines

M4.1 Built-In Recycling Center

M4.2 Built-In Composting Center

M5.1 High-Efficacy Lighting

by Lighting Consultant

N1.2 Designated Brownfield Site

N1.5 Home Size Efficiency

N1.3 Conserve Resources by Increasing Density

Enter the area of the home, in square feet

N1.4 Cluster Homes for Land Preservation

Enter the number of bedrooms

N2.1 Within 1 Mile of a Major Transit Stop

N3. Pedestrian and Bicycle Access

N2. Home(s)/Development Located Near Transit

Enter the number of Tier 1 services

M5. Lighting Efficiency

M7. Central Laundry

M8. Gearless Elevator

__ N1. Smart Development

Yes ____ N2.2. Within 1/2 mile of a Major Transit Stop

N1.1 Infill Site

Yes L3. Durable Flooring
No L4. Thermal Mass Flooring

TBD M1. ENERGY STAR® Dishwasher

APPLIANCES AND LIGHTING

N. COMMUNITY

G1. Efficient Distribution of Domestic Hot Water

31.2 WaterSense Volume Limit for Hot Water Distribution

G1.3 Increased Efficiency in Hot Water Distribution

E5. Durable Roofing Materials

___ D9. Reduced Pollution Entering the Home from the Garage

D10.1 All Wood Located At Least 12 Inches Above the Soil

D10.2 Wood Framing Treated With Borates or Factory-Impregnated, or Wall

D11. Moisture-Resistant Materials in Wet Areas (such as Kitchen, Bathrooms,

D6.3 At Least 90% of Roofs

D7. Energy Heels on Roof Trusses

D8. Overhangs and Gutters

Yes D9.1 Detached Garage
No D9.2 Mitigation Strategies for Attached Garage

No D5.2 Panel Products
D6. Solid Wall Systems

Yes

Yes

E. EXTERIOR

≥50% 2 K4.4 Doors 1 2

L2. Low-Emitting Flooring Meets CDPH 2010 Standard Method—Residential

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North Housing,

PSH PHASE 2

DESCRIPTION

520 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO.

DRAWN

ISSUE

CHECKED

JOB CAPTAIN

2 | 12/8/21 | SD SET

7 09/29/22 PERMIT SUBMITTAL

Block A

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NRCC-PRF-01-E Project Address: Mosley Ave and Lakehurst Circle Alameda 94501 Calculation Date/Time: 14:24, Mon, May 16, 2022 Input File Name: PSH Building 5-12-22.cibd19x

Energy Component	Standard Design Site (MWh)	Proposed Design Site (MWh)	Margin (MWh)	Standard Design Site (MBtu)	Proposed Design Site (MBtu)	Margir (MBtu)
Space Heating	0.0	28.2	-28.2	172.2		172.2
Space Cooling	11.8	7.2	4.6			
Indoor Fans	11.8	25.2	-13.4			
Heat Rejection						
Pumps & Misc.	0.0					
Domestic Hot Water	1.8	62.6	-60.8	911.6		911.6
Indoor Lighting	12.5	12.5	0.0			>
Compliance Total	37.9	135.7	-97.8	1,083.8	0.0	1083.8
Receptacle	143.9	143.9	0.0	0.5	0.5	0.0
Process	93.8	93.8	0.0	116.6	116.6	0.0
Other Ltg	49.5	49.5	0.0			
Process Motors	0.5	0.5	0.0			
TOTAL	325.6	423.4	-97.8	1,200.9	117.1	1083.8

D. EXCEPTIONAL CONDITIONS

The aged solar reflectance and aged thermal emittance must be listed in the Cool Roof Rating Council database of certified products. For projects where initial reflectance is used, the initial reflectance must be listed, and the aged reflectance is calculated by the software program and used in the compliance model.

This project uses the Simplified Geometry Performance Modeling Approach which is not capable of modeling daylighting controls and assumes the prescriptive Secondary Daylit Control requirements are met. PRESCRIPTIVE COMPLIANCE documentation (form NRCC-LTI-02-E) for the requirements of section 140.6(d) Automatic Daylighting Controls in Secondary Daylit Zones is

E. HERS VERIFICATION

The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below.

Residential ventilation airflow

Building-level Verifications:

Residential kitchen hood rated by HVI

Report Generated at: 2022-05-16 14:29:05

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance

Input File Name: PSH Building 5-12-22.cibd19x	Project Name: Project Address:	PSH Building Mosley Ave and Lakehurst Circle Alameda 94501	NRCC-PRF-01-E Calculation Date/Time:	Page 6 of 22 14:24, Mon, May 16, 2022
input rile Natile. Fon building 3-12-22.ciput9x		<u>'</u>	Calculation Date/ Illile.	14.24, Mon, May 10, 2022
	Input File Name:	PSH Building 5-12-22.cibd19x		

1	2	3	4	5	6	7	8	9
Fenestration Assembly Name / Tag or I.D.	Fenestration Type / Product Type / Frame Type	Certification Method ¹	Assembly Method	Area ft ²	Overall U-factor	Overall SHGC	Overall VT	Status ²
Storefront -1	VerticalFenestration CurtainWall N/A	NFRC Rated	Manufactured	469	0.41	0.26	0.50	N
Windows	VerticalFenestration FixedWindow N/A	NFRC Rated	Manufactured	7368	0.36	0.25	0.50	N
Glass Door	VerticalFenestration GlazedDoor N/A	NFRC Rated	Manufactured	139	0.45	0.23	0.50	N

Report Version: NRCC-PRF-01-E-12092021-6844

1 Newly installed fenestration shall have a certified NFRC Label Certificate or use the CEC default tables found in Table 110.6-A and Table 110.6-B. Center of Glass (COG) values are for the glass-only, determined by the manufacturer, and are shown for ease $of \ verification. \ Site-built \ fenestration \ values \ are \ calculated \ per \ Nonresidential \ Appendix \ NA6 \ and \ are \ used \ in \ the \ analysis.$ ² Status: N - New, A – Altered, E – Existing

1	2	3	4	5	6	7	8	9	10	11	12
				Heatin	g			Cooling	ooling		
Equipment Name	Equipment Type	Qty	Total Heating Output (kBtu/h)	Supp Heat Output (kBtuh)	Efficiency Unit	Efficiency	Total Cooling Output (kBtu/h)	Efficiency Unit	Efficiency	Economizer Type (if present)	Status ¹
HP1-5	SZHP (Split1Phase)	1	54	0	HSPF	8.200	48	SEER/EER	14.000/8.300	NoEconomizer	N
HP1-3	SZHP (Split3Phase)	1	20	0	HSPF	8.20	18	SEER/EER	14.00/12.20	NoEconomizer	N
HP1-4	SZHP (Split1Phase)	1	35	0	HSPF	8.200	29	SEER/EER	16.000/10.500	NoEconomizer	N
HP1-6	SZHP (Split1Phase)	1	42	0	HSPF	8.200	35	SEER/EER	14.000/8.600	NoEconomizer	N
HP1-7	SZHP (Split3Phase)	1	20	0	HSPF	8.20	18	SEER/EER	16.70/13.00	NoEconomizer	N
HP1-8	SZHP (Split3Phase)	1	20	0	HSPF	8.20	18	SEER/EER	16.70/13.00	NoEconomizer	N
HP1-9	SZHP (Split3Phase)	1	20	0	HSPF	8.20	18	SEER/EER	16.70/13.00	NoEconomizer	N
HP1-10	SZHP (Split3Phase)	1	20	0	HSPF	8.20	18	SEER/EER	16.70/13.00	NoEconomizer	N

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-12092021-6844 Report Generated at: 2022-05-16 14:29:05

Project Name:		PSH Building					NRCC-PRF-01-E		Page 9 of 22				
Project Address:		Mosley Ave ar	nd Lakehurst	Circle Alameda 94503	1		Calculation Date	/Time:	14:24, Mon, May	16, 2022			
Input File Name:		PSH Building 5	5-12-22.cibd	19x									
H2. FAN SYSTEMS	SUN	IMARY											—
1	2	3	4	5	6	7	8	9	10	11	12	13	14
		Design OA		•	Supply Fan					Return Fan			ν
Name or Item Tag	Qty	CFM	CFM	Modeling Method	Power	Power Units	Control	СҒМ	Modeling Method	Power	Power Units	Control	Status
RHP-1 1st Floor 1 Bed PSH	3	0	713	BrakeHorsePower	0.053	bhp	ConstantVolume	NA	NA	NA	NA	NA	N
RHP-3 2nd/3rd Floor	14	0	390	BrakeHorsePower	0.023	bhp	ConstantVolume	NA	NA	NA	NA	NA	٨
RHP-1 1Bed 2nd/3rd Floor	12	0	713	BrakeHorsePower	0.053	bhp	ConstantVolume	NA	NA	NA	NA	NA	N
RHP-1 1Bed 4th Floor PSH1	5	0	713	BrakeHorsePower	0.053	bhp	ConstantVolume	NA	NA	NA	NA	NA	N
RHP-3 4th Floor	6	0	390	BrakeHorsePower	0.023	bhp	ConstantVolume	NA	NA	NA	NA	NA	N
RHP-2 2Bed 4th Floor PSH1	1	0	1045	BrakeHorsePower	0.079	bhp	ConstantVolume	NA	NA	NA	NA	NA	N
MC1-1	1	0	500	BrakeHorsePower	0.049	bhp	ConstantVolume	NA	NA	NA	NA	NA	N
RHP-1 1st Floor 1Bed PSH2	3	0	713	BrakeHorsePower	0.053	bhp	ConstantVolume	NA	NA	NA	NA	NA	N
RHP-3 1st Floor PSH2	6	0	390	BrakeHorsePower	0.023	bhp	ConstantVolume	NA	NA	NA	NA	NA	N
RHP-3 2nd Floor PSH2	6	0	390	BrakeHorsePower	0.023	bhp	ConstantVolume	NA	NA	NA	NA	NA	N
RHP-1 1Bed 2nd Floor PSH2	5	0	713	BrakeHorsePower	0.053	bhp	ConstantVolume	NA	NA	NA	NA	NA	N
RHP-1 1Bed 3rd Floor PSH2	6	0	713	BrakeHorsePower	0.053	bhp	ConstantVolume	NA	NA	NA	NA	NA	N
RHP-3 3rd Floor PSH2	7	0	390	BrakeHorsePower	0.023	bhp	ConstantVolume	NA	NA	NA	NA	NA	N
RHP-1 1Bed 4th Floor PSH2	6	0	713	BrakeHorsePower	0.053	bhp	ConstantVolume	NA	NA	NA	NA	NA	N
RHP-3 4th Floor PSH2	7	0	390	BrakeHorsePower	0.023	bhp	ConstantVolume	NA	NA	NA	NA	NA	N
MC2-1	1	0	635	BrakeHorsePower	0.049	bhp	ConstantVolume	NA	NA	NA	NA	NA	N

DRAWING TITLE PSH 2 - TITLE 24 REPORT

NRCC-PRF-01-E Mosley Ave and Lakehurst Circle Alameda 94501 Calculation Date/Time: 14:24, Mon, May 16, 2022 Project Address: Input File Name: PSH Building 5-12-22.cibd19x A. GENERAL INFORMATION **1** Project Location (city) 8 Standards Version **2** CA Zip Code **9** Compliance Software (version) EnergyPro 8.3 10 Weather File 3 Climate Zone OAKLAND_724930_CZ2010.epw 11 Building Orientation (deg) 4 Total Conditioned Floor Area in Scope 5 Total Unconditioned Floor Area 12 Permitted Scope of Work NewComplete

13 Building Type(s)

7 Total # of dwelling units Table Instructions: Table B shows which building components are included in the performance calculation. If indicated as not included, the project must show compliance prescriptively if within permit application. Building Components Complying via Performance Building Components Complying Prescriptively ☐ Performance | The following building components are ONLY eligible for prescriptive overed Process: Commercial ompliance and should be documented on the NRCC form listed if within Envelope (see Table G) Not Included the scope of the permit application (i.e. compliance will not be shown ☐ Not Included on the NRCC-PRF-E). Performance Indoor Lighting (Unconditioned)§140.6 | NRCC-LTI-E Mechanical (see Table H) Not Included NRCC-LTO-E Not Included Outdoor Lighting §140.7 Performance Sign Lighting §140.8 Domestic Hot Water (see Table I) ☐ Not Included lectrical power systems, commissioning, solar ready, elevator and scalator requirements are mandatory and should on the NRCC form Lighting (Indoor Conditioned, see listed if applicable (i.e. compliance will not be shown on the NRCC-PRF-E.) Not Included Electrical Power Distribution S110.11 NRCC-ELC-E Commissioning S120.8 NRCC-CXR-E Solar Thermal Water Heating (see Solar Ready S110.10

Report Version: NRCC-PRF-01-E-12092021-6844 CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance

Total Fenestration Area (ft²)

3

Aged Solar Reflectance

0.63

21 5 U-Factor 0.048

3 | 4 | 5 | 6 | 7 | 8

NRCC-PRF-01-E

Framing Cavity Continuous
Type R-Value R-Value

Calculation Date/Time: 14:24, Mon, May 16, 2022

2,297 ft²

1,642 ft²

556 ft²

1,501 ft²

5,996 ft²

4

Thermal Emittance

0.75

Value

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Window to Wall Ratio (%)

Not Provided

Description of Assembly Layers

Stucco - 7/8 in. Vapor permeable felt - 1/8 in. Extruded Polystyrene - XPS - 1 in.

R5.00 Wood framed wall, 16in. OC, 5.5in.,

Gypsum Board - 5/8 in.

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27.2%

22.9%

10.7%

21.3%

High-Rise Residential

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Project Address:

Input File Name:

Space Heating

Space Cooling

Heat Rejection

Pumps & Misc.

Process Motors

Domestic Hot Water Indoor Lighting

Indoor Fans

Mosley Ave and Lakehurst Circle Alameda 94501

C1. COMPLIANCE RESULTS FOR PERFORMANCE COMPONENTS (Annual TDV Energy Use, kBtu/ft 2-yr)

¹ Notes: The number in parenthesis following the Compliance Margin in column 4. represents the Percent Better than Standard.

¹ Notes: This table is used to document compliance with programs OTHER THAN Title 24 Part 6, if applicable.

PSH Building 5-12-22.cibd19x

Energy Component

ENERGY STANDARDS COMPLIANCE TOTAL

Miscellaneous Energy Component

C2. RESULTS FOR 'ABOVE CODE' QUALIFICATIONS¹

COMPLIANCE TOTAL PLUS MISCELLANEOUS COMPONENTS

☐ This project is pursuing CalGreen Tier 1

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COMPLIES

Standard Design (TDV)

Standard Design (TDV)

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Proposed Design (TDV)

☐ This project is pursuing CalGreen Tier 2

Proposed Design (TDV)

0.32

276.55

Calculation Date/Time: 14:24, Mon, May 16, 2022

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Report Generated at: 2022-05-16 14:29:05

32.35 (27.2%)

32.4 (10.5%)

Compliance Margin (TDV)¹

Project Address:	Mosley Ave and La	kehurst Circle Alameda 94	501		Calc	ulation Date/Ti	me: 14:2	.4, Mon, May 1	6, 2022
Input File Name:	PSH Building 5-12-2	22.cibd19x							
G3. OPAQUE SURFACE ASSEMBLY SUMMARY									
1		2	3	4	5	6	7	8	
Surface Name		Surface Type	Area (ft²)	Framing Type	Cavity R-Value	Continuous R-Value	Units	Value	Description

1	2	3	4	5	6	7	8	9	10
Surface Name	Surface Type	Area (ft²)	Framing Type	Cavity R-Value	Continuous R-Value	Units	Value	Description of Assembly Layers	Status ¹
Slab On Grade15	UndergroundFloor	17863	NA	0	NA	F-Factor	0.73	Slab Type = UnheatedSlabOnGrade Insulation Orientation = None Insulation R-Value = R0	N
R-30+R1017	Roof	17894	Wood	30	10	U-Factor	0.025	Single Ply Roofing - 1/4 in. Gypsum Board - 1/2 in. Extruded Polystyrene - XPS - 2 in. R10.00 Vapor permeable felt - 1/8 in. Plywood - 5/8 in. Wood framed roof, 16in. OC, 11.25in., R-30 Gypsum Board - 5/8 in.	N
Interior Wall Type E33	InteriorWall	2785	Wood	13	NA	U-Factor	0.085	Gypsum Board - 5/8 in. Plywood - 1/2 in. Wood framed wall, 16in. OC, 3.5in., R-13 Gypsum Board - 5/8 in.	N
Interior Floor78	InteriorFloor	47066	Wood	19	NA	U-Factor	0.045	Linoleum/cork tile - 1/4 in. Gypsum Board - 5/8 in. Gypsum Board - 5/8 in. Plywood - 3/4 in. Wood framed floor, 16in. OC, 7.25in., R-19 Gypsum Board - 5/8 in. Gypsum Board - 5/8 in.	N

¹ Status: N - New, A – Altered, E – Existing	9

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Project Name:

Project Address:

Input File Name:

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance

PSH Building 5-12-22.cibd19x

Mosley Ave and Lakehurst Circle Alameda 94501

PSH Building

G4. OPAQUE DOOR SUMMARY		
1	2	3
Assembly Name	Overall U-factor	Status ¹
Metal Door45	0.700	N

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Wood

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Project Name:

Input File Name:

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Project Address: Input File Name:

6 Total # of Stories (Habitable Above Grade)

Mosley Ave and Lakehurst Circle Alameda 94501

Total Gross Surface Area (ft²)

¹ North-Facing is oriented to within 45 degrees of true north, including 45°00'00" east of north (NE), but excluding 45°00'00" west of north (NW).

³ South-Facing is oriented to within 45 degrees of true south, including 45°00'00" west of south (SW), but excluding 45°00'00" east of south (SE).

Area (ft²)

38867

⁴ West-Facing is oriented to within 45 degrees of true west, including 45°00'00" north of due west (NW), but excluding 45°00'00" south of west (SW).

² East-Facing is oriented to within 45 degrees of true east, including 45°00'00" south of east (SE), but excluding 45°00'00" north of east (NE).

8,435 ft²

7,160 ft²

5,217 ft²

7,315 ft²

28,127 ft² 13,732 ft²

Roof Pitch

Low-Slope

PSH Building 5-12-22.cibd19x

North-Facing¹

South-Facing³

West-Facing⁴

Assembly Name

R-30+R1017

Surface Type

ExteriorWall

Mosley Ave and Lakehurst Circle Alameda 94501

East-Facing²

G1. ENVELOPE GENERAL INFORMATION (conditioned spaces only)

Opaque Surfaces & Orientation

G2. CRRC ROOFING PRODUCT SUMMARY

G3. OPAQUE SURFACE ASSEMBLY SUMMARY

Surface Name

R-21+R5 Wall8

PSH Building

PSH Building 5-12-22.cibd19x

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance

1	2	3	4	5	6	7	8	9	10	11	12
				Heatin	g			Cooling			
Equipment Name	Equipment Type	Qty	Total Heating Output (kBtu/h)	Supp Heat Output (kBtuh)	Efficiency Unit	Efficiency	Total Cooling Output (kBtu/h)	Efficiency Unit	Efficiency	Economizer Type (if present)	status.
HP1-1	SZHP (Split1Phase)	1	42	0	HSPF	8.200	35	SEER/EER	14.000/8.600	NoEconomizer	N
HP1-2	SZHP (Split1Phase)	1	42	0	HSPF	8.200	35	SEER/EER	14.000/8.600	NoEconomizer	N
HP2-1	SZHP (Split1Phase)	1	54	0	HSPF	8.200	48	SEER/EER	14.000/8.300	NoEconomizer	N
HP-3 1st Floor PSH1	PTHP (NA)	4	15	14	СОР	3.1	13	EER	10.2	NA	N
HP-1 1st Floor 1 Bed PSH	MiniSplitHP (Split1Phase)	3	19	0	HSPF	10.700	18	SEER/EER	18.900 / 12.500	NA	N
RHP-3 2nd/3rd Floor	PTHP (NA)	14	15	14	СОР	3.1	13	EER	10.2	NA	N
RHP-1 1Bed 2nd/3rd Floor	MiniSplitHP (Split1Phase)	12	19	0	HSPF	10.700	18	SEER/EER	18.900 / 12.500	NA	N
HP-1 1Bed 4th Floor PSH1	MiniSplitHP (Split1Phase)	5	19	0	HSPF	10.700	18	SEER/EER	18.900 / 12.500	NA	N
RHP-3 4th Floor	PTHP (NA)	6	15	14	СОР	3.1	13	EER	10.2	NA	N
HP-2 2Bed 4th Floor PSH1	MiniSplitHP (Split1Phase)	1	24	0	HSPF	12.500	24	SEER/EER	18.000 / 12.700	NA	N
MC1-1	MiniSplitHP (Split3Phase)	1	20	0	HSPF	8.20	18	SEER/EER	17.00 / 11.90	NA	N
DUD 1 1st Flagr 1Dad	NA::::C:::LID								19.000 /		

1	2	3	4	5	6	7	8	9	10	11	1
				Heatin	g			Cooling			Г
Equipment Name	Equipment Type	Qty	Total Heating Output (kBtu/h)	Supp Heat Output (kBtuh)	Efficiency Unit	Efficiency	Total Cooling Output (kBtu/h)	Efficiency Unit	Efficiency	Economizer Type (if present)	
HP1-1	SZHP (Split1Phase)	1	42	0	HSPF	8.200	35	SEER/EER	14.000/8.600	NoEconomizer	
HP1-2	SZHP (Split1Phase)	1	42	0	HSPF	8.200	35	SEER/EER	14.000/8.600	NoEconomizer	
HP2-1	SZHP (Split1Phase)	1	54	0	HSPF	8.200	48	SEER/EER	14.000/8.300	NoEconomizer	
RHP-3 1st Floor PSH1	PTHP (NA)	4	15	14	СОР	3.1	13	EER	10.2	NA	T
RHP-1 1st Floor 1 Bed PSH	MiniSplitHP (Split1Phase)	3	19	0	HSPF	10.700	18	SEER/EER	18.900 / 12.500	NA	
RHP-3 2nd/3rd Floor	PTHP (NA)	14	15	14	СОР	3.1	13	EER	10.2	NA	T
RHP-1 1Bed 2nd/3rd Floor	MiniSplitHP (Split1Phase)	12	19	0	HSPF	10.700	18	SEER/EER	18.900 / 12.500	NA	Ī
RHP-1 1Bed 4th Floor PSH1	MiniSplitHP (Split1Phase)	5	19	0	HSPF	10.700	18	SEER/EER	18.900 / 12.500	NA	Ī
RHP-3 4th Floor	PTHP (NA)	6	15	14	СОР	3.1	13	EER	10.2	NA	T
RHP-2 2Bed 4th Floor PSH1	MiniSplitHP (Split1Phase)	1	24	0	HSPF	12.500	24	SEER/EER	18.000 / 12.700	NA	Ī
MC1-1	MiniSplitHP (Split3Phase)	1	20	0	HSPF	8.20	18	SEER/EER	17.00 / 11.90	NA	Ī
RHP-1 1st Floor 1Bed PSH2	MiniSplitHP (Split1Phase)	3	19	0	HSPF	10.700	18	SEER/EER	18.900 / 12.500	NA	Ī
RHP-3 1st Floor PSH2	PTHP (NA)	6	15	14	СОР	3.1	13	EER	10.2	NA	Γ
HP-3 2nd Floor PSH2	PTHP (NA)	6	15	14	СОР	3.1	13	EER	10.2	NA	Γ
HP-1 1Bed 2nd Floor PSH2	MiniSplitHP (Split1Phase)	5	19	0	HSPF	10.700	18	SEER/EER	18.900 / 12.500	NA	Ī
RHP-1 1Bed 3rd Floor PSH2	MiniSplitHP (Split1Phase)	6	19	0	HSPF	10.700	18	SEER/EER	18.900 / 12.500	NA	T
RHP-3 3rd Floor PSH2	PTHP (NA)	7	15	14	СОР	3.1	13	EER	10.2	NA	t

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H1. DRY SYSTEM EQUIPMENT (furnaces, air handling units, heat pumps, VRF, economizers etc.) 5 | 6 | 7 | 8 | 9 | 11 Qty Total Heating Supp Heat **Equipment Type Equipment Name** Cooling Output Efficiency Unit Output (kBtu/h) present) Output (kBtuh) (kBtu/h) RHP-1 1Bed 4th Floor MiniSplitHP 18.900 / 10.700 SEER/EER 12.500 (Split1Phase) RHP-3 4th Floor PSH2 PTHP (NA) EER 10.2 NA 13 MiniSplitHP MC2-1 8.20 SEER/EER 17.00 / 11.90 (Split3Phase) ¹ Status: N - New, A – Altered, E – Existing

H2. FAN SYSTEMS	SUM	MARY											
1	2	3	4	5	6	7	8	9	10	11	12	13	14
		Design OA			Supply Fan					Return Fan			St
Name or Item Tag	Qty	CFM	CFM	Modeling Method	Power	Power Units	Control	CFM	Modeling Method	Power	Power Units	Control	Status ¹
HP1-5	1	321	1400	BrakeHorsePower	0.401	bhp	ConstantVolume	NA	NA	NA	NA	NA	N
HP1-3	1	56	635	BrakeHorsePower	0.401	bhp	ConstantVolume	NA	NA	NA	NA	NA	N
HP1-4	1	128	882	BrakeHorsePower	0.401	bhp	ConstantVolume	NA	NA	NA	NA	NA	N
HP1-6	1	131	1130	BrakeHorsePower	0.401	bhp	ConstantVolume	NA	NA	NA	NA	NA	N
HP1-7	1	21	635	BrakeHorsePower	0.055	bhp	ConstantVolume	NA	NA	NA	NA	NA	N
HP1-8	1	41	635	BrakeHorsePower	0.055	bhp	ConstantVolume	NA	NA	NA	NA	NA	N
HP1-9	1	46	635	BrakeHorsePower	0.055	bhp	ConstantVolume	NA	NA	NA	NA	NA	N
HP1-10	1	39	635	BrakeHorsePower	0.055	bhp	ConstantVolume	NA	NA	NA	NA	NA	N
HP1-1	1	170	1130	BrakeHorsePower	0.401	bhp	ConstantVolume	NA	NA	NA	NA	NA	N
HP1-2	1	255	1130	BrakeHorsePower	0.401	bhp	ConstantVolume	NA	NA	NA	NA	NA	N
HP2-1	1	468	1400	BrakeHorsePower	0.401	bhp	ConstantVolume	NA	NA	NA	NA	NA	N
RHP-3 1st Floor PSH1	4	0	390	BrakeHorsePower	0.023	bhp	ConstantVolume	NA	NA	NA	NA	NA	N

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PAUL M C MCELWEE A C REN C-28734
C-28734 CALIFORNIA

North Housing, Block A

PSH PHASE 2

520 MOSLEY AVENUE

ALAMEDA, CA 94501 JOB NO.

DRAWN Author CHECKED Checker JOB CAPTAIN Approver

ISSUE DATE DESCRIPTION 7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE PSH 2 - TITLE 24 REPORT

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CFM CFM Modeling Method people ¹ Status: N - New, A – Altered, E – Existing Lodging - Multipurpose assembly 1-Community Room 7-MGMT Office Office - Office space H3. EXHAUST FAN SUMMARY 12-1st Floor Corridor Residential - Common corridors 3 4 5 16-Conference 1420 General - Conference/meeting Power Per Flow Total Static Pressure (in. H₂O) CFM **Motor BHP** System ID Zone Name 17-Office 1440 Office - Office space (W/cfm) 18-Health/Breakout Rm Office - Office space Restroom26 0.100 19-1st Floor Corridor Residential - Common corridors ¹ Status: N - New, A — Altered, E — Existing

H4. Wet System Equipment(boilers,chillers,cooling towers,etc.) This Section Does Not Apply

H5. PUMPS This Section Does Not Apply

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H6. SYSTEM SPECIAL FEATURES 3 4 Window Interlocks per Other Special Features and Controls System Name **Equipment Type** DHW PSH11 - SHW Service Hot Water, Primary Only Fixed Temperature Control Service Hot Water, Primary Only DHW PSH2283 - SHW Fixed Temperature Control

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Η9 ΖΟΝΔΙ SYSTEM Δ		ΙΜΜΔΡΥ										
1	2	3	4	5	6	7	8	9	10	11	12	13
System ID	Zone Name	System Type	Qty	Rated C	apacity :uh)	Ai	rflow (cfm)	1		Fa	an	
System ID	Zone Name	System Type	Qiy	Heating	Cooling	Design	Min.	Min. Ratio	Power	Power Units	Cycles	VSD
RHP-3 2nd/3rd Floor	26-2nd/3rd Floor Studio PSH1	PTHP	14	15.00	13.00	390	NA	NA	0.023	bhp	\boxtimes	
27-2nd/3rd Floor Studio PSH1-EXH	26-2nd/3rd Floor Studio PSH1	VentilationOnly Balanced	14	NA	NA	50	NA	NA	0.160	W/cfm		
RHP-1 1Bed 2nd/3rd Floor	27-2nd/3rd Floor 1bed PSH1	MiniSplitHP	12	19.00	18.00	713	NA	NA	0.053	bhp	×	
28-2nd/3rd Floor 1bed PSH1-EXH	27-2nd/3rd Floor 1bed PSH1	VentilationOnly Balanced	12	NA	NA	80	NA	NA	0.150	W/cfm		
RHP-1 1Bed 4th Floor PSH1	28-4th Floor 1bed PSH1	MiniSplitHP	5	19.00	18.00	713	NA	NA	0.053	bhp	×	
29-4th Floor 1bed PSH1-EXH	28-4th Floor 1bed PSH1	VentilationOnly Balanced	5	NA	NA	80	NA	NA	0.150	W/cfm		
RHP-3 4th Floor	29-4th Floor Studio PSH1	PTHP	6	15.00	13.00	390	NA	NA	0.023	bhp	×	
30-4th Floor Studio PSH1-EXH	29-4th Floor Studio PSH1	VentilationOnly Balanced	6	NA	NA	50	NA	NA	0.160	W/cfm		
RHP-2 2Bed 4th Floor PSH1	30-4th Floor 2bed PSH1	MiniSplitHP	1	24.00	24.00	1045	NA	NA	0.079	bhp	×	
31-4th Floor 2bed PSH1-EXH	30-4th Floor 2bed PSH1	VentilationOnly Balanced	1	NA	NA	100	NA	NA	0.150	W/cfm		
MC1-1	31-Utility Rm Zone	MiniSplitHP	1	20.00	18.00	500	NA	NA	0.049	bhp		
RHP-1 1st Floor 1Bed PSH2	35-1st Floor 1Bed PSH2	MiniSplitHP	3	19.00	18.00	713	NA	NA	0.053	bhp	×	
36-1st Floor 1Bed PSH2-EXH	35-1st Floor 1Bed PSH2	VentilationOnly Balanced	3	NA	NA	80	NA	NA	0.150	W/cfm		
RHP-3 1st Floor PSH2	36-1st Floor Studio PSH2	PTHP	6	15.00	13.00	390	NA	NA	0.023	bhp	\boxtimes	

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Project Name:	PSH	Building					NRC	C-PRF-01-E	Page 16	of 22			
Project Address:	Mos	sley Ave and Lakehurs	t Circle	Alameda 9	4501		Calcu	llation Date/Tim	ne: 14:24, N	lon, May 16, 2	022		
Input File Name:	PSH	Building 5-12-22.cibo	19x										
I1. WATER HEA	TER EQUIPM	MENT SUMMARY								,		,	
1	2	3	4	5	6	7	8	9	10	11	12	13	14
Name	Heater Element Type	Tank Type	Qty	Tank Vol (gal)	Rated Input	Rated Input Unit	Efficiency	Efficiency Unit	Tank Insulation R-value (Int/Ext)	Standby Loss Fraction	1st Hour Rating or Flow Rate (gal)	Heat Pump Type	Tank Location or Ambient Condition
Instantaneous													

1	2	3	4	5	6	7	8	9
System Name	Configuration	Туре	Qty in System	Multi-Family Distribution Type	Dwelling Unit Distribution Type	Water Heater Name	Solar Heating System	Compact Distribution
MF0-CHPWH	"Domestic Hot Water (DHW)"	Central	8	No Control (continuous pumping)	Standard	MF0-CHPWH - heater	NA	NA
MF1-CHPWH	"Domestic Hot Water (DHW)"	Central	8	No Control (continuous pumping)	Standard	MF1-CHPWH - heater	NA	NA

1	2	3	4	5	6	7	8
Name	Brand/Model	Number of Compressors	Primary Tank Volume (gal)	Tank Count	Tank R-value	Tank Location	Air Source
MF0-CHPWH	Sanden GS3-45HPA-US (4kW cap @ 40F)	8	570	1	20	Unconditioned Zone	Unconditioned Zone
MF1-CHPWH	Sanden GS3-45HPA-US (4kW cap @ 40F)	8	570	1	20	Unconditioned Zone	Unconditioned Zone

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Calculation Date/Time: 14:24, Mon, May 16, 2022 **DCV or Occupant Sensor** Zone Name # of Supply OA Exhaust Conditioned Area Controls, or Both **Ventilation Function** 21.40 321 0 NA 1.85 56 4.28 128 855 NA 8.70 131 0 261 NA 1.35 41 271 1.52 46 0 304 NA 1.31 39 21-Office 1450 Office - Office space 22-Conference Room General - Conference/meeting 11.33 170 23-Lobby Assembly - Lobbies 16.97 255 0 NA 509 0.07 0 31-Utility Rm Zone General - Unoccupied 31.17 468 32-Community Room 1330 Lodging - Multipurpose assembly NA 43-Utility Rm Zone General - Unoccupied

1	2	3	4	5	6	7	8
	n e	Mechanical	l Ventilatio	n			
Zone Name		# hotel	# of	Supply OA	Exhaust	Conditioned Area	DCV or Occupant Senso
	Ventilation Function	rooms	bedroo ms	СҒМ	CFM	(sf)	Controls, or Both
24-1st Floor Studio PSH1	NA	0	4	200	200	1478	NA
25-1st Floor 1Bed	NA	0	3	240	240	1642	NA
26-2nd/3rd Floor Studio PSH1	NA	0	7	350	350	2551	NA
27-2nd/3rd Floor 1bed PSH1	NA	0	6	480	480	3321	NA
28-4th Floor 1bed PSH1	NA	0	5	400	400	2772	NA

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Input File Name:	PSH Building 5-12-22.c											
H9. ZONAL SYSTEM A	ND TERMINAL UNIT S	UMMARY 3	4	5	6	7	8	9	10	11	12	13
				Rated C	l Capacity tuh)		rflow (cfm)				an	
System ID	Zone Name	System Type	Qty	Heating	Cooling	Design	Min.	Min. Ratio	Power	Power Units	Cycles	VSD
37-1st Floor Studio PSH2-EXH	36-1st Floor Studio PSH2	VentilationOnly Balanced	6	NA	NA	50	NA	NA	0.160	W/cfm		
RHP-3 2nd Floor PSH2	37-2nd Floor Studio PSH2	PTHP	6	15.00	13.00	390	NA	NA	0.023	bhp	×	
38-2nd Floor Studio PSH2-EXH	37-2nd Floor Studio PSH2	VentilationOnly Balanced	6	NA	NA	50	NA	NA	0.160	W/cfm		
RHP-1 1Bed 2nd Floor PSH2	38-2nd Floor 1bed PSH2	MiniSplitHP	5	19.00	18.00	713	NA	NA	0.053	bhp	×	
39-2nd Floor 1bed PSH2-EXH	38-2nd Floor 1bed PSH2	VentilationOnly Balanced	5	NA	NA	80	NA	NA	0.150	W/cfm		
RHP-1 1Bed 3rd Floor PSH2	39-3rd Floor 1bed PSH2	MiniSplitHP	6	19.00	18.00	713	NA	NA	0.053	bhp	×	
40-3rd Floor 1bed PSH2-EXH	39-3rd Floor 1bed PSH2	VentilationOnly Balanced	6	NA	NA	80	NA	NA	0.150	W/cfm		
RHP-3 3rd Floor PSH2	40-3rd Floor Studio PSH2	PTHP	7	15.00	13.00	390	NA	NA	0.023	bhp	×	
41-3rd Floor Studio PSH2-EXH	40-3rd Floor Studio PSH2	VentilationOnly Balanced	7	NA	NA	50	NA	NA	0.160	W/cfm		
RHP-1 1Bed 4th Floor PSH2	41-4th Floor 1bed PSH2	MiniSplitHP	6	19.00	18.00	713	NA	NA	0.053	bhp	×	
42-4th Floor 1bed PSH2-EXH	41-4th Floor 1bed PSH2	VentilationOnly Balanced	6	NA	NA	80	NA	NA	0.150	W/cfm		
RHP-3 4th Floor PSH2	42-4th Floor Studio PSH2	PTHP	7	15.00	13.00	390	NA	NA	0.023	bhp	×	
43-4th Floor Studio PSH2-EXH	42-4th Floor Studio PSH2	VentilationOnly Balanced	7	NA	NA	50	NA	NA	0.160	W/cfm		
MC2-1	43-Utility Rm Zone	MiniSplitHP	1	20.00	18.00	635	NA	NA	0.049	bhp		

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-12092021-6844 Report Generated at: 2022-05-16 14:29:05

Project Name:	PSH Building			NRCC-PRF-01-E		Page 17 of 22		
Project Address:	Mosley Ave and Lakehu	rst Circle Alameda 94	1501	Calculation Date	/Time:	14:24, Mon, M	ay 16, 2022	
nput File Name:	PSH Building 5-12-22.cik	od19x						
4. WATER HEATER E	QUIPMENT SUMMARY -	CHPWH LOOP TAI	NK 4	5	1	6	7	8
-								
Tank Type	Brand/Model	Count	Tank Volume (gal)	Tank Count	Та	nk R-value	Tank Location	Air Source
Tank Type Electric Resistance	Brand/Model NA	Count 1	Tank Volume (gal) 285	Tank Count	Та	nk R-value 20	Tank Location Unconditioned Zone	Air Source

1	2	3	4	5	6
Nater Heating System Name	Number of Recirculation Loops	Loop Insulation Thickness (in)	Recirculation Loop Location	Recirculation Pump Power	Recirculation Pump Power Units
MF0-CHPWH	1	1.5	Conditioned	298	Watts
MF1-CHPWH	1	1.5	Conditioned	298	Watts

1	2	3	4	5	6
		Installed Lighting Dower	Lighting Control Crodits	Additional (Cus	tom) Allowance
Occupancy Type ¹	Conditioned Floor Area ² (ft ²)	Installed Lighting Power (Watts)	Lighting Control Credits (Watts)	Area Category Footnotes (Watts)	Tailored Method (Watts)
Office Area (<250 square feet)	772	540	0	0	0
Corridor Area	1,159	695	0	0	0
Convention, Conference, Multipurpose and Meeting Area	2,178	1,852	0	0	0
Office Area (>250 square feet)	271	176	0	0	0
Main Entry Lobby	509	433	0	0	0
High-Rise Residential Living Spaces	41,616		0	0	0
Electrical, Mechanical, Telephone Rooms	96	38	0	0	0

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-12092021-6844

1-Community Room-Trm	1-Community Room	Uncontrolled	1	NA	NA	1400	NA	0.00	0.401	bhp	NA	
7-MGMT Office-Trm	7-MGMT Office	Uncontrolled	1	NA	NA	635	NA	0.00	0.401	bhp	NA	
12-1st Floor Corridor-Trm	12-1st Floor Corridor	Uncontrolled	1	NA	NA	882	NA	0.00	0.401	bhp	NA	
16-Conference 1420-Trm	16-Conference 1420	Uncontrolled	1	NA	NA	1130	NA	0.00	0.401	bhp	NA	
17-Office 1440-Trm	17-Office 1440	Uncontrolled	1	NA	NA	635	NA	0.00	0.055	bhp	NA	
18-Health/Breakout Rm-Trm	18-Health/Breakout Rm	Uncontrolled	1	NA	NA	635	NA	0.00	0.055	bhp	NA	
19-1st Floor Corridor-Trm	19-1st Floor Corridor	Uncontrolled	1	NA	NA	635	NA	0.00	0.055	bhp	NA	
21-Office 1450-Trm	21-Office 1450	Uncontrolled	1	NA	NA	635	NA	0.00	0.055	bhp	NA	
22-Conference Room-Trm	22-Conference Room	Uncontrolled	1	NA	NA	1130	NA	0.00	0.401	bhp	NA	
23-Lobby-Trm	23-Lobby	Uncontrolled	1	NA	NA	1130	NA	0.00	0.401	bhp	NA	
32-Community Room 1330-Trm	32-Community Room 1330	Uncontrolled	1	NA	NA	1400	NA	0.00	0.401	bhp	NA	

Rated Capacity (kBtuh)

Heating Cooling

NRCC-PRF-01-E

0 6 300

0 3 240

0 6 300

0 6 480

0 7 350

713

NRCC-PRF-01-E

0 5

0 6

Rated Capacity

(kBtuh)

13.00

18.00

Report Version: NRCC-PRF-01-E-12092021-6844

15.00

19.00

Mechanical Ventilation

Page 12 of 22

300

100

240

300

400

480

350

4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13

Airflow (cfm)

350

2187

1689

2227

3361

0.023

0.053

Report Generated at: 2022-05-16 14:29:05

NA NA 0.160 W/cfm

NA 0.150

Page 15 of 22

Calculation Date/Time: 14:24, Mon, May 16, 2022

4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13

DCV or Occupant Sensor

Controls, or Both

NA

NA

NA

NA

NA

NA

NA

NA

NA

Calculation Date/Time: 14:24, Mon, May 16, 2022

3 4 5 6 7

hotel rooms # of bedroo ms CFM CFM Conditioned Area (sf)

100

300

350

480

400

32-Community Room 1330-Trm	32-Community Room 1330	Uncontrolled	1	NA	NA	1400	NA	0.00	0.401	bhp	NA	
H10. EVAPORATIVE C	OOLER SUMMARY											
						-						
This Section Does Not A	pply											
This Section Does Not A H11. HEAT RECOVERY												

	CA Building Energy Efficier	ncy Standards- 2019 Nonresidential Compliance	Report Version: NRC	C-PRF-01-E-12092021-684	4 Re	eport Generated at: 2022-05-16 14:29
Evaluation on Created with Asposic Copyright 2010-2019. A	In the back of the					
	Project Name:	PSH Building		NRCC-PRF-01-E	Page 18 of 22	

Project Name:	PSH Building			NF	RCC-PRF-01-E	Page 18 of 22		
Project Address:	Mosle	sley Ave and Lakehurst Circle Alameda 94501			alculation Date/Time:	14:24, Mon, May 16, 2022		
Input File Name:	PSH B	PSH Building 5-12-22.cibd19x						
K1. INDOOR CONDITIONED LIGHTING GENERAL INFO								
1		2	3		4	5	6	
			In stalled Linksing Barrer	Lighting Control Credits	Additional (Custom) Allowance			
Occupancy Typ	e ¹	Conditioned Floor Area ² (ft ²)	Installed Lighting Power (Watts)	Light	(Watts)	Area Category Footnotes (Watts)	Tailored Method (Watts)	
B. 31.13	ng Totals:	46,601	3,734		0	0	0	

¹ See Table 140.6-C ² See NRCC-LTI-01-E for unconditioned spaces ³Lighting information for existing spaces modeled is not included in the table

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Project Name:

Project Address:

Input File Name:

Zone Name

29-4th Floor Studio PSH1

30-4th Floor 2bed PSH1

35-1st Floor 1Bed PSH2

36-1st Floor Studio PSH2

37-2nd Floor Studio PSH2

38-2nd Floor 1bed PSH2

39-3rd Floor 1bed PSH2

40-3rd Floor Studio PSH2

41-4th Floor 1bed PSH2

42-4th Floor Studio PSH2

System ID

RHP-3 1st Floor PSH1

25-1st Floor Studio

PSH1-EXH

RHP-1 1st Floor 1 Bed

PSH

Project Name:

Project Address:

Input File Name:

System ID

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Report Generated at: 2022-05-16 14:29:05

26-1st Floor 1Bed-EXH 25-1st Floor 1Bed

H9. ZONAL SYSTEM AND TERMINAL UNIT SUMMARY

Zone Name

24-1st Floor Studio

24-1st Floor Studio

25-1st Floor 1Bed

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance

PSH Building 5-12-22.cibd19x

Zone Name

Mosley Ave and Lakehurst Circle Alameda 94501

PSH Building

H9. ZONAL SYSTEM AND TERMINAL UNIT SUMMARY

PSH Building

PSH Building 5-12-22.cibd19x

H8. HIGH-RISE RESIDENTIAL DWELLING UNIT AND HOTEL/MOTEL VENTILATION

Mosley Ave and Lakehurst Circle Alameda 94501

Ventilation Function

NA

NA

NA

NA

System Type

VentilationOnly

Balanced

MiniSplitHP

Balanced

Building Level Controls						
1						
Mandatory Demand Response §110.12(c)			Shut-Off Controls §130.1(c)			
Required				Requ	uired	
Area Level Controls (includes all lighting controls installed in conditioned space to meet mandatory requirements per §130.1)						
4	5	6	7	8	9	10
Area Description	Area Category Primary Function Area	Area Controls 130.1(a)	Multi-Level Controls 130.1(b)	Shut-Off Controls 130.1(c)	Primary Daylighting 130.1(d)	Secondary Daylighting 140.5(d)

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance

Report Version: NRCC-PRF-01-E-12092021-6844

Report Generated at: 2022-05-16 14:29:05

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance

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Project Name:	PSH Building	NRCC-PRF-01-E	Page 19 of 22	
Project Address:	Mosley Ave and Lakehurst Circle Alameda 94501	Calculation Date/Time:	14:24, Mon, May 16, 2022	
Input File Name:	PSH Building 5-12-22.cibd19x			
Table Instructions: Sel compliance. These do	EQUIRED CERTIFICATES OF INSTALLATION ections shall be made by Documentation Author to indicate cuments bust be retained and provided to the building inspirated by the building inspir	ector during construction and can be		
	Form/Title			
Building Component		Form/Title		
Building Component Envelope	NRCI-ENV-01-E - Must be submitted for all buildings	Form/Title		
	NRCI-ENV-01-E - Must be submitted for all buildings NRCI-MCH-01-E - Must be submitted for all buildings	Form/Title		
Envelope Mechanical	<u> </u>	Form/Title		
Envelope	NRCI-MCH-01-E - Must be submitted for all buildings		on systems to be recognized for compliance	

Project Name:	PSH Building	NRCC-PRF-01-E	Page 20 of 22		
Project Address:	Mosley Ave and Lakehurst Circle Alameda 94501	Calculation Date/Time:	14:24, Mon, May 16, 2022		
Input File Name:	PSH Building 5-12-22.cibd19x				
M. DECLARATION OF	REQUIRED CERTIFICATES OF ACCEPTANCE				
compliance. These doc	ections shall be made by Documentation Author to indicate whicuments must be provided to the building inspector during constance information visit:https://www.energy.ca.gov/title24/2019	truction and must be completed	through an Acceptance Test Technician Certification		
Building Component	Form/Title				
Envelope	NRCA-ENV-02-F - NRFC label verification for fenestration				
	NRCA-LTI-02-A - Occupancy Sensors and Automatic Time Switch Controls				
Indoor Lighting	INCA-LIT-02-A - Occupancy Sensors and Automatic Time Switch Com	11015			
Indoor Lighting	NRCA-LTI-04-A - Demand Responsive Lighting Controls	itois			
Indoor Lighting	· ·		pe performed in conjunction with MCH-07-A Supply Fan VFD		
	NRCA-LTI-04-A - Demand Responsive Lighting Controls NRCA-MCH-02-A Outdoor Air must be submitted for all newly installed.		pe performed in conjunction with MCH-07-A Supply Fan VFD		
Indoor Lighting Mechanical	NRCA-LTI-04-A - Demand Responsive Lighting Controls NRCA-MCH-02-A Outdoor Air must be submitted for all newly installed Acceptance (if applicable) since testing activities overlap		pe performed in conjunction with MCH-07-A Supply Fan VFD		
	NRCA-LTI-04-A - Demand Responsive Lighting Controls NRCA-MCH-02-A Outdoor Air must be submitted for all newly installed Acceptance (if applicable) since testing activities overlap NRCA-MCH-03-A Constant Volume Single Zone HVAC	ed HVAC units. Note: MCH02-A can b	pe performed in conjunction with MCH-07-A Supply Fan VFD		

Report Version: NRCC-PRF-01-E-12092021-6844

Report Generated at: 2022-05-16 14:29:05

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance

NRCC-PRF-01-E Page 21 of 22 PSH Building Project Name: Calculation Date/Time: 14:24, Mon, May 16, 2022 Mosley Ave and Lakehurst Circle Alameda 94501 Project Address: PSH Building 5-12-22.cibd19x Input File Name: N. DECLARATION OF REQUIRED CERTIFICATES OF VERIFICATION Table Instructions: Selections shall be made by Documentation Author to indicate which Certificates of Verification must be submitted for the features to be recognized for compliance. These documents bust be retained and provided to the building inspector during construction and can be found online at: https://www.energy.ca.gov/title24/2019standards/2019_compliance_documents/Nonresidential_Documents/NRCV/ **Building Component** Form/Title NRCV-MCH-27 Indoor Air Quality & Mechanical Ventilation NRCV-MCH-32-H Local Mechanical Exhaust

Report Version: NRCC-PRF-01-E-12092021-6844

Report Generated at: 2022-05-16 14:29:05

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Project Name:	PSH Building		NRCC-PRF-01-E	Page 22 of 22		
Project Address:	Mosley Ave and Lakehurst Circle Alameda 94501		Calculation Date/Time:	14:24, Mon, May 16, 2022		
Input File Name:	PSH Building 5-12-22.cibd19x					
	AUTHOR'S DECLARATION STATEMENT cate of Compliance documentation is accurate and complete.		10.0 M	emolo a 1		
Documentation Auth	nor Name: Hayley Monahan	Signatu	Signature:			
Company: EnergySoft			Signature:			
Address: 1025 5th St	reet, Suite A	Signatu	ure Date: 2022-05-16			
City/State/Zip: Novat	to CA 94945	CEA/ H	ERS Certification Identifica	tion (if applicable):		
Phone: 415-301-016	3					
RESPONSIBLE PERS	SON'S DECLARATION STATEMENT					
4. The building design plans and specification 5. I will ensure that a c inspections. I understa	ns submitted to the enforcement agency for approval with this bui completed signed copy of this Certificate of Compliance shall be m and that a completed signed copy of this Certificate of Compliance	ilding permit application. ade available with the build	ing permit(s) issued for the bu	on other applicable compliance documents, worksheets, calculations, iilding, and made available to the enforcement agency for all applicable iilder provides to the building owner at occupancy.		
Responsible Envelop		Signatu	Signature:			
Company: HKIT Arch		Data C	Date Signed:			
Address: 538 Ninth S		Date Si	Date signed:			
City/State/Zip: Oakla Phone: 510-625-980		Title:		License #:		
		1		Electise III.		
Responsible Lighting Company:	Designer Name.	Signatu	Signature:			
Address:		Date Si	Date Signed:			
City/State/Zip:			Date Signed:			
Phone:		Title:		License #:		
Responsible Mechan	ical Designer Name: - specify -			I		
Company:		Signatu	ıre:			
Address:		Date Si	gned:			
City/State/Zip:			-			
Phone:		Title:		License #:		

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-12092021-6844 Report Generated at: 2022-05-16 14:29:05 North Housing, Block A

PSH PHASE 2

520 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO. DRAWN Author

CHECKED Checker JOB CAPTAIN Approver

ISSUE

DATE DESCRIPTION 7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE PSH 2 - TITLE 24 REPORT

SCALE

GENERAL NOTES - SITE PLAN

A. ARCHITECTURAL DATUM 0'-0" EQUALS +6.90' ABOVE SEE LEVEL. REFER TO CIVIL GRADING PLAN.

B. FOR PAVING LAYOUT, FENCING, LANDSCAPING, IRRIGATION, SITE FURNISHINGS AND LANDSCAPE LIGHTING, S.L.D.

C. FOR ON-SITE AND OFF-SITE DEMOLITION, SITE UTILITIES, EASEMENTS, VEHICLE PAVING, AND STRIPING, PARKING AREA SIGNAGE, GRADING AND STREET IMPROVEMENTS S.C.D.

D. FOR SITE LIGHTING S.E.D. AND S.L.D.

E. COORDINATE ALL DIGGING WITH EXISTING UTILITIES.

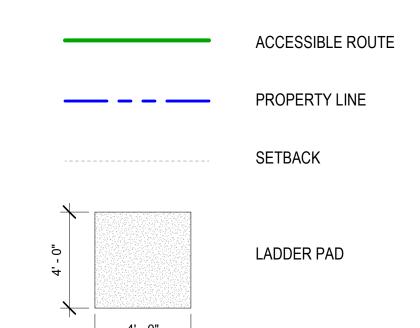
F. PAINT ALL EXPOSED UTILITIES, SUCH AS BACKFLOW PREVENTERS, METERS, TRANSFORMERS, ETC. TO EXTENT PERMISSIBLE BY LOCAL UTILIES. COLOR TO BE SELECTED BY ARCHITECT.

G. FOR DEMOLITION PLAN, S.C.D. FOR TREE PROTECTION PLAN, S.L.D.

H. SEE JOINT TRENCH DESIGN DRAWINGS FOR DRY UTILITY LAYOUT.

LEGEND

FOR ADDITIONAL ARCH SYMBOLS, SEE GENERAL SHEETS



	KEYNOTES
2.01	PROPERTY LINE (BLUE, DOUBLE-DASHED LINE)
2.02	SETBACK LINE
12.96	SHORT-TERM BICYCLE PARKING, S.L.D.
21.05	FIRE DEPARTMENT CONNECTION, S.FP.D.
22.25	AT-GRADE FLOW-THROUGH PLANTER, S.C.D., S.L.D.
22.26	RAISED FLOW-THROUGH PLANTER, S.C.D., S.L.D.
22.27	AT-GRADE BIORETENTION BASIN, S.C.D., S.L.D.
33.01	TRANSFORMER, SEE DRY UTILITY & CIVIL DWGS
34.60	PARKING LOT
34.61	EMERGENCY VEHICLE ACCESS
34.62	ACCESSIBLE PATH OF TRAVEL



NOT FOR CONSTRUCTIO

North Housing, Block A

Alameda, CA 94501

JOB NO. 19009
DRAWN Author
CHECKED Checker
JOB CAPTAIN Approver

ISSUE

 ✓
 DATE
 DESCRIPTION

 1
 08/27/21
 ENTITLEMENT SET

 2
 12/8/21
 SD SET

 3
 12/13/21
 ENTITLEMENT RESUBMITTAL #1

 5
 03/22/22
 100% DD SET

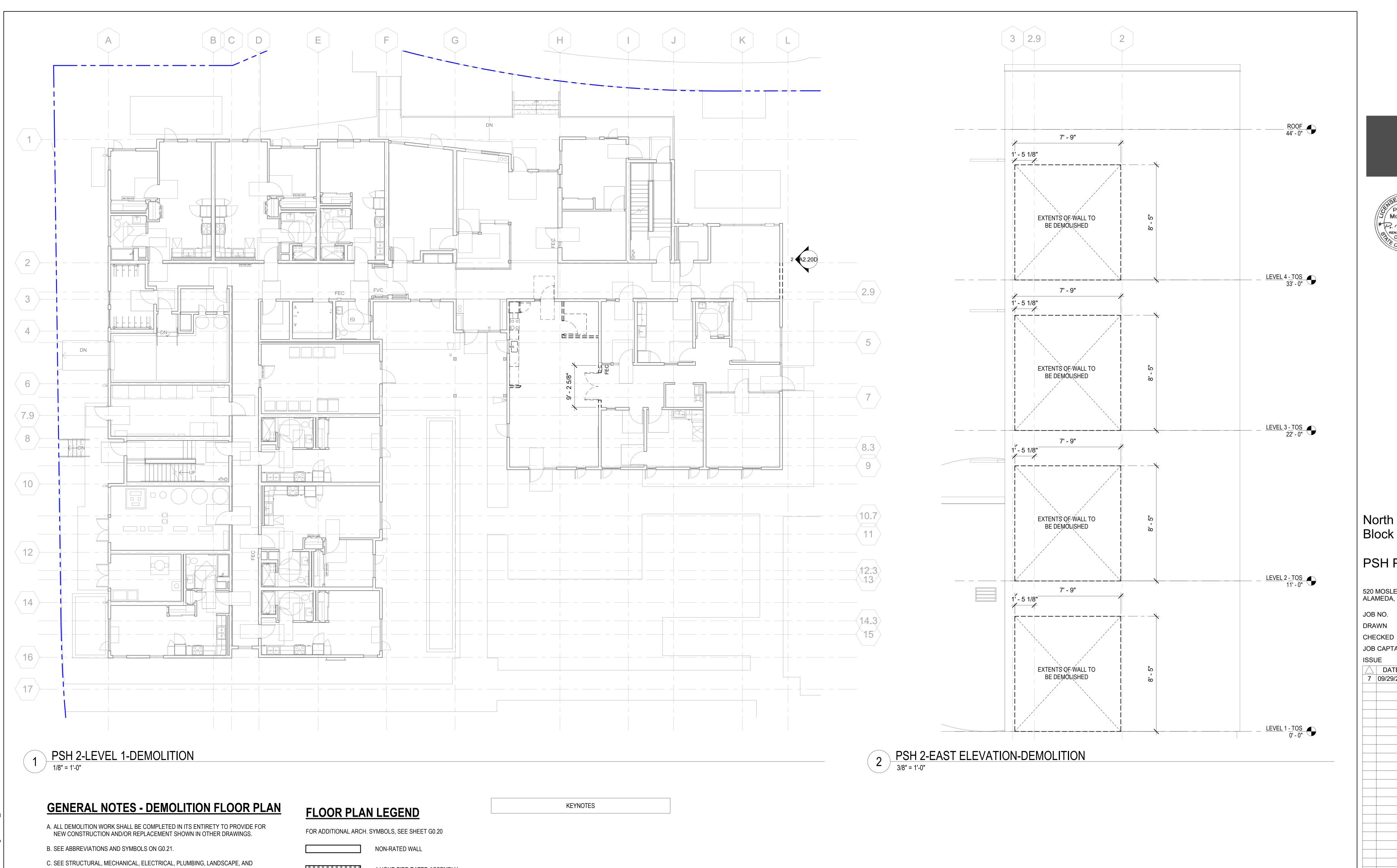
 7
 09/29/22
 PERMIT SUBMITTAL

DRAWING TITLE
SITE PLAN

SCALE As indicated

TRUE NORTH

A111
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1 HOUR FIRE-RATED ASSEMBLY

2 HOUR FIRE-RATED ASSEMBLY

---- ELEMENTS TO BE DEMOLISHED

CIVIL DRAWINGS FOR RELATED SCOPE OF WORK.

DEMOLITION.

D. SEE PLANS, ELEVATIONS, SECTIONS, AND DETAILS FOR FULL EXTENT OF



North Housing, Block A

PSH PHASE 2

520 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO.

JOB CAPTAIN

DESCRIPTION 7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE PSH 2 - 1ST FLOOR PLAN - DEMOLITION

SCALE As indicated

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A. FOR WALL TYPES, SEE A8.00 AND A9.00 SHEETS. SEE ALSO ENLARGED PLANS

B. DIMENSIONS ARE TO FACE OF STUD. DIMENSIONS TO WINDOWS ARE C.L. DIMENSIONS. DIMENSIONS TO DOORS ARE TO C.L, TYPICAL DIMENSIOSN AT DOOR JAMB IS 4" U.O.N.

C. CLOSETS ARE 2'-0" CLEAR DEPTH MIN. U.O.N.

PSH 2 - LEVEL 1 1/8" = 1'-0"

D. SEE ENLARGED PLANS FOR ADDITIONAL INFORMATION.

E. SEE DOOR, WINDOW, LOUVER, STOREFRONT, AND FINISH SCHEDULES FOR ADDITIONAL INFORMATION.

F. FOR TYPICAL UNIT PLANS, SEE A4.X SERIES ARCHITECTURAL ENLARGED PLANS.

G. SEE SLAB PLANS FOR ADDITIONAL INFORMATION INCLUDING LOCATIONS OF CONCRETE CURBS AT WALLS, PITS, DRAINS, PENETRATIONS AND SLAB DEPRESSIONS.

H. SAFETY GLAZING MUST BE PROVIDED AT HAZARDOUS LOCATIONS PER CBC 2406.4, INCLUDING, BUT NOT LIMITED TO, GLAZING WITHIN 18 INCHES OF A WALKING SURFACE, GLAZING IN DOORS AND WINDOWS ADJACENT TO DOORS.

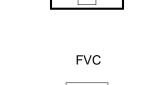
I. SEE SIGNAGE PLANS, A10.4X SERIES.

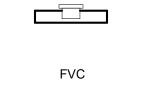
J. WHERE FINISH DOES NOT ALIGN IN CORRIDOR DUE TO INCREASED WALLRATING, ADD ADDITIONAL LAYER FOR THAT SECTION OF CORRIDOR WALL AS NEEDED.

FLOOR PLAN LEGEND

FOR ADDITIONAL ARCH. SYMBOLS, SEE SHEET G0.20

3' WIDE MAINTENANCE PATH





SEMI-RECESSED FIRE EXTINGUISHER CABINET SEE DETAIL 17/A9.21



North Housing, Block A

PSH PHASE 2

520 MOSLEY AVENUE ALAMEDA, CA 94501

DRAWN CHECKED

JOB CAPTAIN

DESCRIPTION 1 08/27/21 ENTITLEMENT SET 2 12/8/21 SD SET 3 | 12/13/21 | ENTITLEMENT

RESUBMITTAL #1 5 | 03/22/22 | 100% DD SET

6 08/22/22 50% CD SET 7 09/29/22 PERMIT SUBMITTAL

KEYNOTES PROPERTY LINE (BLUE, DOUBLE-DASHED LINE) DOWNSPOUT, DIRECT TO WATER TREATMENT AREA, S.C.D.

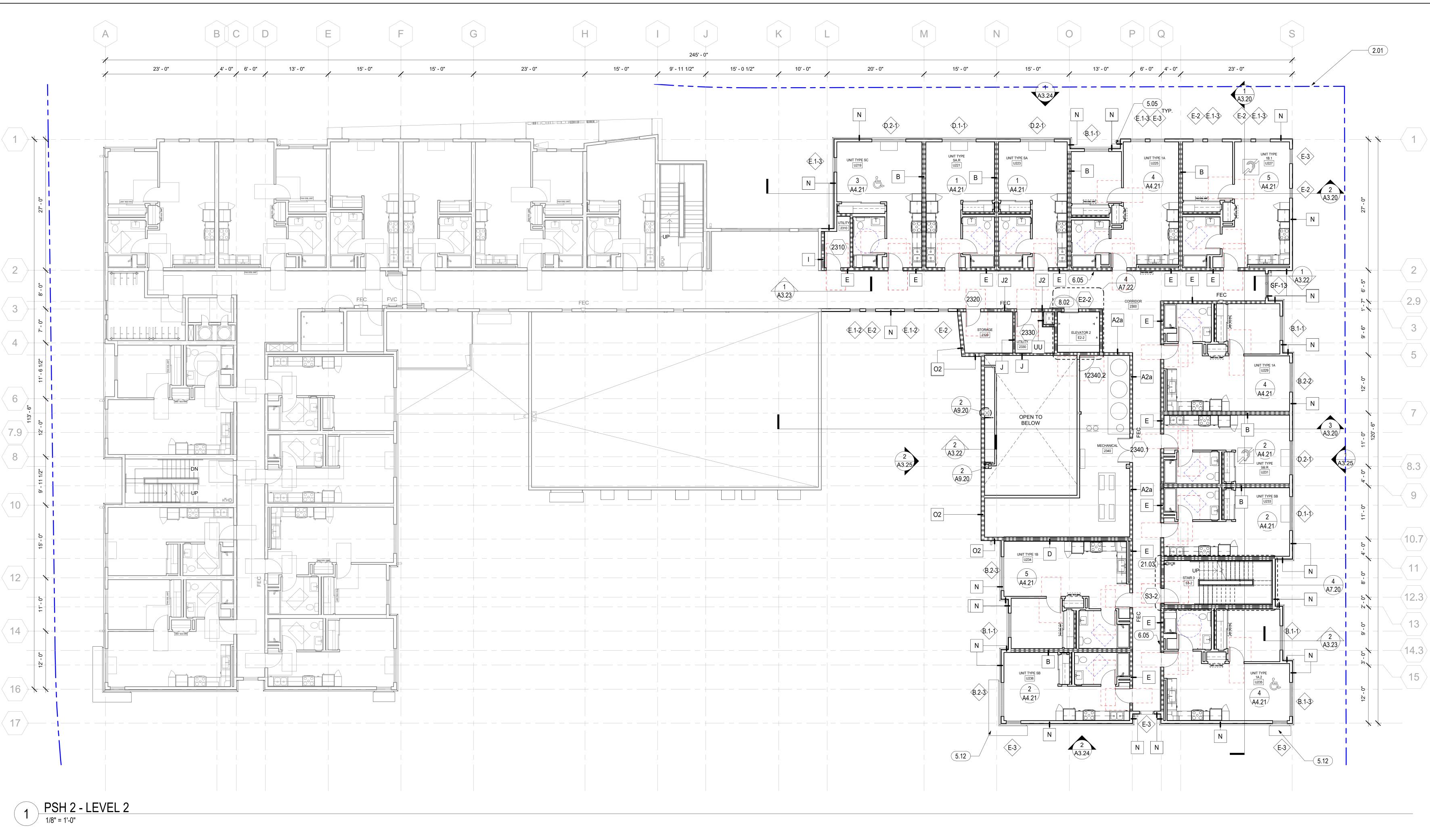
WOOD HANDRAIL, SEE 17/A9.40 ELEVATOR SMOKE DOOR(S) ON EMHO

STANDPIPE, EXACT LAYOUT TO BE COORDINATED. S.FP.D.

DRAWING TITLE PSH 2 - 2ND FLOOR PLAN

SCALE As indicated

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GENERAL NOTES - FLOOR PLAN

- A. FOR WALL TYPES, SEE A8.00 AND A9.00 SHEETS. SEE ALSO ENLARGED PLANS
- B. DIMENSIONS ARE TO FACE OF STUD. DIMENSIONS TO WINDOWS ARE C.L. DIMENSIONS. DIMENSIONS TO DOORS ARE TO C.L, TYPICAL DIMENSIOSN AT DOOR JAMB IS 4" U.O.N.
- C. CLOSETS ARE 2'-0" CLEAR DEPTH MIN. U.O.N.
- D. SEE ENLARGED PLANS FOR ADDITIONAL INFORMATION.
- E. SEE DOOR, WINDOW, LOUVER, STOREFRONT, AND FINISH SCHEDULES FOR ADDITIONAL INFORMATION.
- F. FOR TYPICAL UNIT PLANS, SEE A4.X SERIES ARCHITECTURAL ENLARGED PLANS.
- G. SEE SLAB PLANS FOR ADDITIONAL INFORMATION INCLUDING LOCATIONS OF CONCRETE CURBS AT WALLS, PITS, DRAINS, PENETRATIONS AND SLAB DEPRESSIONS.
- H. SAFETY GLAZING MUST BE PROVIDED AT HAZARDOUS LOCATIONS PER CBC 2406.4, INCLUDING, BUT NOT LIMITED TO, GLAZING WITHIN 18 INCHES OF A WALKING SURFACE, GLAZING IN DOORS AND WINDOWS ADJACENT TO DOORS.
- I. SEE SIGNAGE PLANS, A10.4X SERIES.
- J. WHERE FINISH DOES NOT ALIGN IN CORRIDOR DUE TO INCREASED WALLRATING, ADD ADDITIONAL LAYER FOR THAT SECTION OF CORRIDOR WALL AS NEEDED.

FLOOR PLAN LEGEND

W

FOR ADDITIONAL ARCH. SYMBOLS, SEE SHEET G0.20

1 HOUR FIRE-RATED ASSEMBLY 2 HOUR FIRE-RATED ASSEMBLY

WINDOW / LOUVER TAG

3' WIDE MAINTENANCE PATH

WALL TAG

DOOR TAG

KEYNOTE TAG

L_____J

 $\langle XXX \rangle$

FVC

FAN COIL UNIT

A10.40 FOR SIGNAGE SCHEDULE & DETAILS FAN COIL UNIT, SMD SEMI-RECESSED FIRE EXTINGUISHER CABINET SEE DETAIL 17/A9.21

SIGN TYPE - SEE

60" DIA. ACCESSIBLE WHEELCHAIR TURNING RADIUS

30" X 48" ACCESSIBLE WHEELCHAIR CLEARANCE

DOORS ON ACCESSIBLE ROUTE -REQUIRED CLEARANCE MIN. PUSH SIDE

UNIT IDENTIFICATION LEGEND

UNIT TYPE XX

UNIT#

EXTERIOR DOOR

COMMUNICATION UNIT (HVI) - PER CBC 11B-809.5

UNIT NUMBER

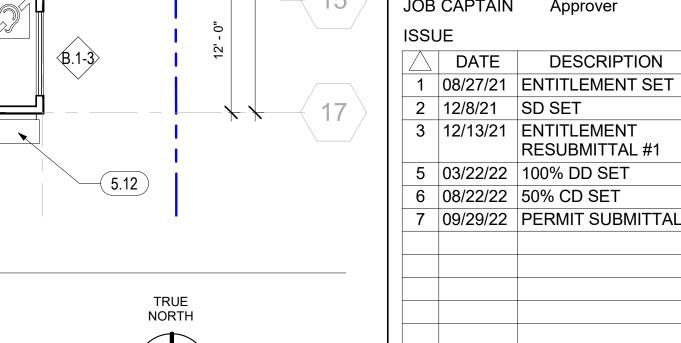
NOTE: A UNIT'S ADDRESS IS ITS UNIT NUMBER,

MOBILITY UNIT - PER CBC 11B-809.2 - 11B-809.4

EXCLUDING THE QUALIFIERS "U" OR "SU"

INTERIOR 2'-0" AT

SEMI-RECESSED FIRE EXTINGUISHER CABINET SEE DETAIL 17/A9.21

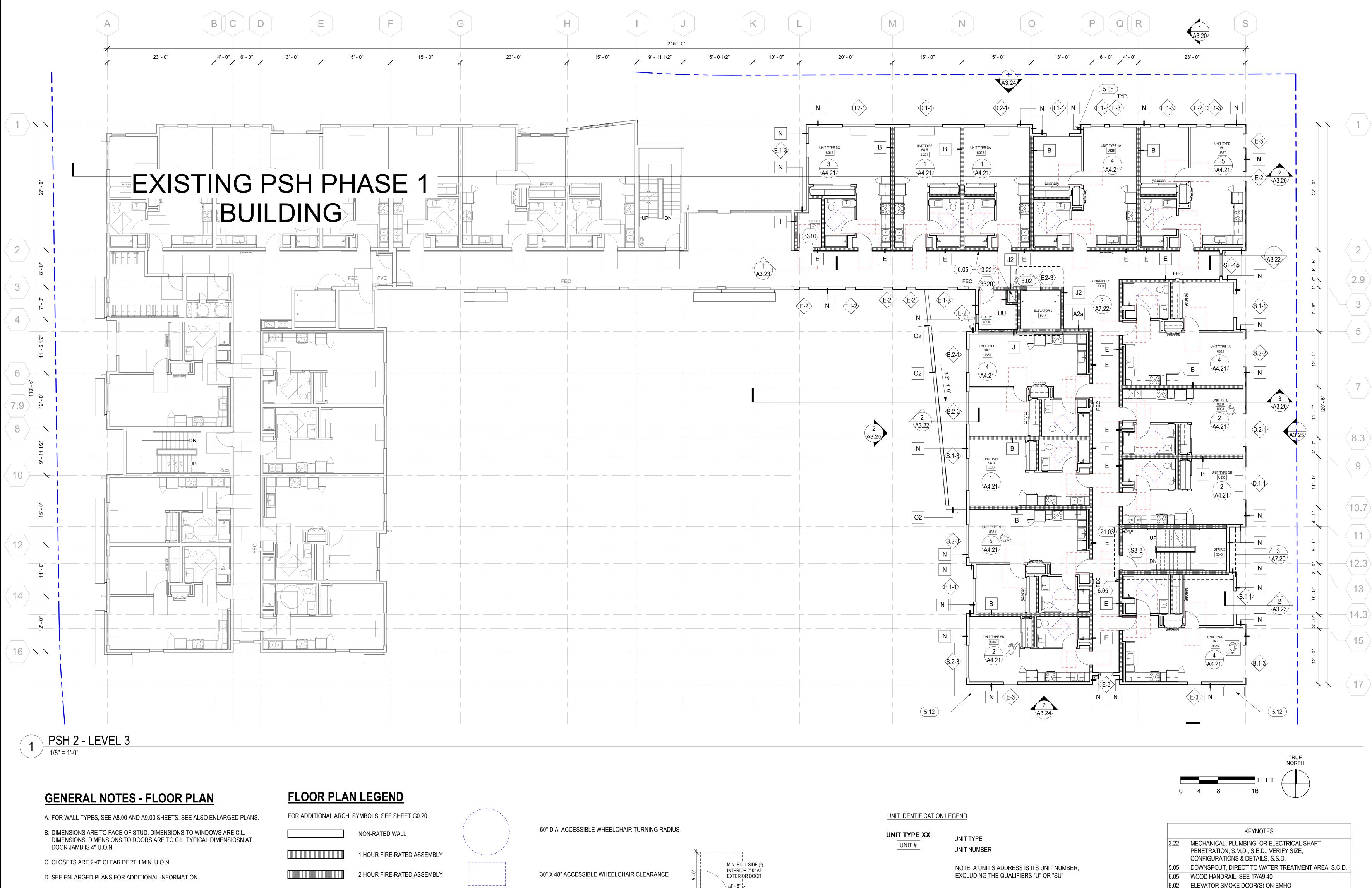


PENETRATION, S.M.D., S.E.D., VERIFY SIZE, CONFIGURATIONS & DETAILS, S.S.D. DOWNSPOUT, DIRECT TO WATER TREATMENT AREA, S.C.D. WOOD HANDRAIL, SEE 17/A9.40 8.02 ELEVATOR SMOKE DOOR(S) ON EMHO 21.03 STANDPIPE, EXACT LAYOUT TO BE COORDINATED. S.FP.D.

> DRAWING TITLE PSH 2 - 3RD FLOOR PLAN

> > SCALE As indicated

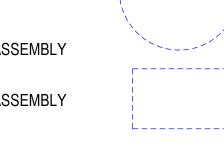
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- E. SEE DOOR, WINDOW, LOUVER, STOREFRONT, AND FINISH SCHEDULES FOR ADDITIONAL INFORMATION.
- F. FOR TYPICAL UNIT PLANS, SEE A4.X SERIES ARCHITECTURAL ENLARGED PLANS.
- G. SEE SLAB PLANS FOR ADDITIONAL INFORMATION INCLUDING LOCATIONS OF CONCRETE CURBS AT WALLS, PITS, DRAINS, PENETRATIONS AND SLAB
- H. SAFETY GLAZING MUST BE PROVIDED AT HAZARDOUS LOCATIONS PER CBC 2406.4, INCLUDING, BUT NOT LIMITED TO, GLAZING WITHIN 18 INCHES OF A WALKING SURFACE, GLAZING IN DOORS AND WINDOWS ADJACENT TO DOORS.
- I. SEE SIGNAGE PLANS, A10.4X SERIES.

DEPRESSIONS.

J. WHERE FINISH DOES NOT ALIGN IN CORRIDOR DUE TO INCREASED WALLRATING, ADD ADDITIONAL LAYER FOR THAT SECTION OF CORRIDOR WALL AS NEEDED.



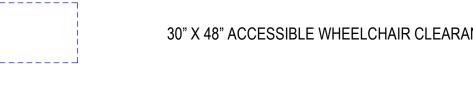
WINDOW / LOUVER TAG

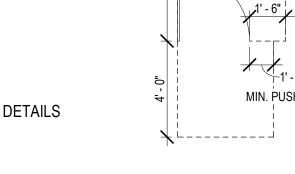
3' WIDE MAINTENANCE PATH

WALL TAG

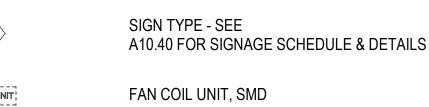
DOOR TAG

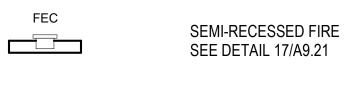
KEYNOTE TAG





DOORS ON ACCESSIBLE ROUTE - REQUIRED CLEARANCE





FVC

 $\langle XXX \rangle$ A10.40 FOR SIGNAGE SCHEDULE & DETAILS FAN COIL UNIT

1' - 0"

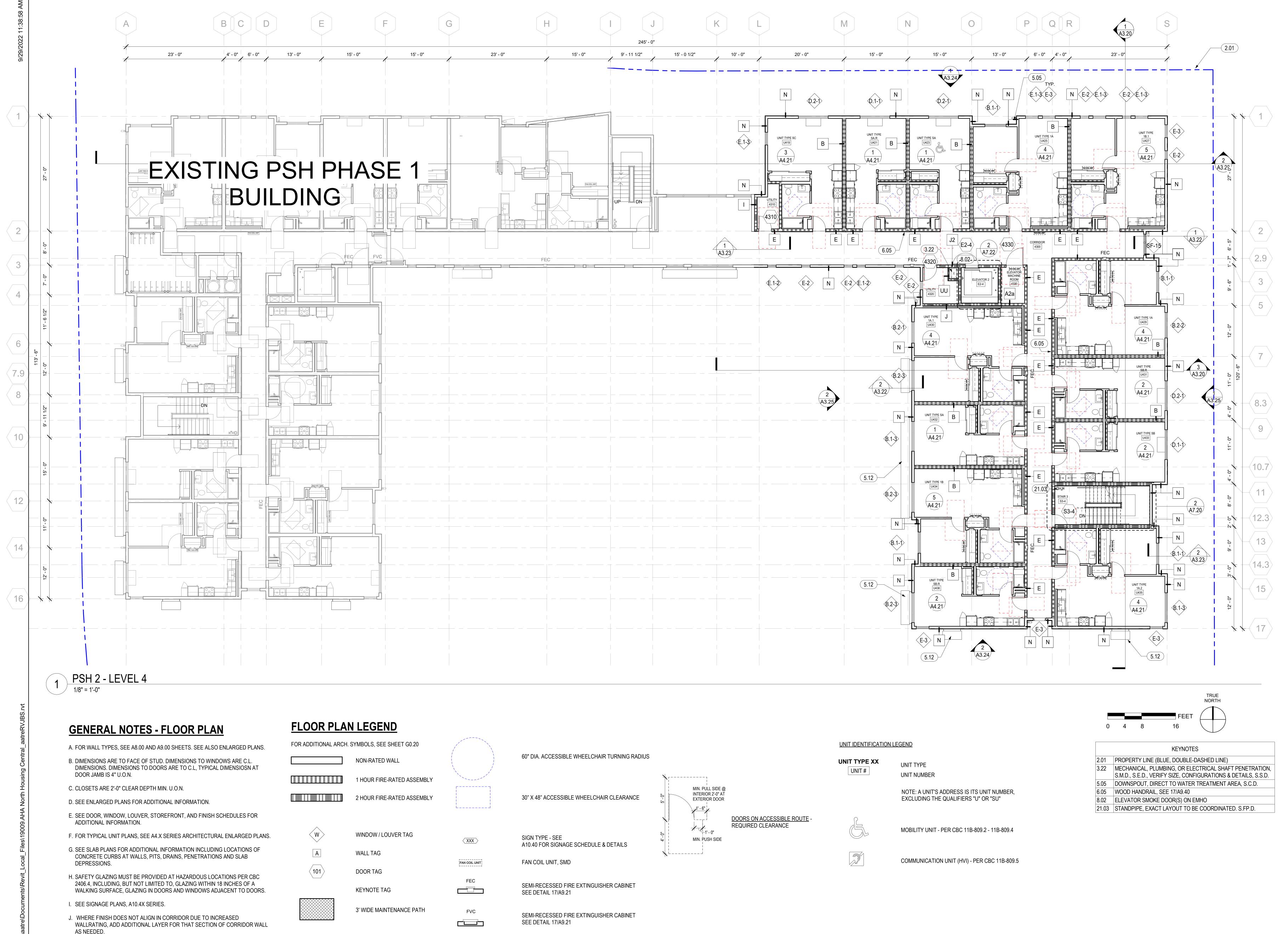
SEMI-RECESSED FIRE EXTINGUISHER CABINET

SEMI-RECESSED FIRE EXTINGUISHER CABINET SEE DETAIL 17/A9.21

MIN. PUSH SIDE

MOBILITY UNIT - PER CBC 11B-809.2 - 11B-809.4

COMMUNICATION UNIT (HVI) - PER CBC 11B-809.5



North Housing,

SENIOR PHASE

2000 LAKEHURST CIRCLE

ALAMEDA, CA 94501

Checker

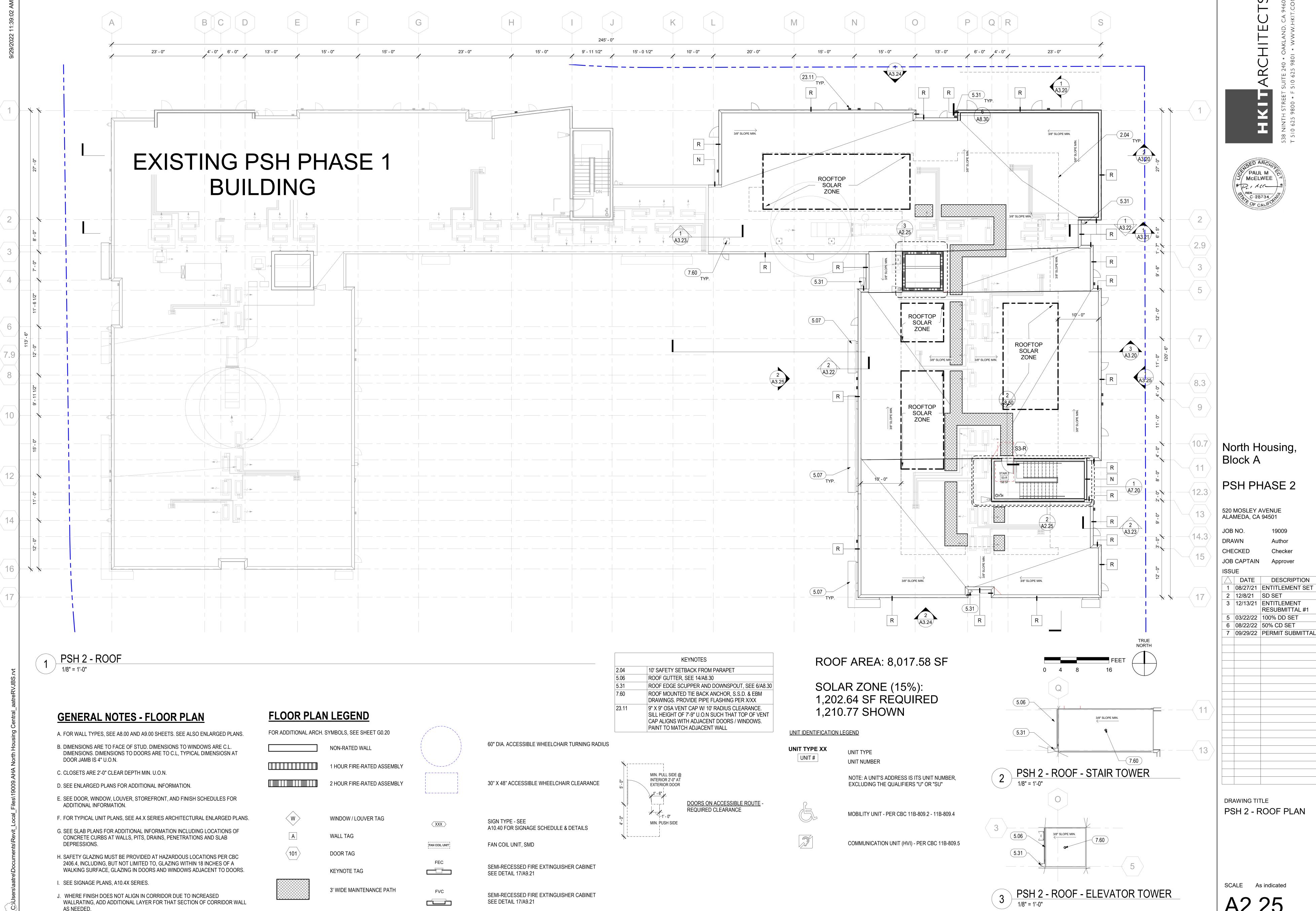
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RESUBMITTAL #1 5 | 03/22/22 | 100% DD SET

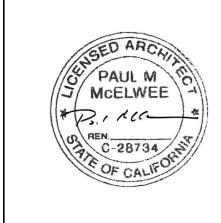
6 08/22/22 50% CD SET 7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE





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A BOO E F G H I V K L M N O P OR S INTERPRETATION OF THE PROPERTY OF THE PROPE

A8.00 TYP.

PSH 2 - NORTH-SOUTH SECTION

1/8" = 1'-0"

2 PSH 2 - EAST-WEST SECTION
1/8" = 1'-0"

North Housing, Block A

PSH PHASE 2

520 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO. 19009
DRAWN Author
CHECKED Checker
JOB CAPTAIN Approver

ISSUE

DATE DESCRIPTION

1 08/27/21 ENTITLEMENT SET

2 12/8/21 SD SET

3 12/13/21 ENTITLEMENT
RESUBMITTAL #1

5 03/22/22 100% DD SET 6 08/22/22 50% CD SET 7 09/29/22 PERMIT SUBMIT

7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE
PSH 2 - BUILDING
SECTIONS

SCALE 1/8" = 1'-

A3.20

North Housing,

Block A

PSH PHASE 2

520 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO. 19009
DRAWN Author
CHECKED Checker

JOB CAPTAIN

 ISSUE

 △ DATE
 DESCRIPTION

 5 03/22/22 100% DD SET

 6 08/22/22 50% CD SET

 7 09/29/22 PERMIT SUBMITTAL

Approver

DRAWING TITLE
PSH 2 - BUILDING
SECTIONS

SCALE 1/8" = 1'-0"

A3.21

GENERAL NOTES - WALL SECTION

A. SEE SHEETS A7.33 & A7.34 FOR ELEVATOR CONTROL ROOM

LAYOUT, DETAILED HOISTWAY PLAN AND SECTION, AND BALANCE OF INFO

North Housing, Block A

PSH PHASE 2

520 MOSLEY AVENUE ALAMEDA, CA 94501

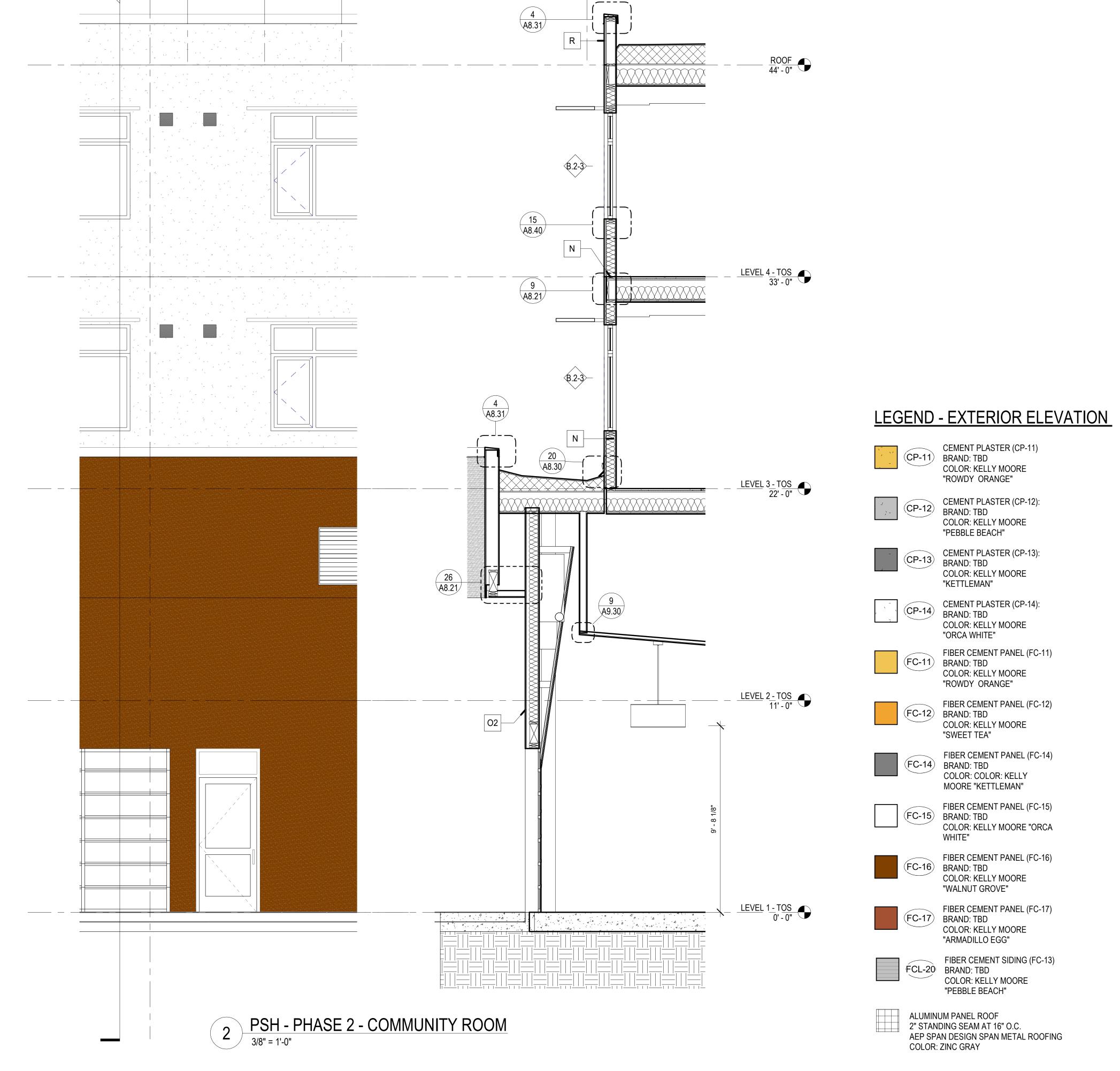
JOB NO. DRAWN Author CHECKED Checker

JOB CAPTAIN ISSUE

DATE DESCRIPTION 2 12/8/21 SD SET 5 03/22/22 100% DD SET

Approver

6 08/22/22 50% CD SET 7 09/29/22 PERMIT SUBMITTAL



\$F-12 29 A8.21 *>*---|||--,

PSH - PHASE 2 - END OF EAST-WEST CORRIDOR
3/8" = 1'-0"

ROOF 44' - 0"

LEVEL 4 - TOS 33' - 0"

LEVEL 3 - TOS 22' - 0"

LEVEL 2 - TOS 11' - 0"

\$F-14

11 A8.51

\$F-13

20 A8.51

\$F-12

N

SCALE As indicated

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DRAWING TITLE

SECTIONS

PSH 2 - WALL

North Housing, Block A

PSH PHASE 2

520 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO. Author DRAWN

CHECKED Checker

JOB CAPTAIN Approver

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DESCRIPTION 5 03/22/22 100% DD SET

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DRAWING TITLE PSH 2 - WALL SECTIONS

PAUL M MCELWEE

North Housing, Block A

PSH PHASE 2

520 MOSLEY AVENUE ALAMEDA, CA 94501

CHECKED JOB CAPTAIN

DESCRIPTION 2 12/8/21 SD SET 3 12/13/21 ENTITLEMENT

RESUBMITTAL #1 5 03/22/22 100% DD SET 6 08/22/22 50% CD SET

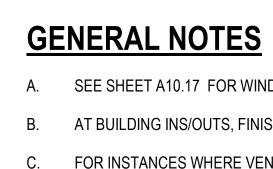
7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE

PSH 2 - EXTERIOR **ELEVATIONS**

SCALE As indicated

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A. SEE SHEET A10.17 FOR WINDOW & STOREFRONT SCHEDULE

B. AT BUILDING INS/OUTS, FINISH MATERIAL TURNS CORNER AND TERMINATES AT INSIDE CORNER.

FOR INSTANCES WHERE VENTS/WINDOWS/DOWNSPOUTS ARE LOCATED ON WALLS NOT VISIBLE ON EXTERIOR ELEVATIONS, SEE FLOOR PLANS AND SHEET A3.49 FOR BALANCE OF INFORMATION

LOUVERS ARE TYPE LV-6 U.O.N. SEE RCPS ON A6 SERIES FOR BALANCE OF INFORMATION. PAINT LOUVERS TO MATCH ADJACENT

KEYNOTES 5.05 DOWNSPOUT, DIRECT TO WATER TREATMENT AREA, S.C.D. 5.11 ALUMINUM SUNSHADE, SEE A8.23 5.30 METAL PARAPET COPING, PAINT TO MATCH WALL, SEE X/XX 8.44 ALUMINUM STOREFRONT, SEE WINDOW & STOREFRONT SCHEDULE 8.52 ROLL-UP GARAGE DOOR WITH GLASS PANELS, SEE DOOR SCHEDULE 9.30 BELLY BAND, SEE 1/A8.21 23.07 8" X 8" EXHAUST VENT CAP W/ 3' RADIUS CLEARANCE. SILL HEIGHT OF 7'-10" U.O.N. SUCH THAT TOP OF VENT CAP ALIGNS WITH ADJACENT DOORS / WINDOWS. PAINT TO MATCH ADJACENT WALL 23.08 MECHANICAL LOUVER, S.M.D., PAINT TO MATCH ADJACENT WALL

23.11 9" X 9" OSA VENT CAP W/ 10' RADIUS CLEARANCE. SILL HEIGHT OF 7'-9" U.O.N SUCH THAT TOP OF VENT CAP ALIGNS WITH ADJACENT DOORS

ELEVATION MATERIAL LEGEND

/ WINDOWS. PAINT TO MATCH ADJACENT WALL

LLLVATION MAT	LINAL LLGLIND			
CP-11 CEMENT PLAS BRAND: TBD COLOR: KELLY "ROWDY ORAI	MOORE FC-11	FIBER CEMENT PANEL (FC-11) BRAND: TBD COLOR: KELLY MOORE "ROWDY ORANGE"	FC-16)	FIBER CEMENT PANEL (FC-16) BRAND: TBD COLOR: KELLY MOORE "WALNUT GROVE"
CP-12 CEMENT PLAS BRAND: TBD COLOR: KELLY "PEBBLE BEAC	MOORE (FC-12)	FIBER CEMENT PANEL (FC-12) BRAND: TBD COLOR: KELLY MOORE "SWEET TEA"	(FC-17)	FIBER CEMENT PANEL (FC-17) BRAND: TBD COLOR: KELLY MOORE "ARMADILLO EGG"
CP-13 CEMENT PLAS' BRAND: TBD COLOR: KELLY "KETTLEMAN"	FC-14	FIBER CEMENT PANEL (FC-14) BRAND: TBD COLOR: COLOR: KELLY MOORE "KETTLEMAN"	FCL-20	FIBER CEMENT SIDING (FC-13) BRAND: TBD COLOR: KELLY MOORE "PEBBLE BEACH"
CP-14 CEMENT PLAS BRAND: TBD COLOR: KELLY "ORCA WHITE"	MOORE FC-15	FIBER CEMENT PANEL (FC-15) BRAND: TBD COLOR: KELLY MOORE "ORCA WHITE"		

ELEVATION LEGEND

OUTSIDE AIR INTAKE 10' RADIUS CLEARANCE EXHAUST 3' RADIUS CLEARANCE WINDOW / LOUVER TAG

KEY PLAN

PSH PHASE 1

SENIOR HOUSING

PSH PHASE 2

Block A

North Housing,

520 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO. Author DRAWN Checker CHECKED JOB CAPTAIN Approver

ISSUE

DATE DESCRIPTION 2 12/8/21 SD SET 3 12/13/21 ENTITLEMENT RESUBMITTAL #1

5 03/22/22 100% DD SET 6 08/22/22 50% CD SET 7 09/29/22 PERMIT SUBMITTAL

PSH PHASE 2

DRAWING TITLE PSH 2 - EXTERIOR **ELEVATIONS**



PSH 2 - EAST ELEVATION
1/8" = 1'-0"



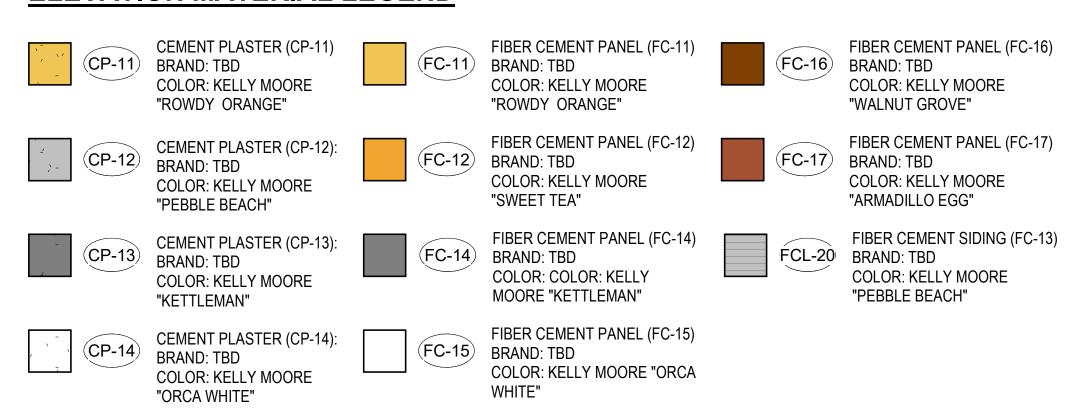
2 PSH 2 - WEST ELEVATION
1/8" = 1'-0"

GENERAL NOTES

- A. SEE SHEET A10.17 FOR WINDOW & STOREFRONT SCHEDULE
- AT BUILDING INS/OUTS, FINISH MATERIAL TURNS CORNER AND TERMINATES AT INSIDE CORNER.
- FOR INSTANCES WHERE VENTS/WINDOWS/DOWNSPOUTS ARE LOCATED ON WALLS NOT VISIBLE ON EXTERIOR ELEVATIONS, SEE FLOOR PLANS AND SHEET A3.49 FOR BALANCE OF INFORMATION
- LOUVERS ARE TYPE LV-6 U.O.N. SEE RCPS ON A6 SERIES FOR BALANCE OF INFORMATION. PAINT LOUVERS TO MATCH ADJACENT

	KEYNOTES
5.05	DOWNSPOUT, DIRECT TO WATER TREATMENT AREA, S.C.D.
5.11	ALUMINUM SUNSHADE, SEE A8.23
5.30	METAL PARAPET COPING, PAINT TO MATCH WALL, SEE X/XX
9.30	BELLY BAND, SEE 1/A8.21
23.08	MECHANICAL LOUVER, S.M.D., PAINT TO MATCH ADJACENT WALL
23.11	9" X 9" OSA VENT CAP W/ 10' RADIUS CLEARANCE. SILL HEIGHT OF 7'-9" U.O.N SUCH THAT TOP OF VENT CAP ALIGNS WITH ADJACENT DOORS / WINDOWS. PAINT TO MATCH ADJACENT WALL

ELEVATION MATERIAL LEGEND



ELEVATION LEGEND

OUTSIDE AIR INTAKE 10' RADIUS CLEARANCE EXHAUST 3' RADIUS CLEARANCE WINDOW / LOUVER TAG

North Housing, Block A

PAUL M MCELWEE

PSH PHASE 2

520 MOSLEY AVENUE ALAMEDA, CA 94501 JOB NO. Author DRAWN Checker CHECKED Approver JOB CAPTAIN

ISSUE DESCRIPTION 6 08/22/22 50% CD SET 7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE

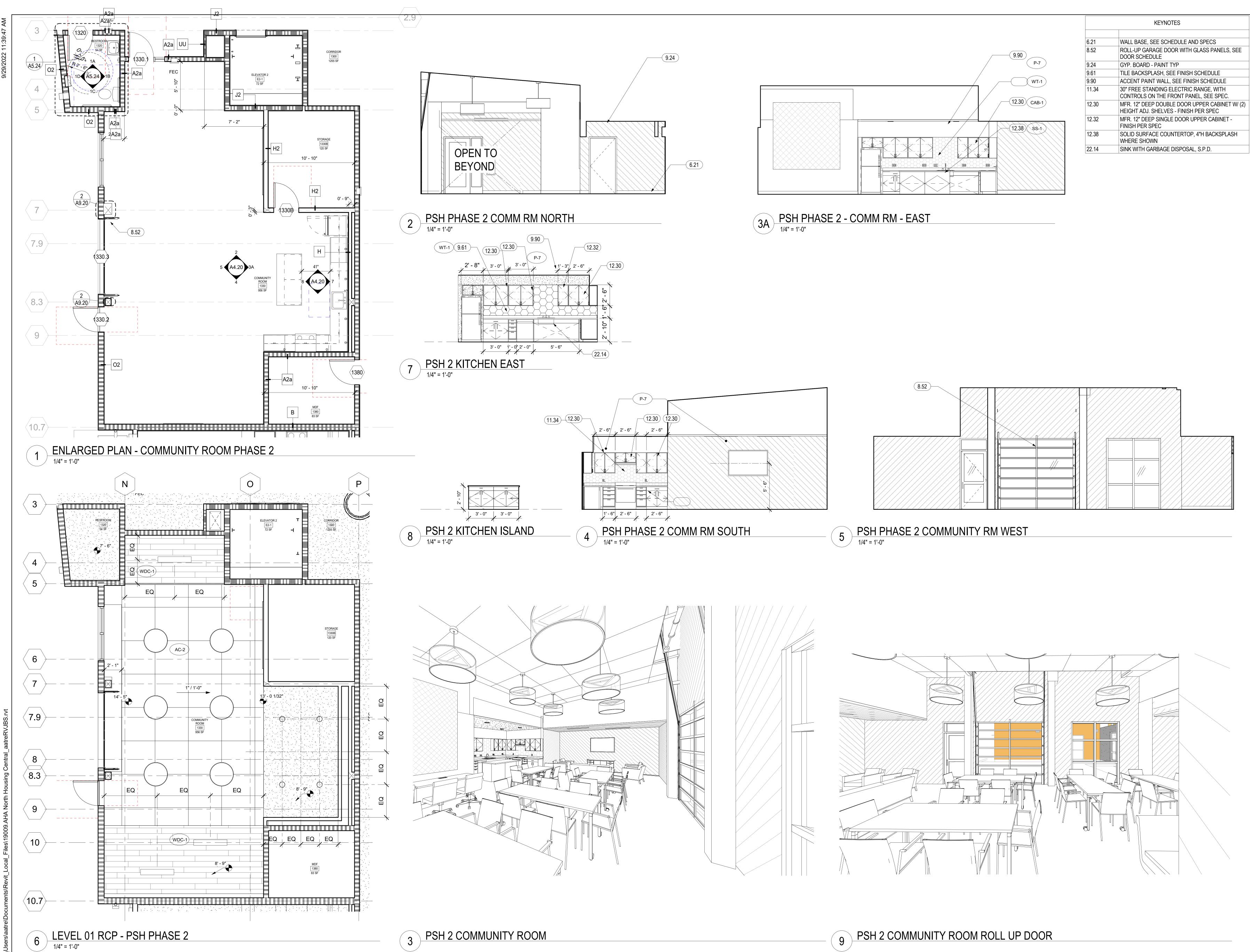
KEY PLAN

PSH PHASE 1

A3.49 1

SENIOR HOUSING

PSH 2 - BUILDING ELEVATIONS



PAUL M MCELWEE

North Housing, Block A

PSH PHASE 2

520 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO.

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ISSUE

DATE DESCRIPTION 2 12/8/21 SD SET

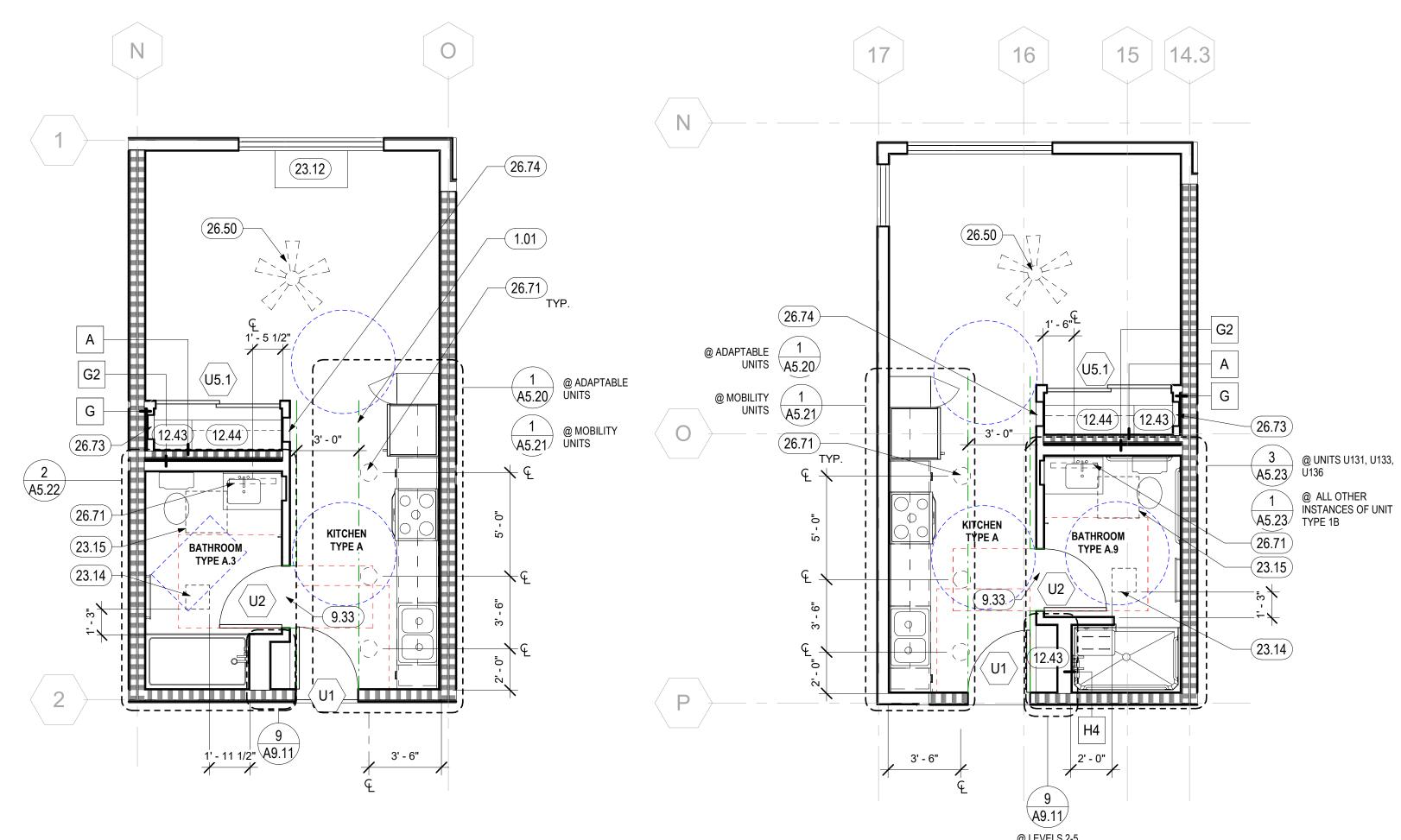
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7 09/29/22 PERMIT SUBMITTAL

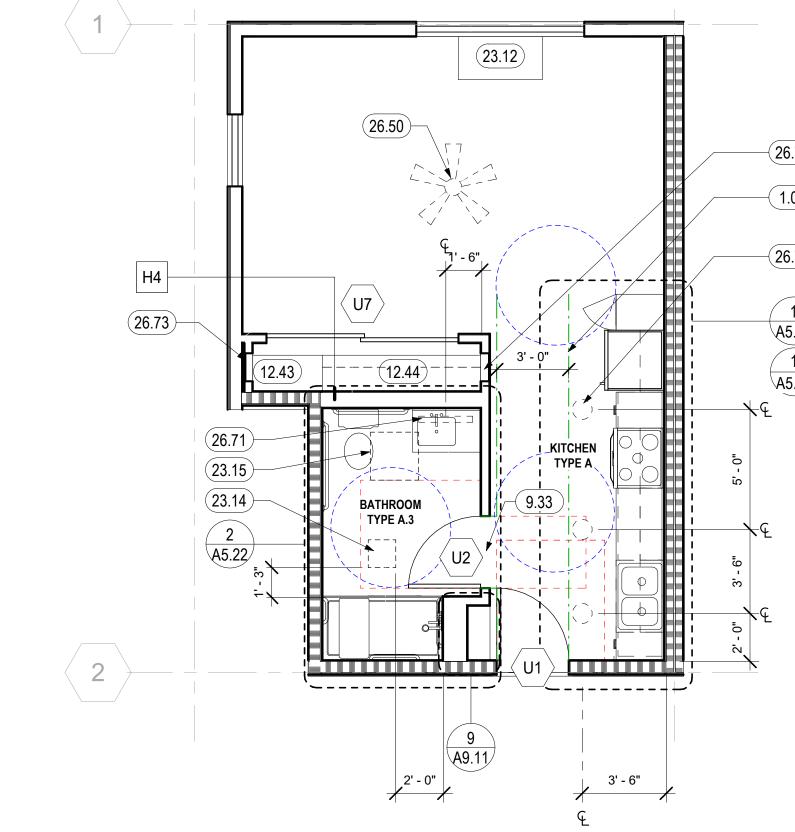
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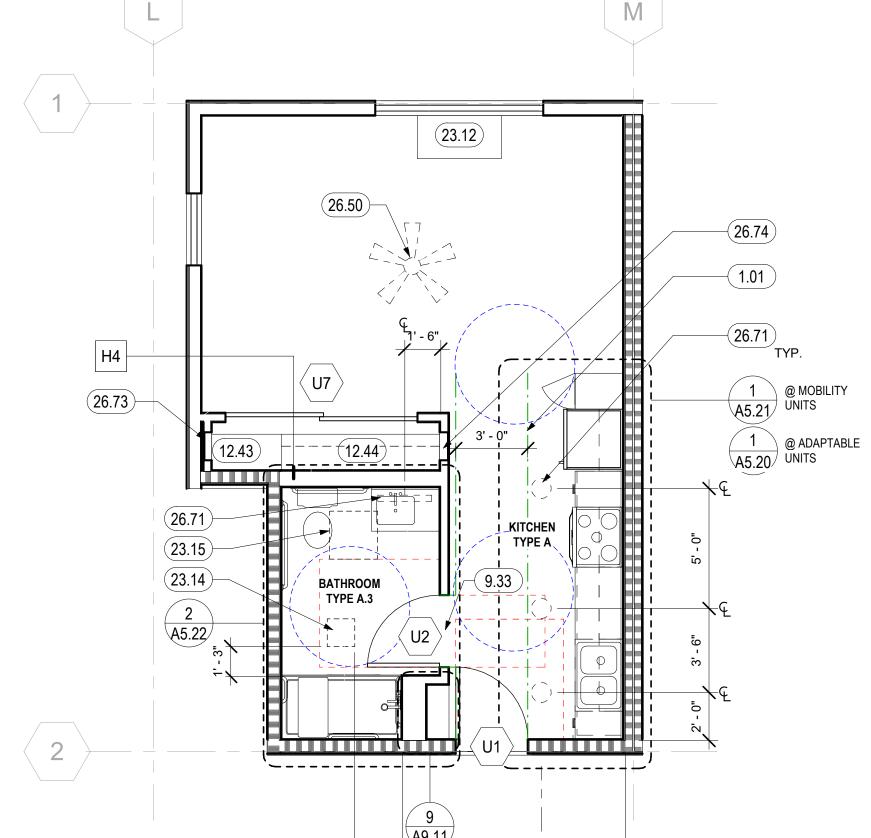
PSH 2 - ENLARGED COMMUNITY ROOM

SCALE 1/4" = 1'-0"



23.12 **(26.74)** -(26.71)26.73 A5.21 UNITS 12.44 TYPE A 23.14





23.14 EXHAUST FAN, S.M.D. LOCATION IN FIELD

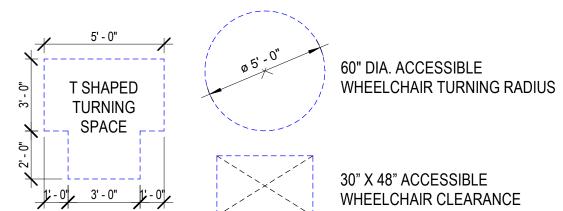
26.74 UNIT LOAD CENTER, S.E.D.

26.71 LIGHT FIXTURE, S.E.D. 26.73 MEDIA BOX, S.E.D.

NON-RATED WALL 1 HOUR FIRE-RATED ASSEMBLY

2 HOUR FIRE-RATED ASSEMBLY

FAN COIL UNIT, SMD FAN COIL UNIT



SIDE **MOBILITY** ADAPTABLE MOBILITY

DOOR CLEARANCE

DOOR WITH UNIT DOOR CLEARANCE **CLOSER AND** LATCH CLEARANCE

C. FOR INTERIOR FINISHES, SEE FINISH SCHEDULE.

PROVIDE WINDOW BLINDS AND SCREENS AT ALL UNIT WINDOWS.

E. FOR WINDOW TYPES, SEE 1/8" PLANS

F. FOR HVAC, SEE MECHANICAL DRAWINGS

G. FOR LOCATIONS OF MOBILITY & COMMUNICATION (HVI) UNITS SEE OVERALL PLANS AND UNIT SCHEDULE ON GENERAL SHEETS

GENERAL CONTRACTOR SHALL CREATE AN ILLUSTRATIVE STEP BY STEP INSTRUCTION GUIDE FOR ADAPTING THE KITCHEN CABINETRY FOR WHEELCHAIR USERS. MOCK UP INSPECTION IS REQUIRED FOR REMOVABLE BASE CABINETS BEFORE INSTALLATION.

CLEAR DIMENSIONS WITHIN UNIT ARE TO FINISH FACE OF WALL. DIMENSION AT DOOR JAMB 4" TYPICALLY & MINIMALLY.

ALL CONTROLS/ SWITCHES SHALL BE LOCATED BETWEEN 15" & 48" ABOVE FINISH FLOOR PER CBC 1136A.2, SEE ELECTRICAL DRAWINGS.

K. FOR DOOR CLEARANCES, SEE A9.90.

FOR LIGHT FIXTURE INFORMATION SEE ELECTRICAL DRAWINGS. LIGHTING FIXTURES ARE TO BE CENTERED IN THE ROOM, U.O.N.

M. PROVIDE A MEANS FOR VISUALLY IDENTIFYING A VISITOR WITHOUT OPENING THE UNIT ENTRY DOOR. PROVIDED SHALL ALLOW FOR A MINIMUM 180 DEGREE RANGE OF VIEW PER CBC 11B-809.5.5.2. AT LEASE ONE MEANS OF IDENTIFYING TO BE PROVIDED AT EACH UNIT.

N. FOR UNIT KITCHEN P& BATHROOM PLANS SEE A5 SERIES SHEETS

O. FAN COIL UNITS SHALL BE CENTERED ABOVE CLOSET DOORS U.O.N.

KEYNOTES 1.01 | ACCESSIBLE ROUTE THROUGH UNIT PER CBC 11B-809.2.1, APPLICABLE AT MOBILITY UNITS 9.33 | FLOORING TRANSITION, SEE FINISH SCHEDULE 12.43 | LINEN CLOSET, SEE 2/A9.61 12.44 CLOSET WITH WIRE SHELVING AND HANGER ROD, SEE 1/A9.61 22.17 MECHANICAL/PLUMBING CHASE 23.12 WINDOW FRAME-INTEGRATED PTAC UNIT, SEE 4/8.40, S.M.D. 23.15 CEILING ACCESS PANEL, LOCATE BELOW CEILING SUPPLY FAN, S.M.D., VERIFY 26.50 FAN/LIGHT COMBO, S.E.D.

ENLARGED UNIT PLAN LEGEND

FOR ADDITIONAL ARCH. SYMBOLS, SEE SHEET G0.2

WINDOW / LOUVER TAG

WALL TAG

101 DOOR TAG

UNIT PLANS

PSH 2 - ENLARGED

DRAWING TITLE

PAUL M MCELWEE

C-28734 C-28734 C-CALIFOR

North Housing,

PSH PHASE 2

Checker

Approver

DESCRIPTION

520 MOSLEY AVENUE ALAMEDA, CA 94501

2 12/8/21 SD SET

5 03/22/22 100% DD SET

6 08/22/22 50% CD SET

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JOB NO.

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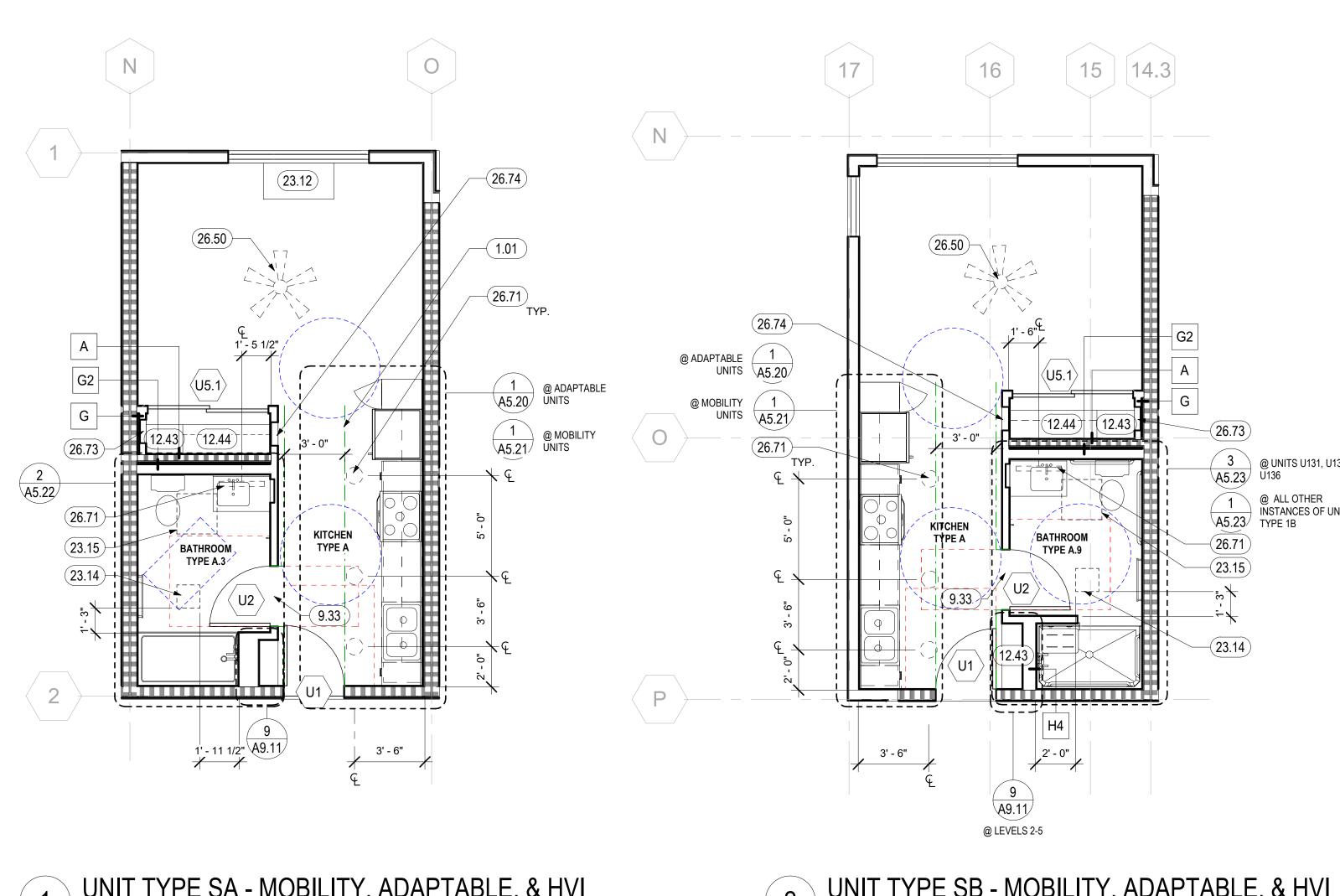
ISSUE

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JOB CAPTAIN

Block A













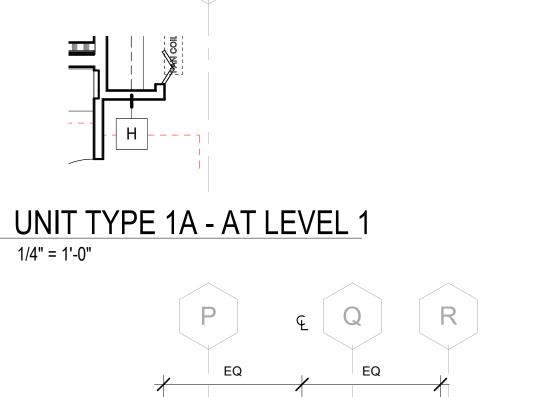
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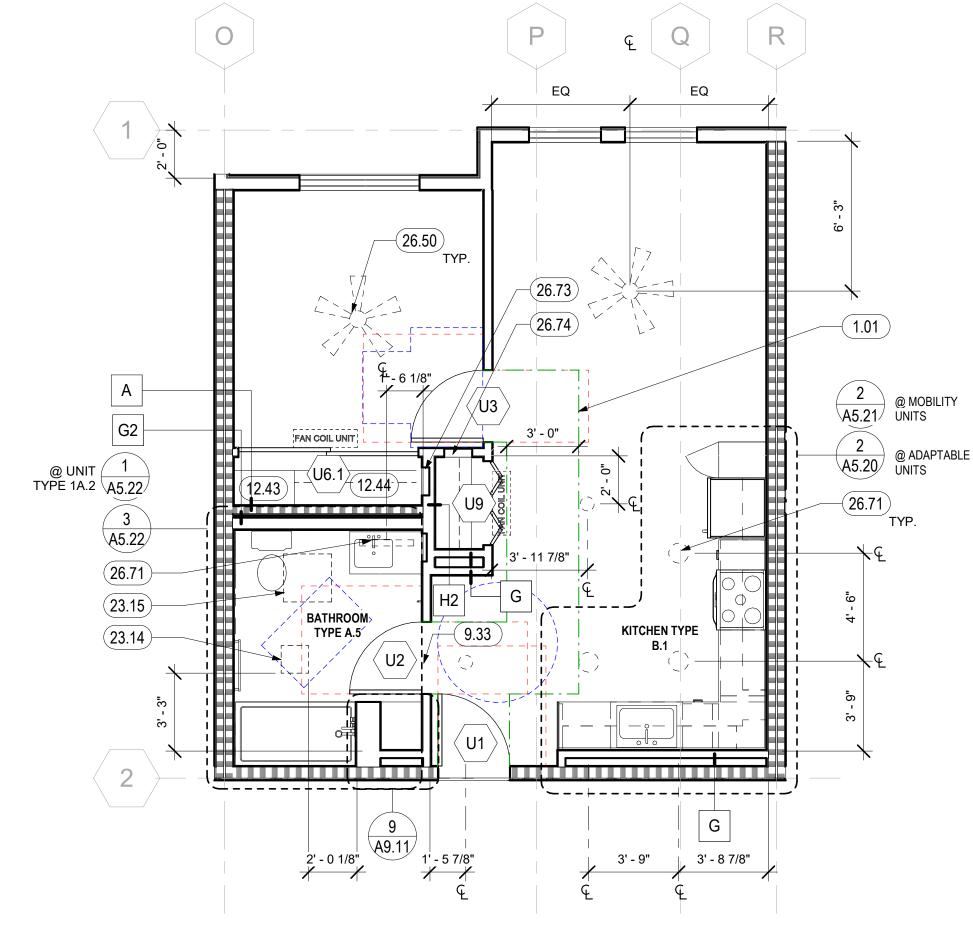
BATHROOM TYPE A.8

13 12.3

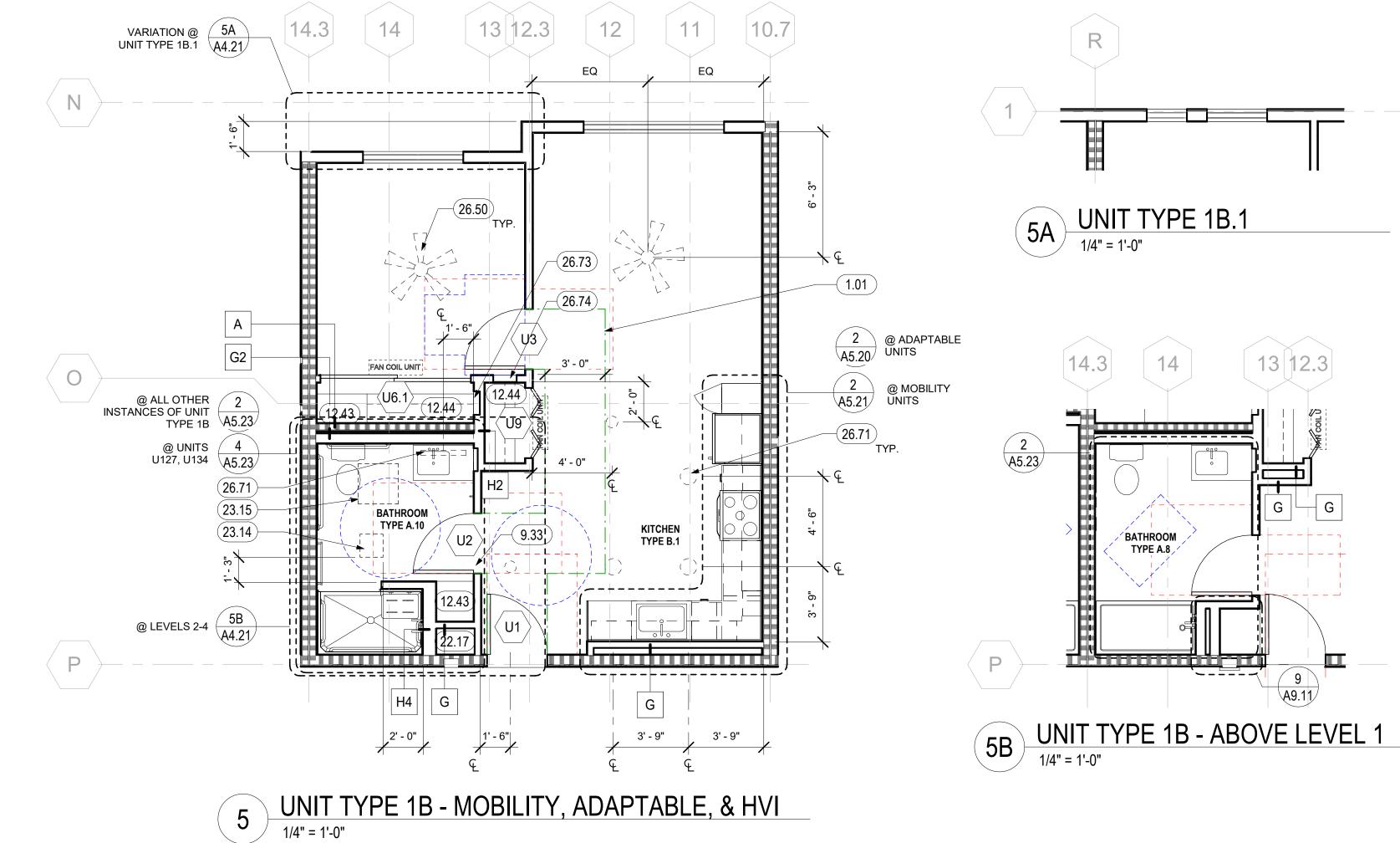
1/4" = 1'-0"

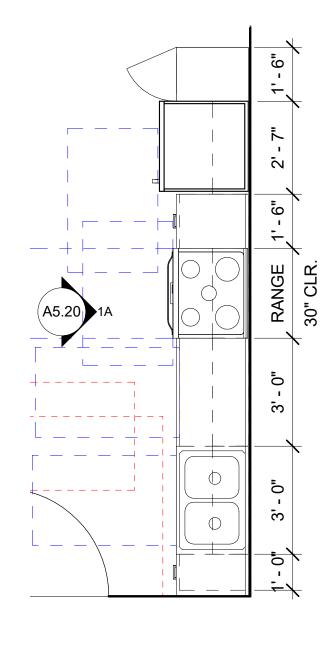
A5.23

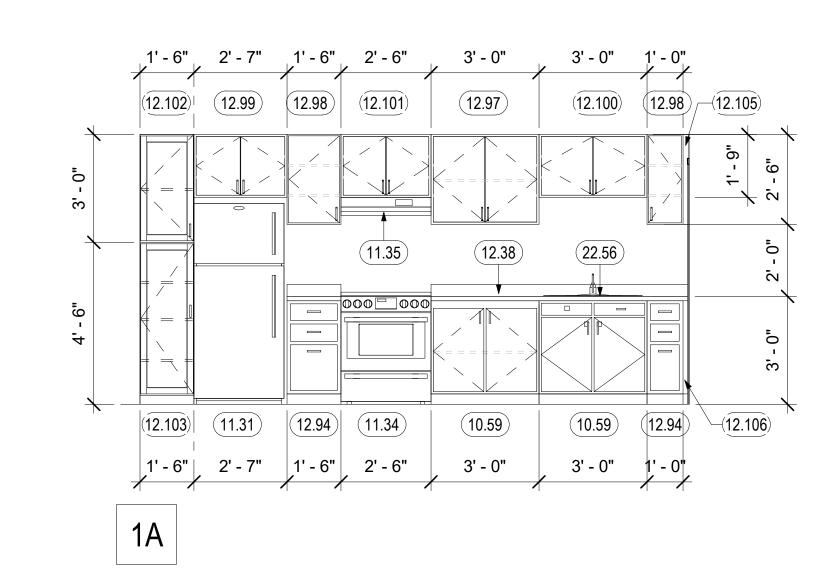




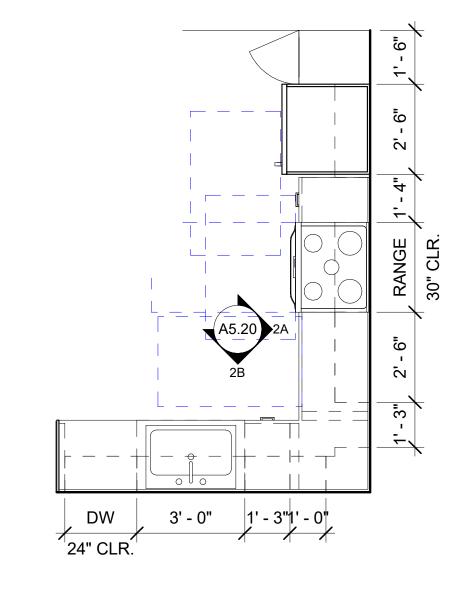


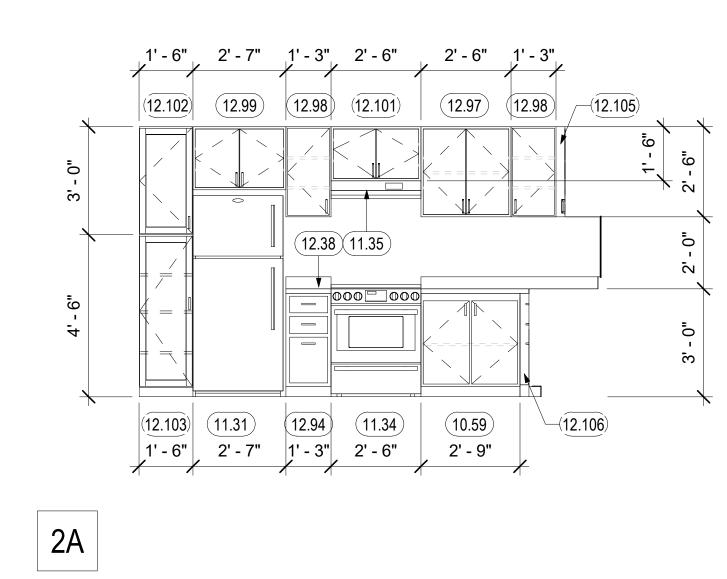


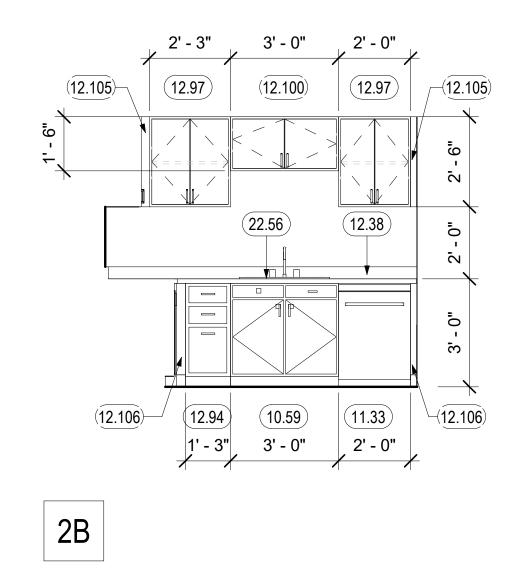




1 KITCHEN TYPE A 3/8" = 1'-0"







2 KITCHEN TYPE B.1
3/8" = 1'-0"

GENERAL NOTES - KITCHEN

A. PROVIDE MOLD-RESISTANT GYP BOARD WHERE SHADED. EXTEND TO CABINET SIDE OF ADJACENT KITCHEN WING-WALLS NOT DEPICTED HERE.

B. KITCHEN BASE CABINETS TO BE 23" DEEP TYPICAL. DISTANCE COUNTERTOP BULL NOSE TO WALL 24" MAX.

C. AT MOBILITY UNITS OUTLETS AND SWITCHES IN EACH KITCHEN COUNTER OR LAVATORY AREA WILL BE REACHABLE AT FORWARD OR PARALLEL APPROACH. ALL OUTLETS LOCATED IN COUNTERTOPS WILL BE PLACED SO THAT A REACH OF 24" MAXIMUM IS PROVIDED, MEASURED FROM THE FACE OF THE COUNTERTOP OR FACE OF APPLIANCE TO FACE OF THE OUTLET. PROVIDE DUPLICATE OUTLETS WITHIN REACH (SUCH AS ON THE CASEWORK ON THE CABINET BELOW) IF NEW OUTLET PLACEMENT REQUIRED BY NEC IS INACCESSIBLE. ELECTRICAL CONTRACTOR TO COORDINATE WITH AGENCY HAVING JURISDICTION.

D. PROVIDE SOLID WOOD PANEL FINISHED TO MATCH CABINETS FACING ANY APPLIANCE. SEE ELEVATIONS FOR APPLIANCE LOCATIONS.

E. AT WALL MOUNTED ITEMS, PROVIDE WALL BLOCKING PER

F. RUBBER BASE (B-1) OCCURS UNDER BASE CABINETS IN TOE KICK AND AT ANY WALLS IN ANY ACCESSIBLE OR OPEN AREAS IN KITCHEN.

G. LOCATE ELECTRICAL OUTLETS AT CORNERS IN L-SHAPED KITCHENS REQUIRED DISTANCE FROM CORNER. SEE

KEYNOTES

- 10.59 REMOVABLE BASE CABINET TO ALLOW 30" WIDE CLEAR FORWARD APPROACH, CABINET TO BE REMOVABLE WITHOUT SPECIAL TOOLS OR KNOWLEDGE. CONTINUE FLOORING, BASE, AND WALL FINISHES
- 11.31 REFRIGERATOR, SEE SPEC. CONTINUE FLOORING AND WALL BASE INTO APPLIANCE SPACE.
- 11.33 24" DISHWASHER, SEE SPEC
- 11.34 30" FREE STANDING ELECTRIC RANGE, WITH CONTROLS ON THE FRONT PANEL, SEE SPEC.
- 11.35 RANGE EXHAUST HOOD. PROVIDE WALL SWITCH FOR FAN AND LIGHT AT DISABLED ACCESSIBLE HEIGHT AT MOBILITY UNITS. CONTROLS ON FRONT PANEL.
- 12.38 SOLID SURFACE COUNTERTOP, 4"H BACKSPLASH WHERE SHOWN
- 12.94 WOOD BASE CABINET WITH 3 DRAWERS
- 12.97 UPPER CABINET WITH (1) ADJUSTABLE SHELVES
- 12.98 UPPER CABINET WITH (2) ADJUSTABLE SHELVES
- 12.99 UPPER CABINET OVER REFRIGERATOR
- 12.100 UPPER CABINET OVER SINK
- 12.101 UPPER CABINET OVER HOOD
- 12.102 LOCKING PANTRY CABINET
- 12.103 PANTRY CABINET WITH 3 SHELVES
- 12.105 UPPER FILL PANEL
- 12.106 LOWER FILL PANEL 22.56 KITCHEN SINK, S.P.D

) | |

38 NINTH STREET SUITE 240 • OAKLAND, C, 510 625 9800 • F 510 625 9801 • WWW.HK



North Housing, Block A

PSH PHASE 2

520 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO. 19009 DRAWN Author

CHECKED Checker

JOB CAPTAIN Approver

JOB CAPTAIN ISSUE

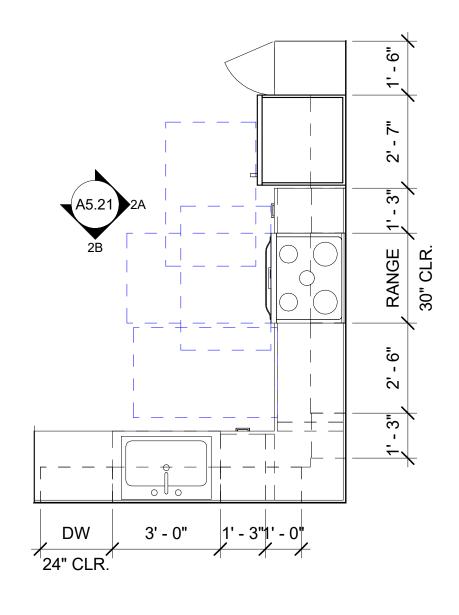
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5	03/22/22	100% DD SET
6	08/22/22	50% CD SET
7	09/29/22	PERMIT SUBMITTAL

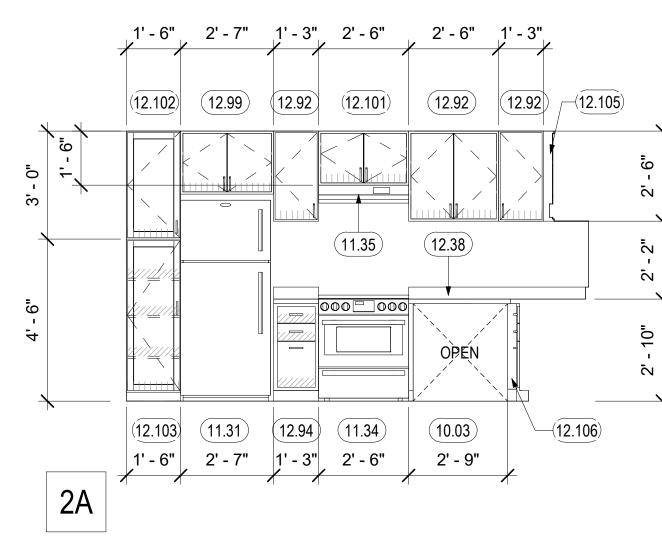
PSH 2 - ENLARGED KITCHEN PLANS & ELEVATIONS

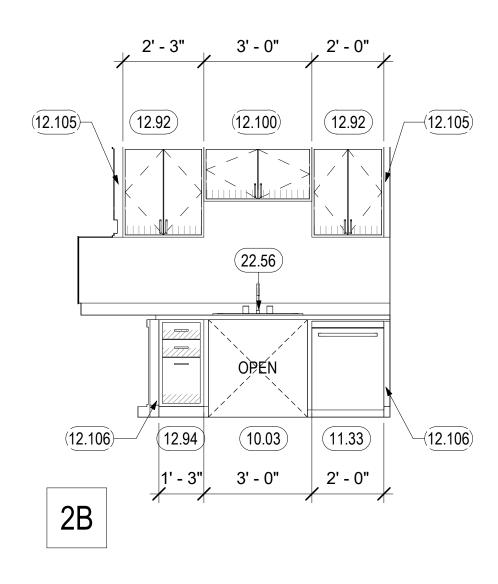
SCALE As indicated

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1 KITCHEN TYPE A - MOBILITY
3/8" = 1'-0"







KITCHEN TYPE B.1 - MOBILITY

GENERAL NOTES - KITCHEN

A. PROVIDE MOLD-RESISTANT GYP BOARD WHERE SHADED. EXTEND TO CABINET SIDE OF ADJACENT KITCHEN WING-WALLS NOT DEPICTED HERE.

B. KITCHEN BASE CABINETS TO BE 23" DEEP TYPICAL. DISTANCE COUNTERTOP BULL NOSE TO WALL 24" MAX.

C. AT MOBILITY UNITS OUTLETS AND SWITCHES IN EACH KITCHEN COUNTER OR LAVATORY AREA WILL BE REACHABLE AT FORWARD OR PARALLEL APPROACH. ALL OUTLETS LOCATED IN COUNTERTOPS WILL BE PLACED SO THAT A REACH OF 24" MAXIMUM IS PROVIDED, MEASURED FROM THE FACE OF THE COUNTERTOP OR FACE OF APPLIANCE TO FACE OF THE OUTLET. PROVIDE DUPLICATE OUTLETS WITHIN REACH (SUCH AS ON THE CASEWORK ON THE CABINET BELOW) IF NEW OUTLET PLACEMENT REQUIRED BY NEC IS INACCESSIBLE. ELECTRICAL CONTRACTOR TO COORDINATE WITH AGENCY HAVING JURISDICTION.

D. PROVIDE SOLID WOOD PANEL FINISHED TO MATCH CABINETS FACING ANY APPLIANCE. SEE ELEVATIONS FOR APPLIANCE LOCATIONS.

E. AT WALL MOUNTED ITEMS, PROVIDE WALL BLOCKING PER

F. RUBBER BASE (B-1) OCCURS UNDER BASE CABINETS IN TOE KICK AND AT ANY WALLS IN ANY ACCESSIBLE OR OPEN AREAS IN KITCHEN.

G. LOCATE ELECTRICAL OUTLETS AT CORNERS IN L-SHAPED KITCHENS REQUIRED DISTANCE FROM CORNER. SEE

KEYNOTES

10.03 CLEAR KNEE SPACE INSIDE (SINK BOX) CABINET, PROVIDE PLYWOOD APRON/PIPE INSULATION. FACES TO BE SOLID WOOD PANEL FINISH TO MATCH CABINETS, SEE DETAIL 26/A9.60

11.31 REFRIGERATOR, SEE SPEC. CONTINUE FLOORING AND WALL BASE INTO APPLIANCE SPACE.

11.33 24" DISHWASHER, SEE SPEC

11.34 30" FREE STANDING ELECTRIC RANGE, WITH CONTROLS ON THE

FRONT PANEL, SEE SPEC.

11.35 RANGE EXHAUST HOOD. PROVIDE WALL SWITCH FOR FAN AND LIGHT AT DISABLED ACCESSIBLE HEIGHT AT MOBILITY UNITS. CONTROLS ON FRONT PANEL.

12.38 | SOLID SURFACE COUNTERTOP, 4"H BACKSPLASH WHERE SHOWN

12.92 UPPER CABINET WITH (0) ADJUSTABLE SHELVES

12.94 WOOD BASE CABINET WITH 3 DRAWERS

12.99 UPPER CABINET OVER REFRIGERATOR

12.100 UPPER CABINET OVER SINK

12.101 UPPER CABINET OVER HOOD

12.102 LOCKING PANTRY CABINET

12.103 PANTRY CABINET WITH 3 SHELVES 12.105 UPPER FILL PANEL

12.106 LOWER FILL PANEL 22.56 KITCHEN SINK, S.P.D

MOBILITY KITCHEN CALCULATIONS

KITCHEN TYPE A, 11B MOBILITY TOTAL STORAGE AREA

50% OF TOTAL STORAGE ACCESSIBLE STORAGE PROVIDED

KITCHEN TYPE B.1, 11B MOBILITY TOTAL STORAGE AREA 50% OF TOTAL STORAGE ACCESSIBLE STORAGE PROVIDED 520 MOSLEY AVENUE ALAMEDA, CA 94501

46.08 SQ FT

23.04 SQ FT

47.33 SQ FT

23.67 SQ FT

24 SQ FT

24 SQ FT

JOB NO.

North Housing,

PSH PHASE 2

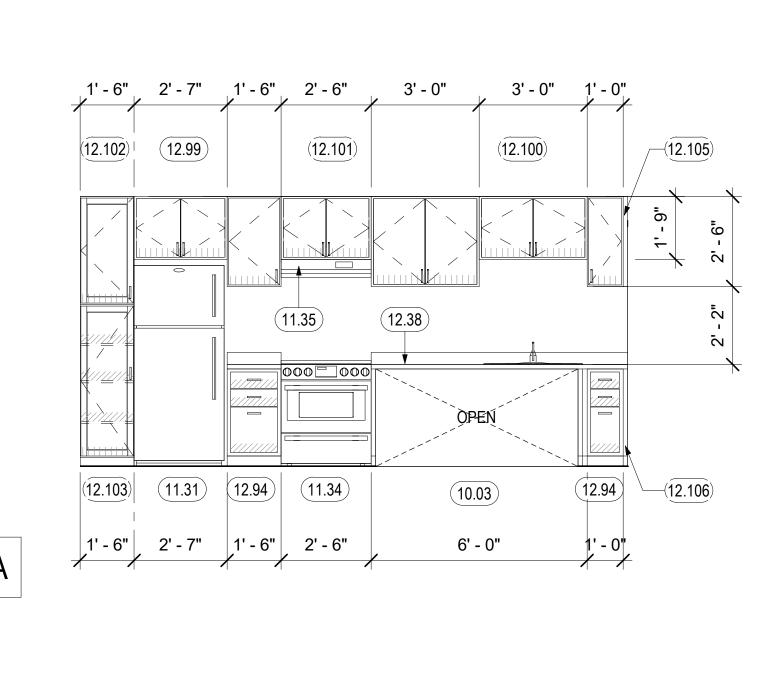
Block A

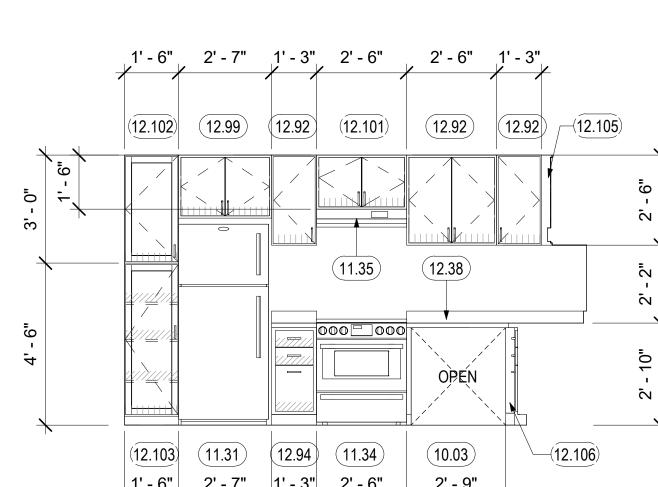
PAUL M MCELWEE

DRAWN Author CHECKED Checker JOB CAPTAIN Approver

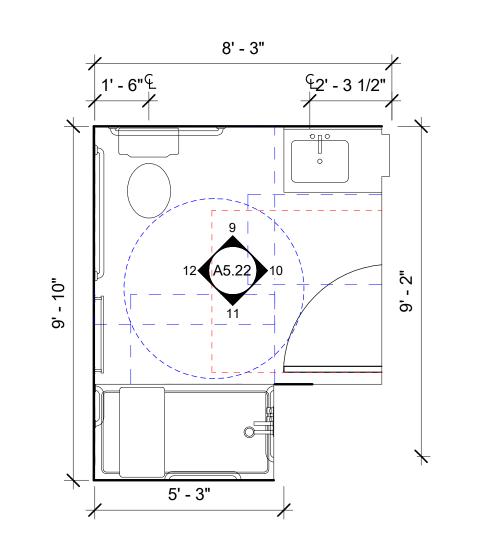
ISSUE DESCRIPTION 6 08/22/22 50% CD SET 7 09/29/22 PERMIT SUBMITTAL

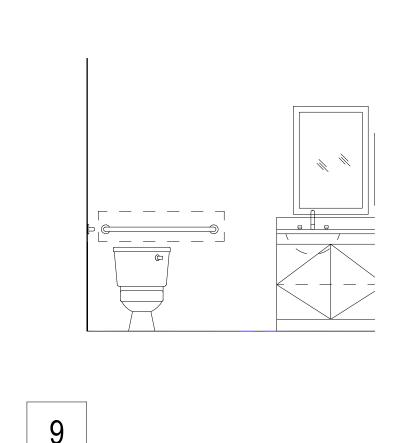
DRAWING TITLE PSH 2 - ENLARGED MOBILITY KITCHEN PLANS & ELEVATIONS

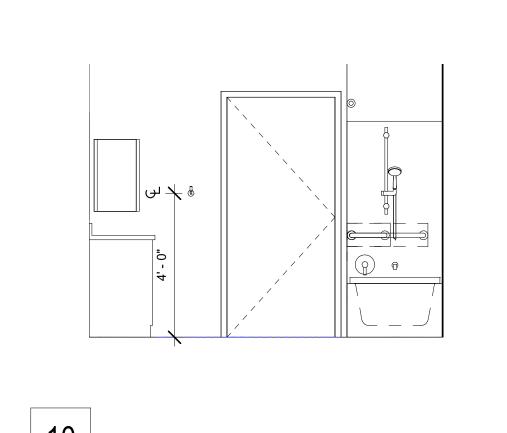


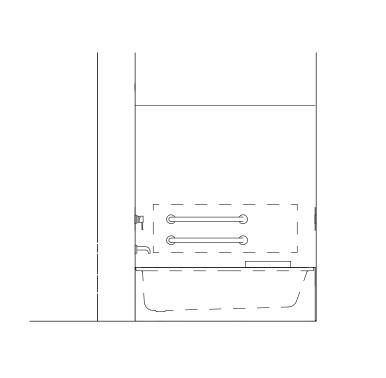


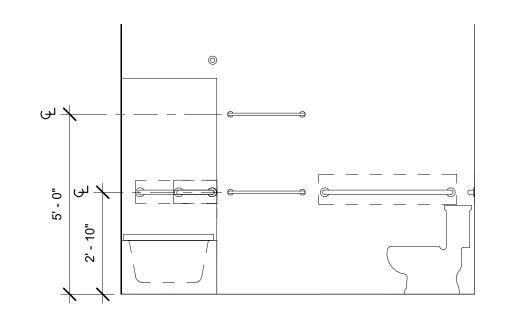
3 BATHROOM TYPE A.5
3/8" = 1'-0" FOR TYPICAL NOTES, SEE 1/A5.22











11

4 PSH 2 - BATHROOM TYPE A.6

3/8" = 1'-0" FOR TYPICAL NOTES, SEE 1/A5.22

GENERAL NOTES - BATHROOM

A. PROVIDE MOLD- RESISTANT GYP. BOARD WHERE SHADED.

B. BATHROOM DIMENSIONS SHOWN ON THIS SHEET ARE TO FINISH FACE OF WALL. DIMENSION AT DOOR JAMB 4" MIN.

C. ENSURE ALL DOOR CLEARANCES ARE MAINTAINED.

D. FOR LOCATIONS OF MOBILITY UNITS SEE OVERALL PLANS

	KEYNOTES
10.20	GRAB BAR BACKING. BACKING TO ACCOMMODATE 250 LB FORCE
10.21	GRAB BAR AT MOBILITY UNITS ONLY
10.23	MIRROR
10.29	ROBE HOOK
10.56	COUNTERTOP WITH INTEGRAL BOWL AND BACKSID SPLASHES, S.P.D.
10.57	SHOWER CURTAIN ROD
10.58	MEDICINE CABINET 40" A.F.F. TO BOTTOM SHELF
10.59	REMOVABLE BASE CABINET TO ALLOW 30" WIDE CLEAR FORWARD APPROACH, CABINET TO BE REMOVABLE WITHOUT SPECIAL TOOLS OR KNOWLEDGE. CONTINUE FLOORING, BASE, AND WA FINISHES BELOW
10.60	24" TOWEL BAR
22.52	RESIDENTIAL TOILET, S.P.D.
22.53	SHOWER SPRAY UNIT WITH 59" HOSE
22.54	TUB AT MOBILITY UNITS ONLY TO PROVIDE TUB SEA BY TUB MANUFACTURER (PER CBC 11271.5.2.2)
22.55	SINGLE LEVER CONTROLS

North Housing, Block A

PSH PHASE 2

520 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO. 19009
DRAWN Author
CHECKED Checker

JOB CAPTAIN

SSUE						
$\overline{\ }$	DATE	DESCRIPTION				
2	12/8/21	SD SET				
5	03/22/22	100% DD SET				
6	08/22/22	50% CD SET				
7	09/29/22	PERMIT SUBMITTA				

Approver

PSH 2 - ENLARGED BATHROOM PLANS & ELEVATIONS

SCALE As indicate

A5.22



North Housing,

PSH PHASE 2

Author

Checker

Approver

DATE DESCRIPTION

7 09/29/22 PERMIT SUBMITTAL

6 08/22/22 50% CD SET

520 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO.

DRAWN

ISSUE

CHECKED

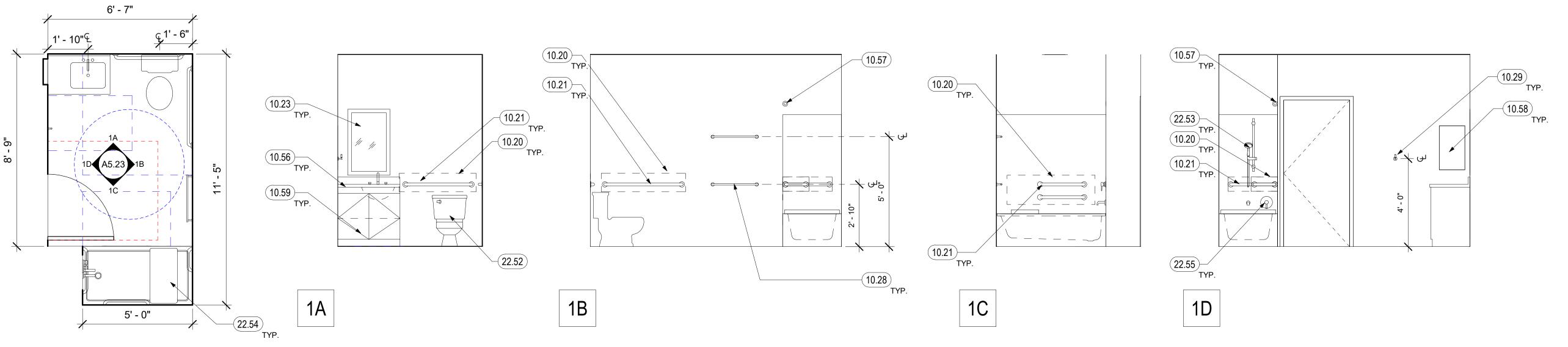
JOB CAPTAIN

Block A

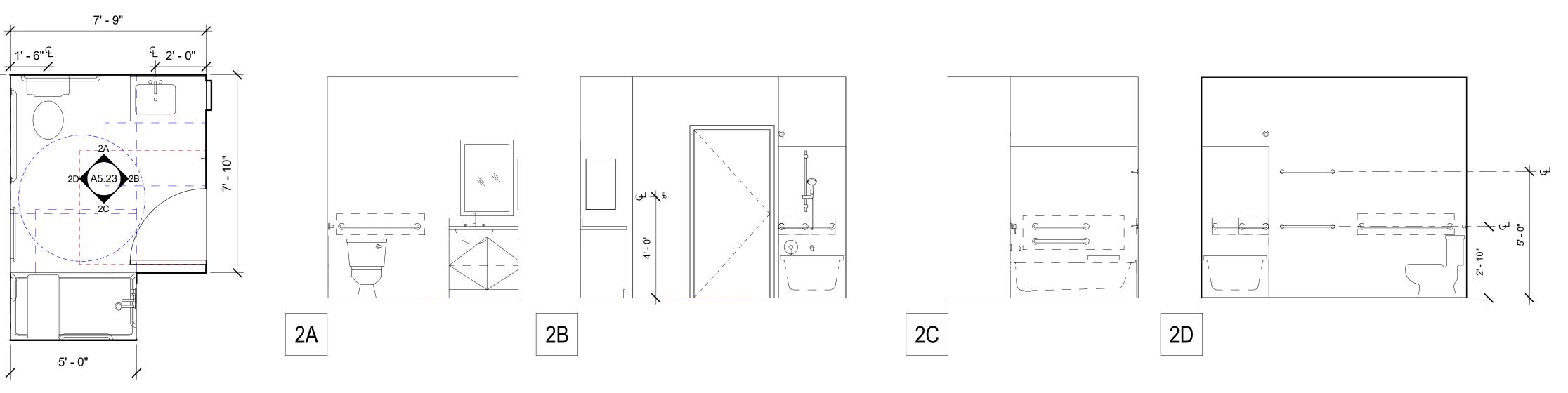
GENERAL NOTES - BATHROOM

- PROVIDE MOLD- RESISTANT GYP. BOARD WHERE SHADED.
- BATHROOM DIMENSIONS SHOWN ON THIS SHEET ARE TO FINISH FACE OF WALL. DIMENSION AT DOOR JAMB 4" MIN.
- ENSURE ALL DOOR CLEARANCES ARE MAINTAINED.
- FOR LOCATIONS OF MOBILITY UNITS SEE OVERALL PLANS

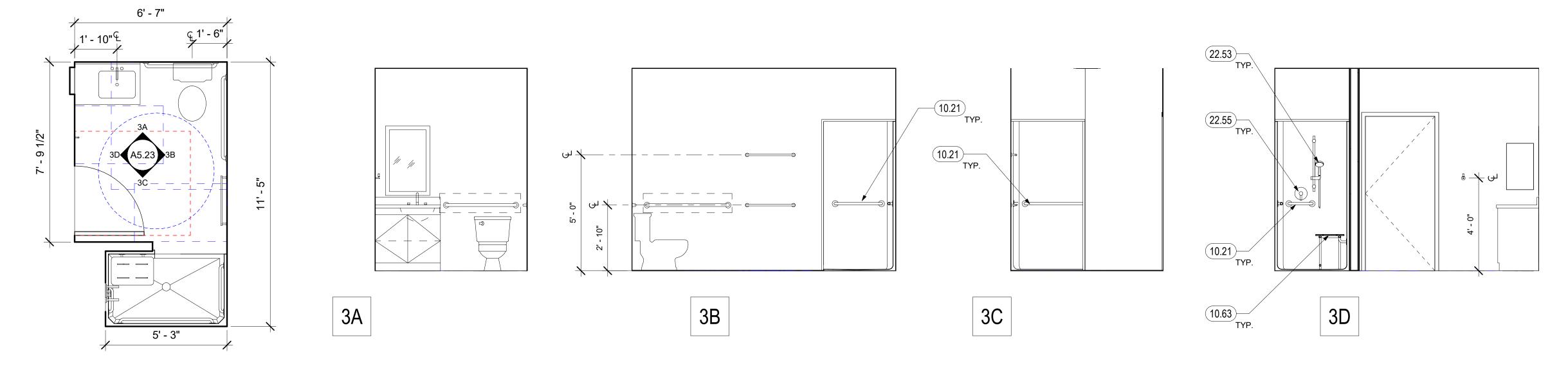
	KEYNOTES
10.20	GRAB BAR BACKING. BACKING TO ACCOMMODATE 250 LB FORCE
10.21	GRAB BAR AT MOBILITY UNITS ONLY
10.23	MIRROR
10.28	WALL MOUNTED 24" TOWEL BAR
10.29	ROBE HOOK
10.56	COUNTERTOP WITH INTEGRAL BOWL AND BACKSIDE SPLASHES, S.P.D.
10.57	SHOWER CURTAIN ROD
10.58	MEDICINE CABINET 40" A.F.F. TO BOTTOM SHELF
10.59	REMOVABLE BASE CABINET TO ALLOW 30" WIDE CLEAR FORWARD APPROACH, CABINET TO BE REMOVABLE WITHOUT SPECIAL TOOLS OR KNOWLEDGE. CONTINUE FLOORING, BASE, AND WALL FINISHES BELOW
10.63	22" X 16" FOLD DOWN SEAT WITH SWING DOWN LEGS
22.52	RESIDENTIAL TOILET, S.P.D.
22.53	SHOWER SPRAY UNIT WITH 59" HOSE
22.54	TUB AT MOBILITY UNITS ONLY TO PROVIDE TUB SEAT BY TUB MANUFACTURER (PER CBC 11271.5.2.2)
22.55	SINGLE LEVER CONTROLS



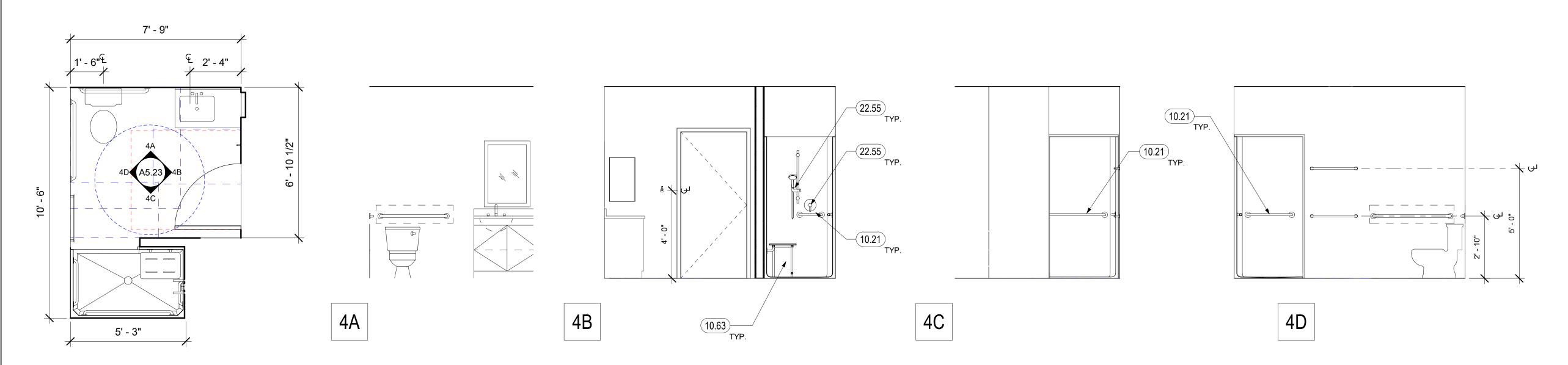
BATHROOM TYPE A.7 - MOBILITY & ADAPTABLE 3/8" = 1'-0"



2 BATHROOM TYPE A.8 - MOBILITY & ADAPTABLE 3/8" = 1'-0" FOR TYPICAL NOTES, SEE 1/A5.23



BATHROOM TYPE A.9 - MOBILITY 3/8" = 1'-0" FOR TYPICAL NOTES, SEE 1/A5.23



BATHROOM TYPE A.10 - MOBILITY

3/8" = 1'-0" FOR TYPICAL NOTES, SEE 1/A5.23

DRAWING TITLE

ELEVATIONS

PSH 2 - ENLARGED

BATHROOM PLANS &

PSH 2 - RESTROOM COMMUNITY ROOM

3/8" = 1'-0"

GENERAL NOTES - BATHROOM

- A. PROVIDE MOLD- RESISTANT GYP. BOARD WHERE SHADED.
- B. BATHROOM DIMENSIONS SHOWN ON THIS SHEET ARE TO FINISH FACE OF WALL. DIMENSION AT DOOR JAMB 4" MIN.
- C. ENSURE ALL DOOR CLEARANCES ARE MAINTAINED.
- D. FOR LOCATIONS OF MOBILITY UNITS SEE OVERALL PLANS

	KEYNOTES
10.06	GRAB BAR
10.20	GRAB BAR BACKING. BACKING TO ACCOMMODATE 250 LB FORCE
22.04	WALL-HUNG SINK AND FAUCET, ACCESSIBLE, S.P.D SEE X/XX
22.06	TOILET; S.P.D. & ACCESS DETAILS ON SHEET XX

ARCHITEC

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North Housing, Block A

PSH PHASE 2

520 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO. 19009

DRAWN Author

CHECKED Checker

JOB CAPTAIN Approver

ISSUE

DATE DESCRIPTION

5 03/22/22 100% DD SET

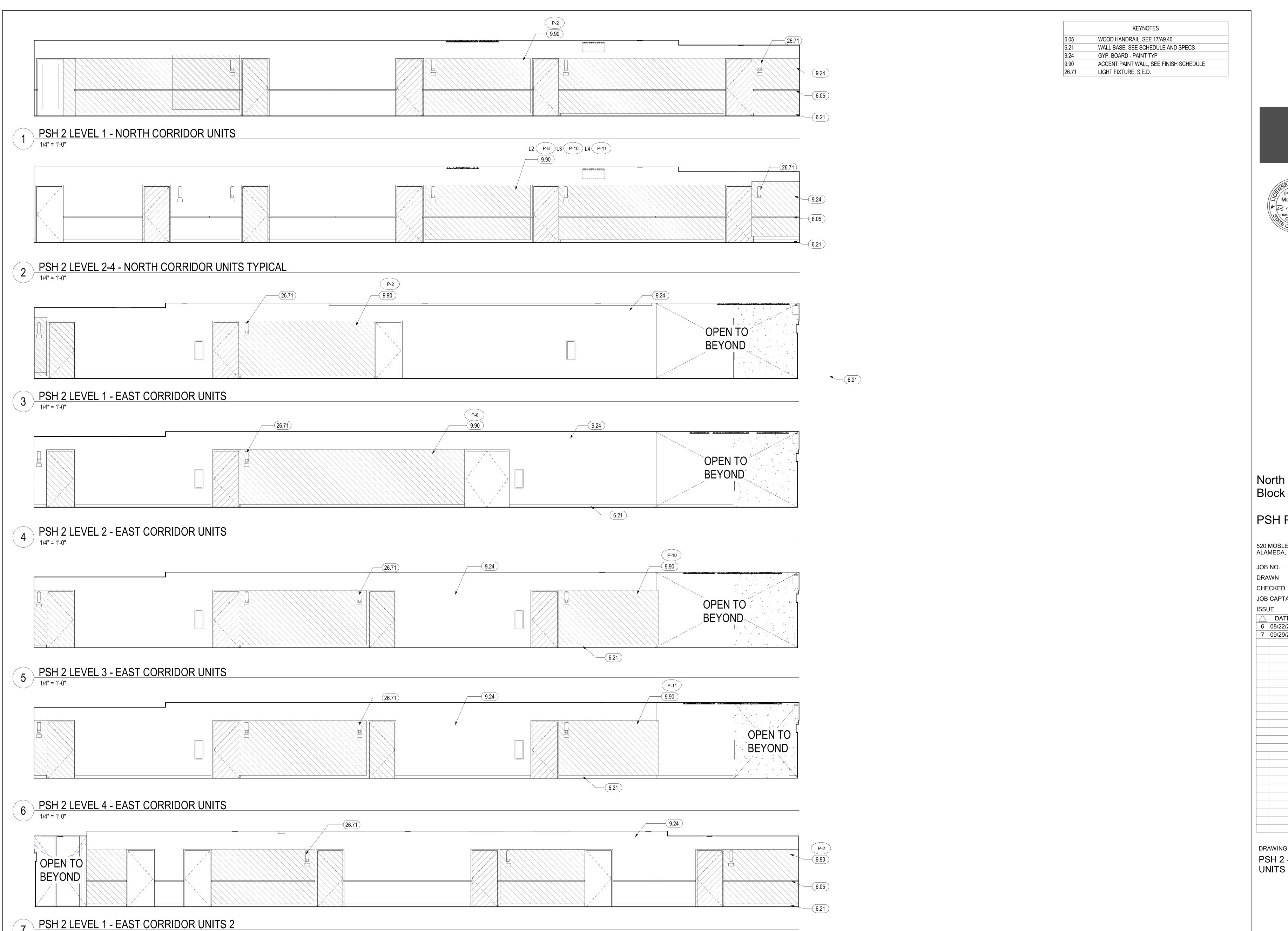
6 08/22/22 50% CD SET

7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE
PSH 2 - ENLARGED
BATHROOM PLANS &
ELEVATIONS

SCALE As indicated

J **A5.24**



North Housing, Block A

PSH PHASE 2

520 MOSLEY AVENUE ALAMEDA, CA 94501

JOB CAPTAIN

DATE DESCRIPTION

6 08/22/22 50% CD SET 7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE

PSH 2 - CORRIDOR UNITS ELEVATIONS

12 P8 L3 P-10 L4 P-11

OPEN TO BEYOND

8 PSH 2 LEVELS 2-4 - EAST CORRIDOR UNITS 2 TYPICAL

1/4" = 1'-0"

KEYNOTES

6.05 WOOD HANDRAIL, SEE 17/A9.40

6.21 WALL BASE, SEE SCHEDULE AND SPECS

9.24 GYP. BOARD - PAINT TYP

9.90 ACCENT PAINT WALL, SEE FINISH SCHEDULE

26.71 LIGHT FIXTURE, S.E.D.

9.24

6.05

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North Housing, Block A

PSH PHASE 2

520 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO. 19009
DRAWN Author
CHECKED Checker

JOB CAPTAIN Approver ISSUE

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	DATE	DESCRIPTION
6	08/22/22	50% CD SET
7	09/29/22	PERMIT SUBMITTAL
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DRAWING TITLE
PSH 2 - CORRIDOR
UNITS ELEVATIONS

SCALE 1/4" = 1'-0"

A5.26

KEYNOTES

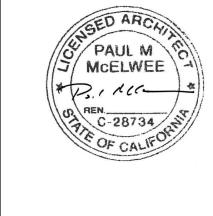
WALL BASE, SEE SCHEDULE AND SPECS

EXTERIOR WINDOW - SEE WINDOW SCHEDULE

MECHANICAL LOUVER, S.M.D., PAINT TO MATCH ADJACENT WALL

DOOR, SEE DOOR SCHEDULE





North Housing, Block A

PSH PHASE 2

520 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO. DRAWN Author Checker CHECKED

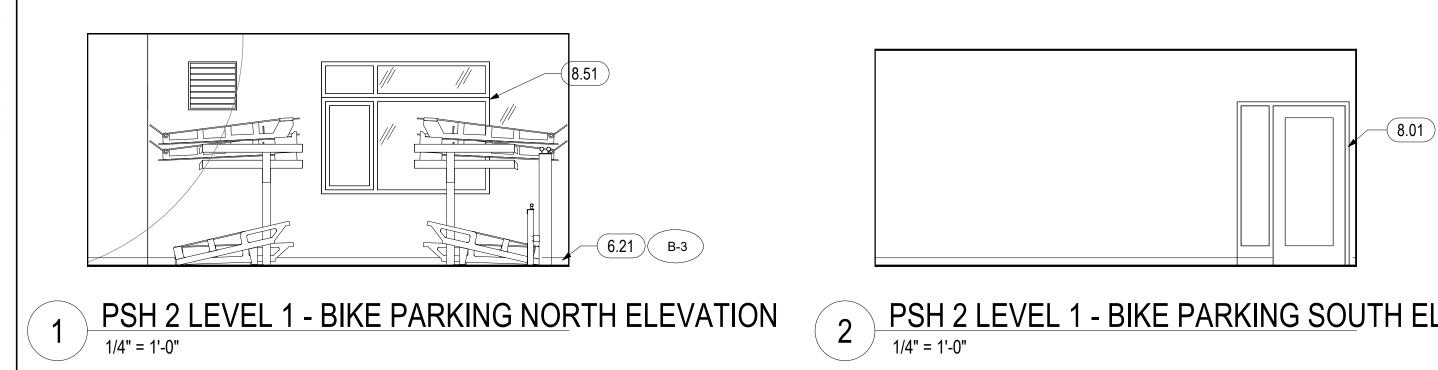
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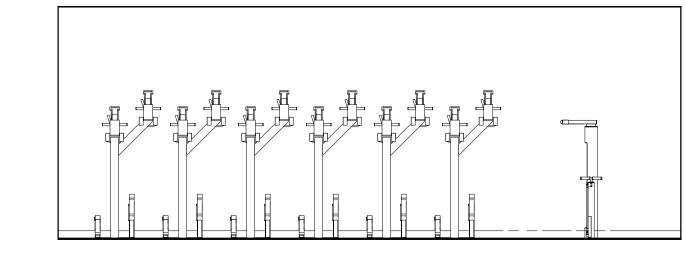
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7	09/29/22	PERMIT SUBMITTAL

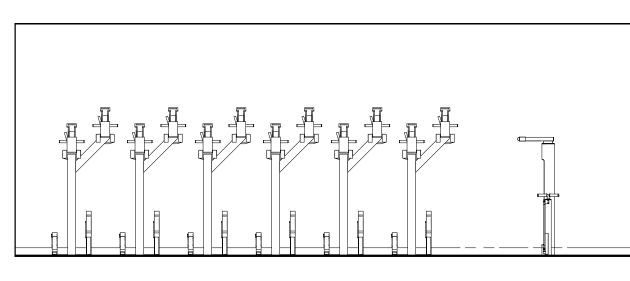
Approver

DRAWING TITLE PSH 2 - BIKE PARKING ELEVATIONS

SCALE 1/4" = 1'-0"

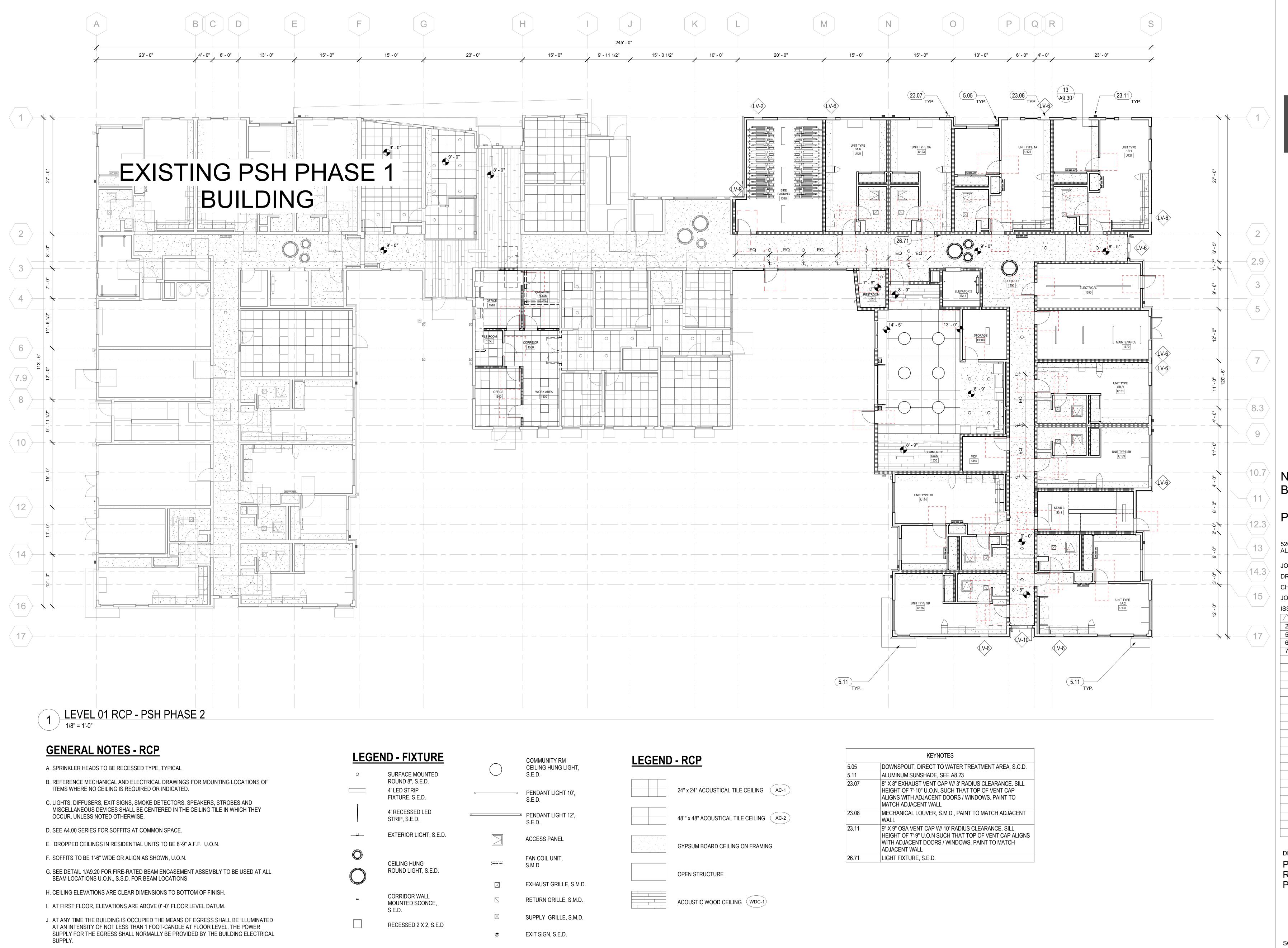






2 PSH 2 LEVEL 1 - BIKE PARKING SOUTH ELEVATION
3 PSH 2 LEVEL 1 - BIKE PARKING EAST ELEVATION
4 PSH 2 LEVEL 1 - BIKE PARKING WEST ELEVATION
1/4" = 1'-0"

PSH 2 LEVEL 1 - BIKE PARKING WEST ELEVATION
1/4" = 1'-0"



K. SEE A3 SERIES ELEVATIONS FOR LOUVER & VENT CAP BALANCE OF INFORMATION.

DESCRIPTION

SCALE As indicated

K. SEE A3 SERIES ELEVATIONS FOR LOUVER & VENT CAP BALANCE OF INFORMATION.



North Housing,

PSH PHASE 2

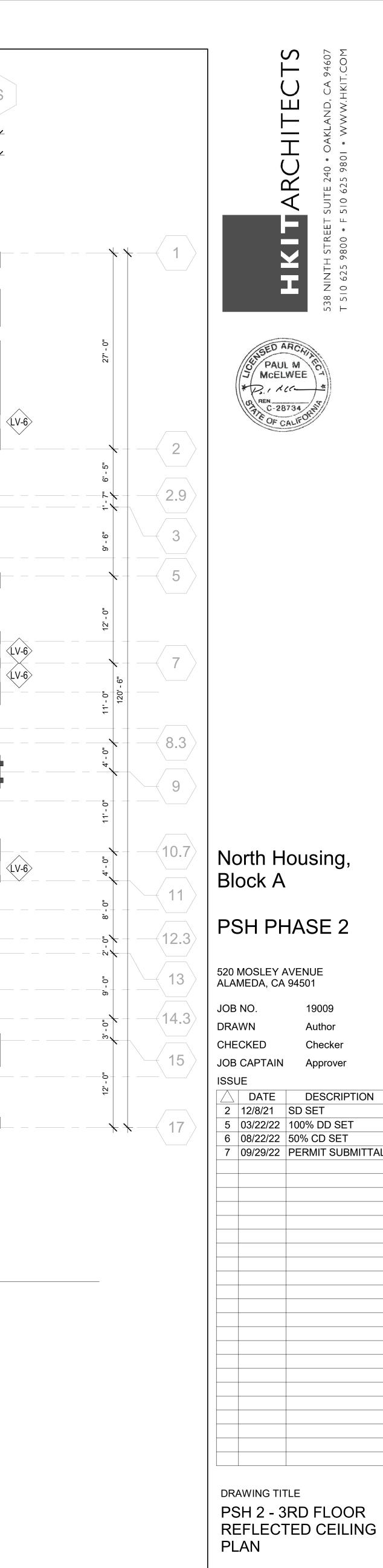
Checker

DESCRIPTION 2 12/8/21 SD SET

5 03/22/22 100% DD SET 6 08/22/22 50% CD SET 7 09/29/22 PERMIT SUBMITTAL

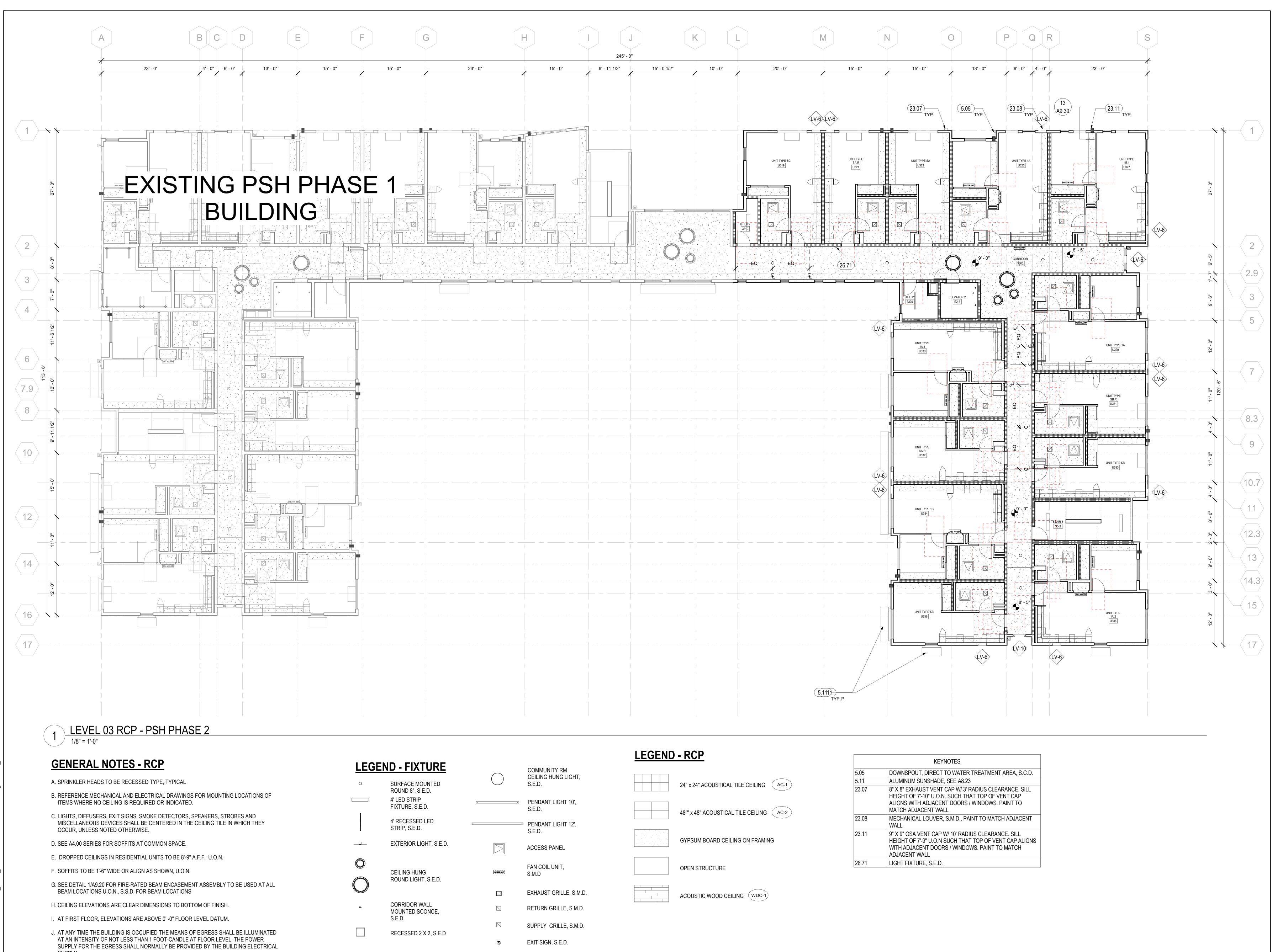
PSH 2 - 2ND FLOOR

SCALE As indicated



PSH 2 - 3RD FLOOR REFLECTED CEILING

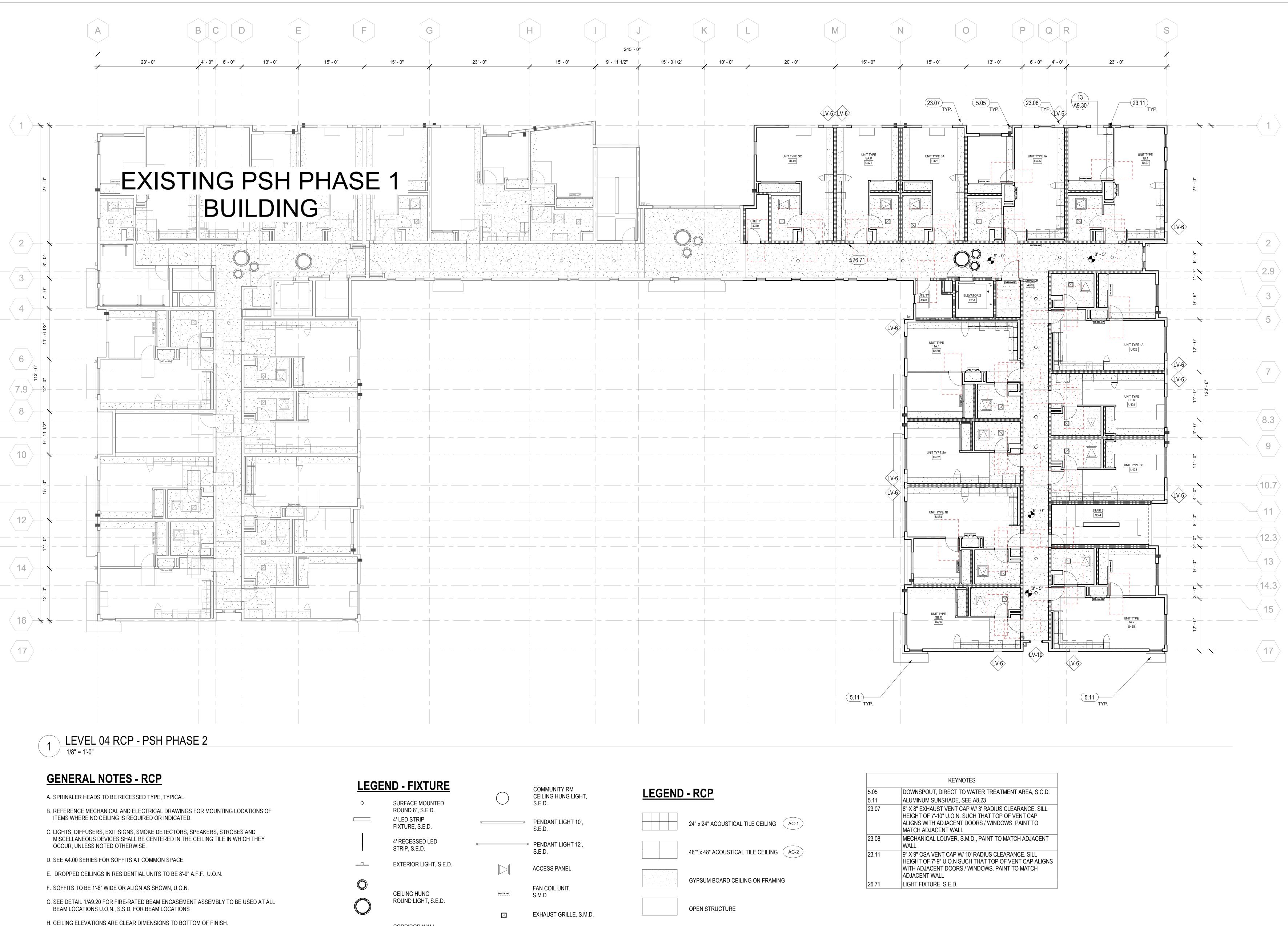
SCALE As indicated



K. SEE A3 SERIES ELEVATIONS FOR LOUVER & VENT CAP BALANCE OF INFORMATION.

PLAN

SCALE As indicated



CORRIDOR WALL

S.E.D.

I. AT FIRST FLOOR, ELEVATIONS ARE ABOVE 0'-0" FLOOR LEVEL DATUM.

J. AT ANY TIME THE BUILDING IS OCCUPIED THE MEANS OF EGRESS SHALL BE ILLUMINATED

SUPPLY FOR THE EGRESS SHALL NORMALLY BE PROVIDED BY THE BUILDING ELECTRICAL

AT AN INTENSITY OF NOT LESS THAN 1 FOOT-CANDLE AT FLOOR LEVEL. THE POWER

K. SEE A3 SERIES ELEVATIONS FOR LOUVER & VENT CAP BALANCE OF INFORMATION.

MOUNTED SCONCE,

RECESSED 2 X 2, S.E.D

RETURN GRILLE, S.M.D.

SUPPLY GRILLE, S.M.D.

EXIT SIGN, S.E.D.

ACOUSTIC WOOD CEILING WDC-1



PAUL M MCELWEE

GENERAL NOTES - VERTICAL CIRCULATION

A. SEE SHEETS A7.33 & A7.34 FOR ELEVATOR CONTROL ROOM LAYOUT, DETAILED HOISTWAY PLAN AND SECTION, AND BALANCE OF INFO.

B. FOR WALL TYPES, SEE SHEET A9.00

C.FOR FLOOR ASSEMBLIES, SEE SHEET A8.10

D. TYPICAL TREAD DEPTH TO BE 11" MINIMUM. TYPICAL RISER HEIGHT TO BE 7"

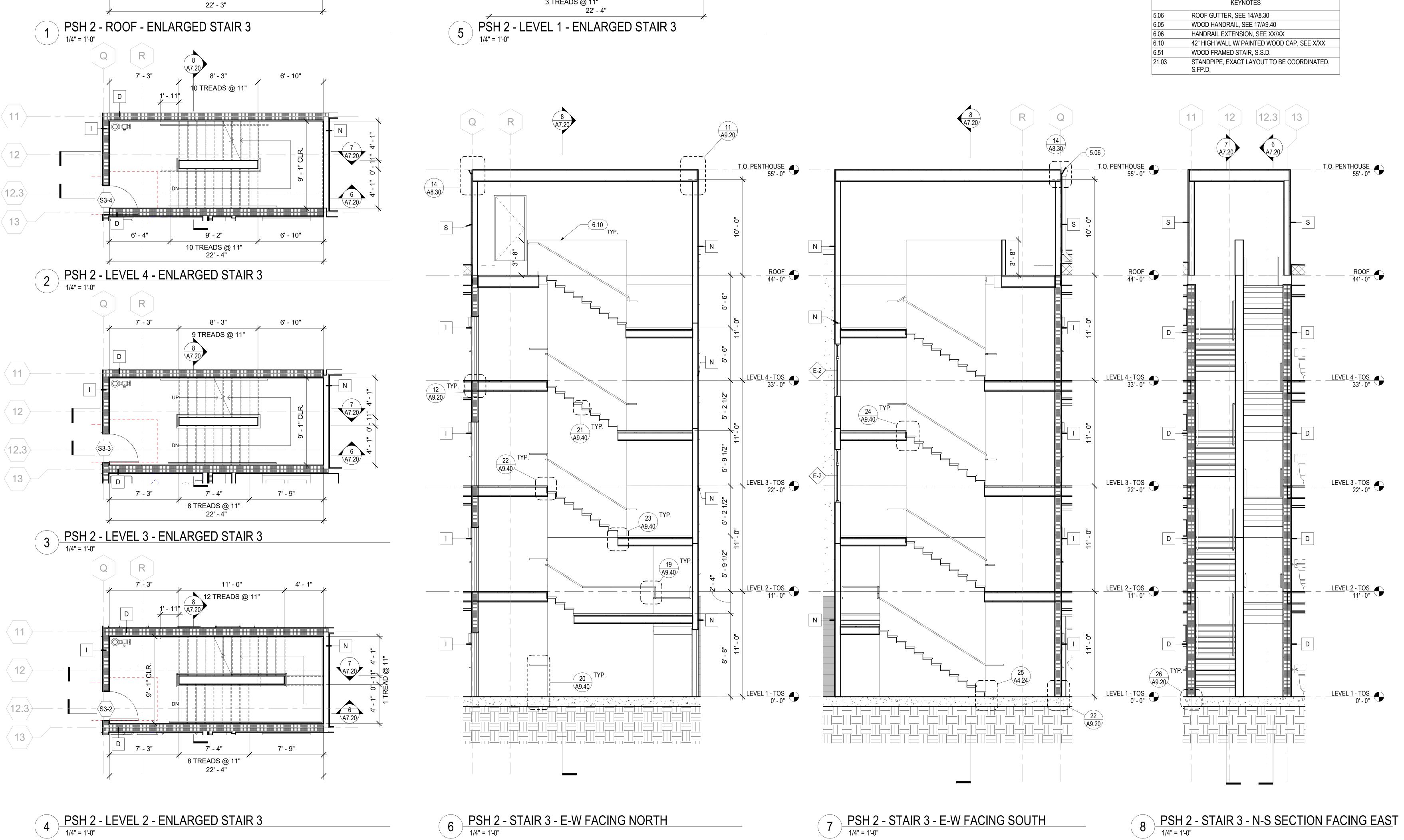
E. FOR SIGNAGE AND SIGNAGE PLANS, SEE A10.XX

F. SEE INTERIOR FINISH SCHEDULE FOR STAIR FLOOR FINISH.

G. PROVIDE CONTRASTING STRIPE AT TOP AND BOTTOM TREAD OF EACH FLIGHT. INSTALL CONTRASTING CARPET STRIPE AT CARPET TREAD OR PAINTED STRIPE AT CONCRETE TREAD.

H. SEE STRUCTURAL DRAWINGS FOR STAIR STRINGERS, SUPPORTS, BRACING AND RELATED STAIR STRUCTURAL DETAILS.

	KEYNOTES
5.06	ROOF GUTTER, SEE 14/A8.30
6.05	WOOD HANDRAIL, SEE 17/A9.40
6.06	HANDRAIL EXTENSION, SEE XX/XX
6.10	42" HIGH WALL W/ PAINTED WOOD CAP, SEE X/XX
6.51	WOOD FRAMED STAIR, S.S.D.
21.03	STANDPIPE, EXACT LAYOUT TO BE COORDINATED.



1' - 8 1/2" 8' - 3"

(12.3)

13

9 TREADS @ 11"

10 TREADS @ 11"

6' - 9"

6' - 9"

(12.3)—

(13 >

7' - 3"

3 TREADS @ 11"

North Housing, Block A

PSH PHASE 2

520 MOSLEY AVENUE ALAMEDA, CA 94501

5 03/22/22 100% DD SET 6 08/22/22 50% CD SET 7 09/29/22 PERMIT SUBMITTAI

DRAWING TITLE PSH 2 - STAIR PLANS AND SECTIONS

SCALE

HKIT ARCHITECT

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PAUL M
MCELWEE

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CORREN

C-28734

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CORREN

C-28734

North Housing, Block A

PSH PHASE 2

520 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO. 19

DRAWN Author
CHECKED Checker
JOB CAPTAIN Approver

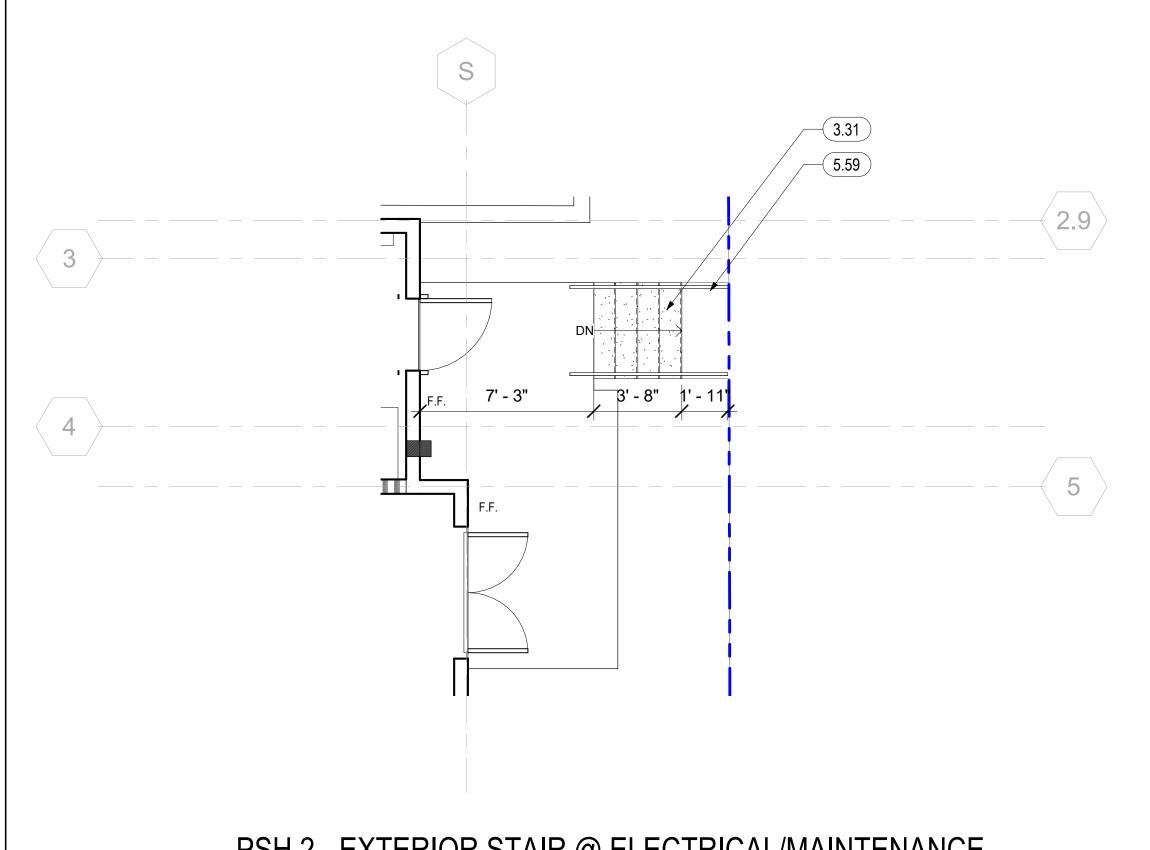
ISSUE

7	DATE	DESCRIPTION
	03/22/22	100% DD SET
	08/22/22	50% CD SET
	09/29/22	PERMIT SUBMITTAL

DRAWING TITLE
PSH 2 - ENLARGED
EXTERIOR STAIRS

SCALE 1/4" = 1'-0"

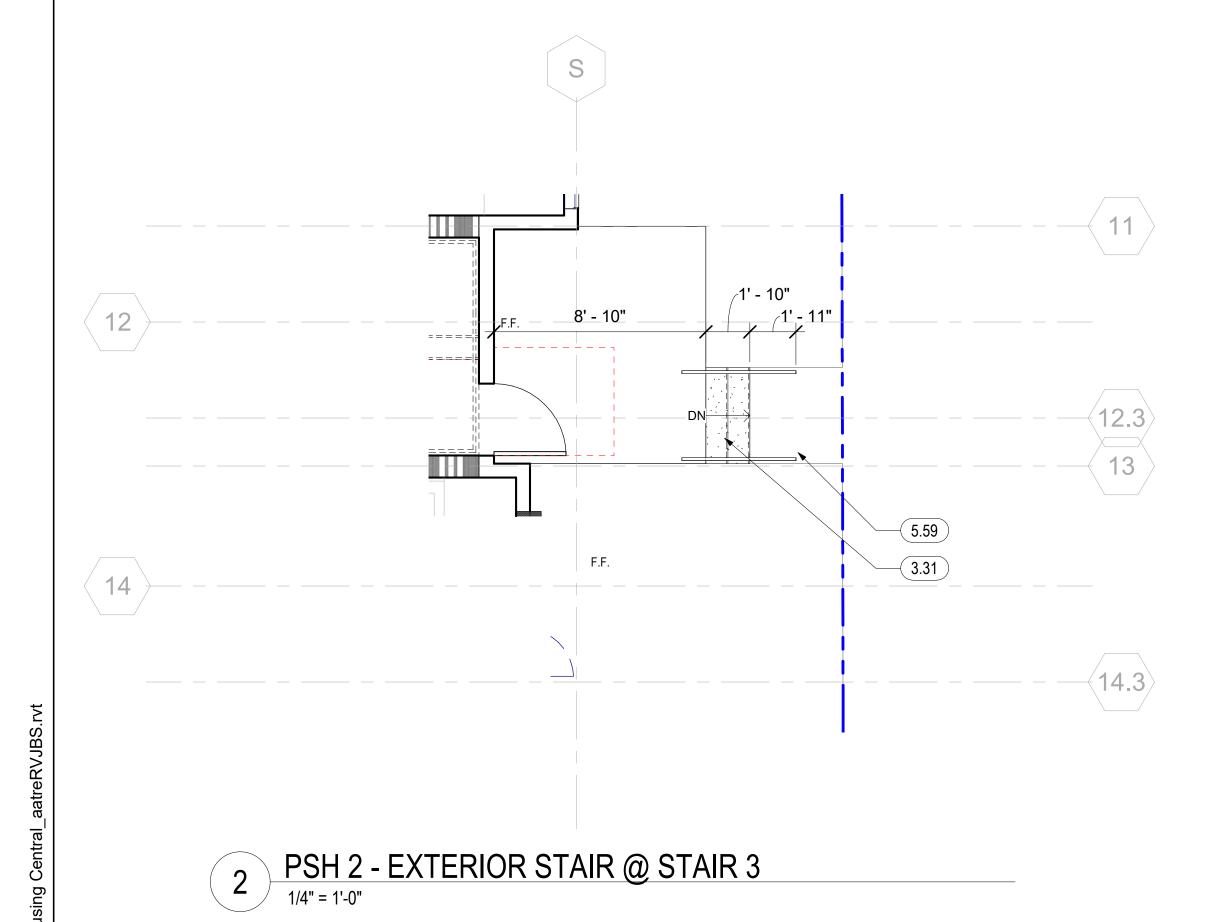
A72



PSH 2 - EXTERIOR STAIR @ ELECTRICAL/MAINTENANCE

ROOM

1/4" = 1'-0"



GENERAL NOTES - VERTICAL CIRCULATION

A. SEE SHEETS A7.33 & A7.34 FOR ELEVATOR CONTROL ROOM LAYOUT, DETAILED

D. TYPICAL TREAD DEPTH TO BE 11" MINIMUM. TYPICAL RISER HEIGHT TO BE 7"

G. PROVIDE CONTRASTING STRIPE AT TOP AND BOTTOM TREAD OF EACH FLIGHT. INSTALL CONTRASTING CARPET STRIPE AT CARPET TREAD OR PAINTED STRIPE AT

H. SEE STRUCTURAL DRAWINGS FOR STAIR STRINGERS, SUPPORTS, BRACING AND

LEVEL 3 - TOS 22' - 0"

LEVEL 1 - TOS 0' - 0"

HOISTWAY PLAN AND SECTION, AND BALANCE OF INFO.

B. FOR WALL TYPES, SEE SHEET A9.00

RELATED STAIR STRUCTURAL DETAILS.

CONCRETE TREAD.

C.FOR FLOOR ASSEMBLIES, SEE SHEET A8.10

E. FOR SIGNAGE AND SIGNAGE PLANS, SEE A10.XX

F. SEE INTERIOR FINISH SCHEDULE FOR STAIR FLOOR FINISH.

PAUL M MCELWEE

North Housing, Block A

PSH PHASE 2

520 MOSLEY AVENUE ALAMEDA, CA 94501

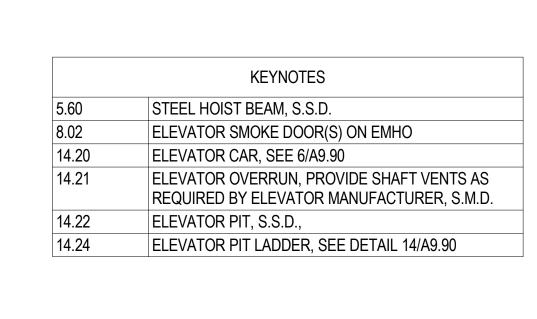
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2 12/8/21 SD SET 5 03/22/22 100% DD SET 6 08/22/22 50% CD SET

7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE PSH 2 - ELEVATOR PLANS AND

SECTIONS



8' - 8" CLEAR HOISTWAY

6 PSH 2 - ELEVATOR PIT - ENLARGED ELEVATOR 2

PSH 2 - ROOF - ENLARGED ELEVATOR 2

8.02
8' - 8" CLEAR HOISTWAY

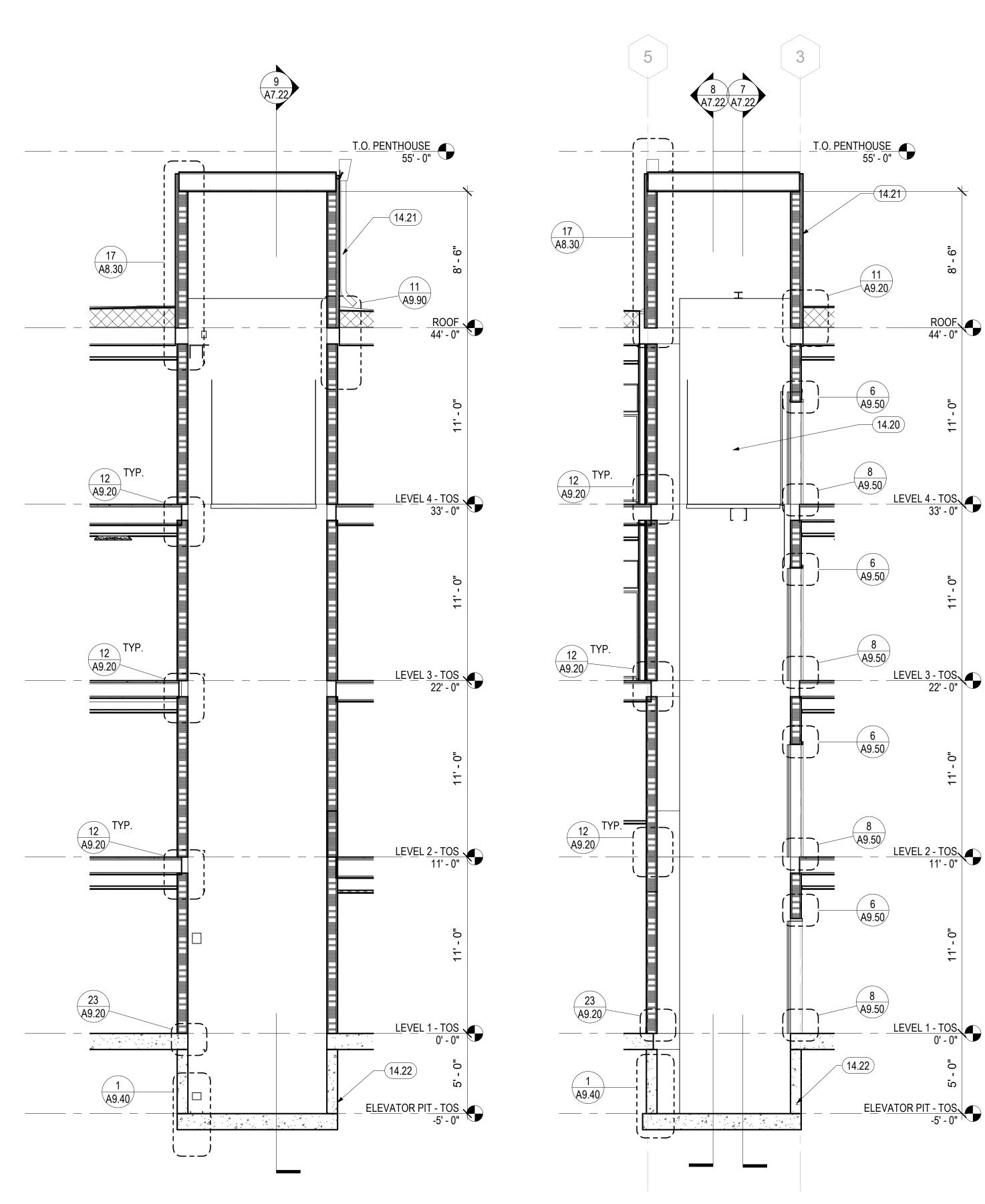
14.24

GAR DOOR TYP.
A9.90

14

_T.<u>O. PENTHOUSE</u> 55' - 0" PSH 2 - LEVEL 4 - ENLARGED ELEVATOR 2 LEVEL 4 - TOS 33' - 0" PSH 2 - LEVEL 3 - ENLARGED ELEVATOR 2 LEVEL 3 - TOS PSH 2 - LEVEL 2 - ENLARGED ELEVATOR 2

LEVEL 2 - TOS LEVEL 1 - TOS A9.40 ELEVATOR PIT - TOS -5' - 0"



PSH 2 - ELEVATOR 2 - E-W SECTION FACING SOUTH

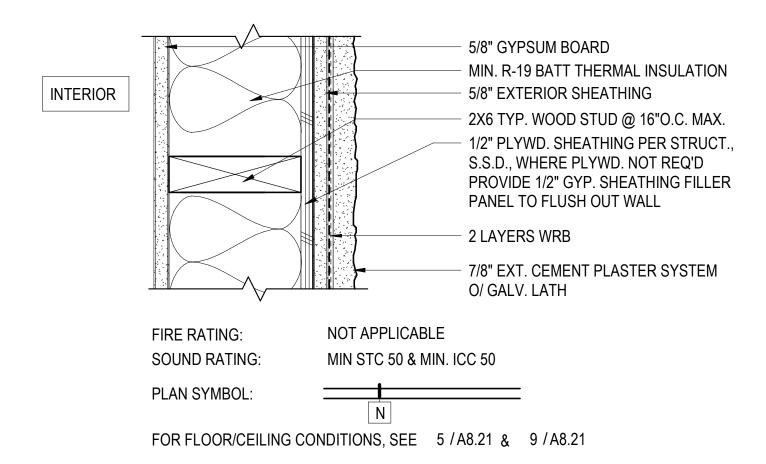
1/4" = 1'-0"

PSH 2 - LEVEL 1 - ENLARGED ELEVATOR 2 PSH 2 - ELEVATOR 2 - E-W SECTION FACING NORTH

9 PSH 2 - ELEVATOR 2 - N-S SECTION FACING WEST

FOR FLOOR/CEILING CONDITIONS, SEE 25 / A8.21 & 24 / A8.21

WALL TYPE M - FIBER CEMENT LAP SIDING (FC-13, FC-20)



WALL TYPE N - CEMENT PLASTER (CP-11, CP-12, CP-13,

2 CP-14, CP-15, CP-16, CP-17)
3" = 1'-0"

5/8" GYPSUM BOARD

MIN. R-19 BATT THERMAL INSULATION

5/8" EXTERIOR SHEATHING

2 LAYERS DRAINABLE WRB

FLUSH S.S. FLAT HEAD FASTENER, TYP. EA. SIDE

VERTICAL ALUMINUM TRIM

5/16" FIBER-CEMENT PANEL

1/2" PLYWD. SHEATHING PER STRUCT., S.S.D.,

WHERE PLYWD. NOT REQ'D PROVIDE 1/2" GYP.

SHEATHING FILLER PANEL TO FLUSH OUT WALL

2X6 WOOD STUDS @ 16" O.C., TYP.

FIRE RATING:

NOT APPLICABLE

SOUND RATING:

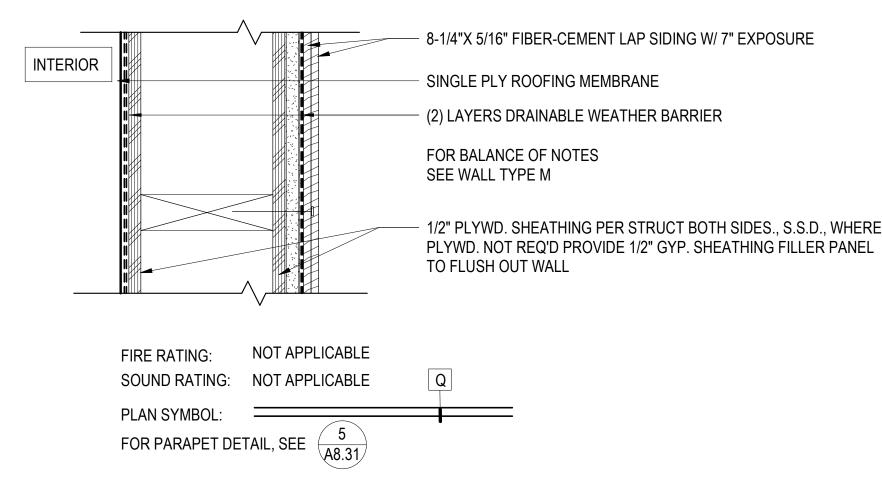
MIN STC 50 & MIN. ICC 50

PLAN SYMBOL:

FOR FLOOR/CEILING CONDITIONS, SEE 19 / A8.21 & 20 / A8.21

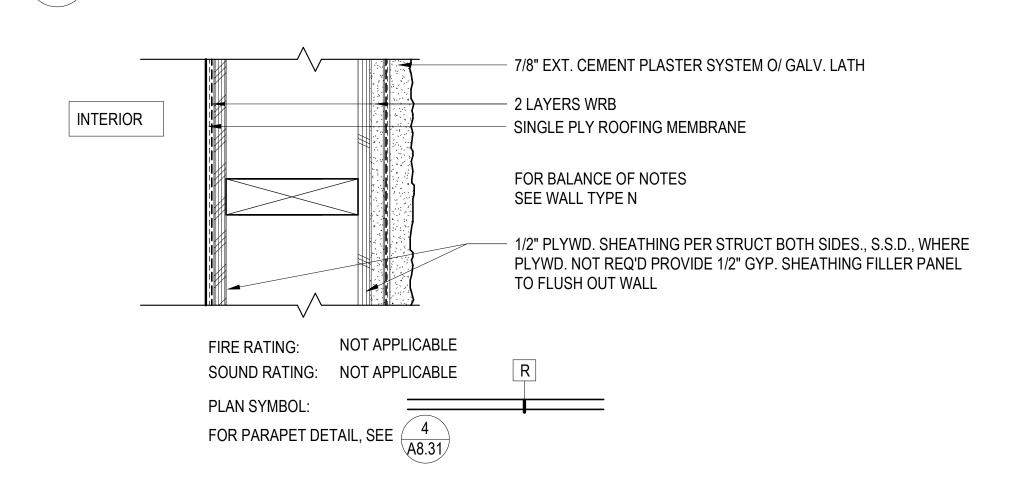
WALL TYPE O - FIBER CEMENT PANEL (FC-11, FC-12, FC-14, FC-15, FC-16, FC-17, FC-18, FC-19)

3" = 1'-0"

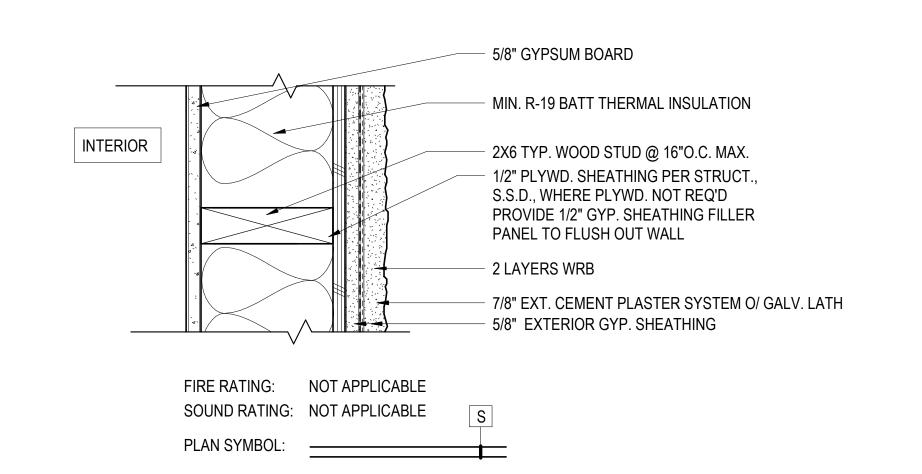


WALL TYPE Q - FIBER CEMENT PANEL @ PARAPET (FC-11, FC-15, FC-18, FC-19)

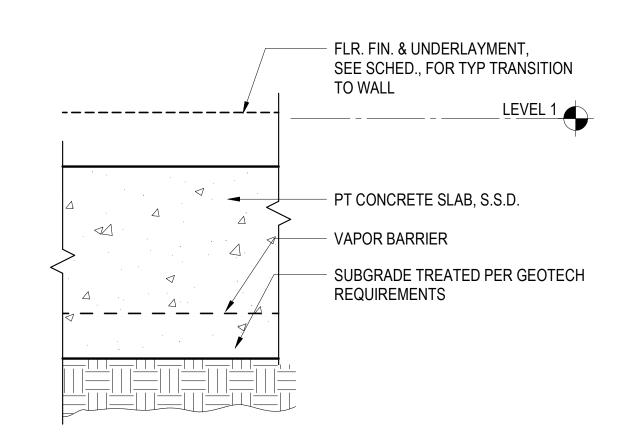
3" = 1'-0"

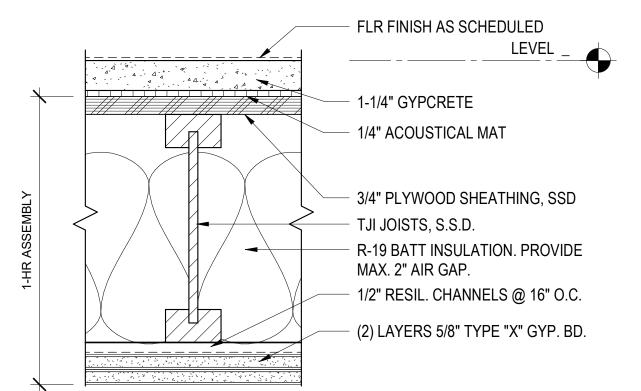


7 WALL TYPE R - CEMENT PLASTER @ PARAPET (CP-13, CP-14, CP-15, CP-16)
3" = 1'-0"



8 WALL TYPE S - CEMENT PLASTER @ STAIRS & ELEVATOR @ ROOF (CP-13, CP-14)





FIRE RATING: 1-HOUR PER GA FILE NO.FC 5241

SOUND RATING: IIC RATING 50 STC MINIMUM

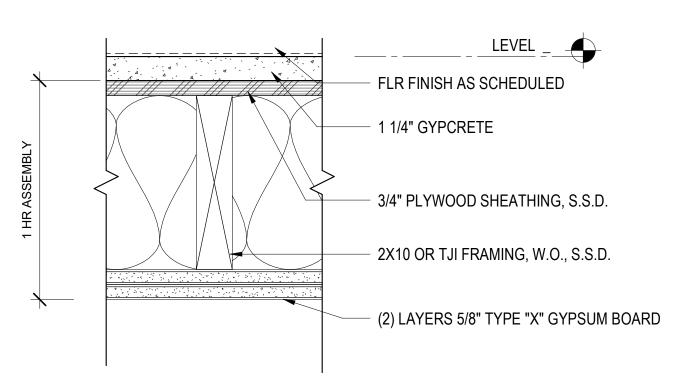
NOTE: ASSEMBLY OCCURS AT FLOOR - CEILING CONDITIONS ABOVE DWELLING UNITS ONLY

FINISH FLOORING

STAIR LANDING

PLYWOOD SHEATHING, S.S.D.





1-HOUR PER CBC TABLE 721.1(3), ITEM 21.1.1

H3 TYPICAL CORRIDOR FLOOR ASSEMBLY
3" = 1'-0"

NG, S.S.D.

V.O., S.S.D.

"GYPSUM BOARD

FIRE RATING:

1-HOUR PER GA-600-2018
FILE NO.FC 5529

H2 TYPICAL WOOD FLOOR ASSEMBLY
3" = 1'-0"

TYPICAL INTERMEDIATE STAIR LANDING

3" = 1'-0"

HKIT ARCHITEC

PAUL M
MCELWEE

A

COREN C-28734

REN C-28734

COREN C-28734

REN C-28734

North Housing, Block A

Alameda, CA 94501

JOB NO. 190

DRAWN Author
CHECKED Checker

JOB CAPTAIN Approver
ISSUE

DATE DESCRIPTION
1 08/27/21 ENTITLEMENT SET

1 08/27/21 ENTITLEMENT S
2 12/8/21 SD SET
5 03/22/22 100% DD SET
6 08/22/22 50% CD SET
7 09/29/22 PERMIT SUBMIT

6 08/22/22 50% CD SET
7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE

EXTERIOR WALL

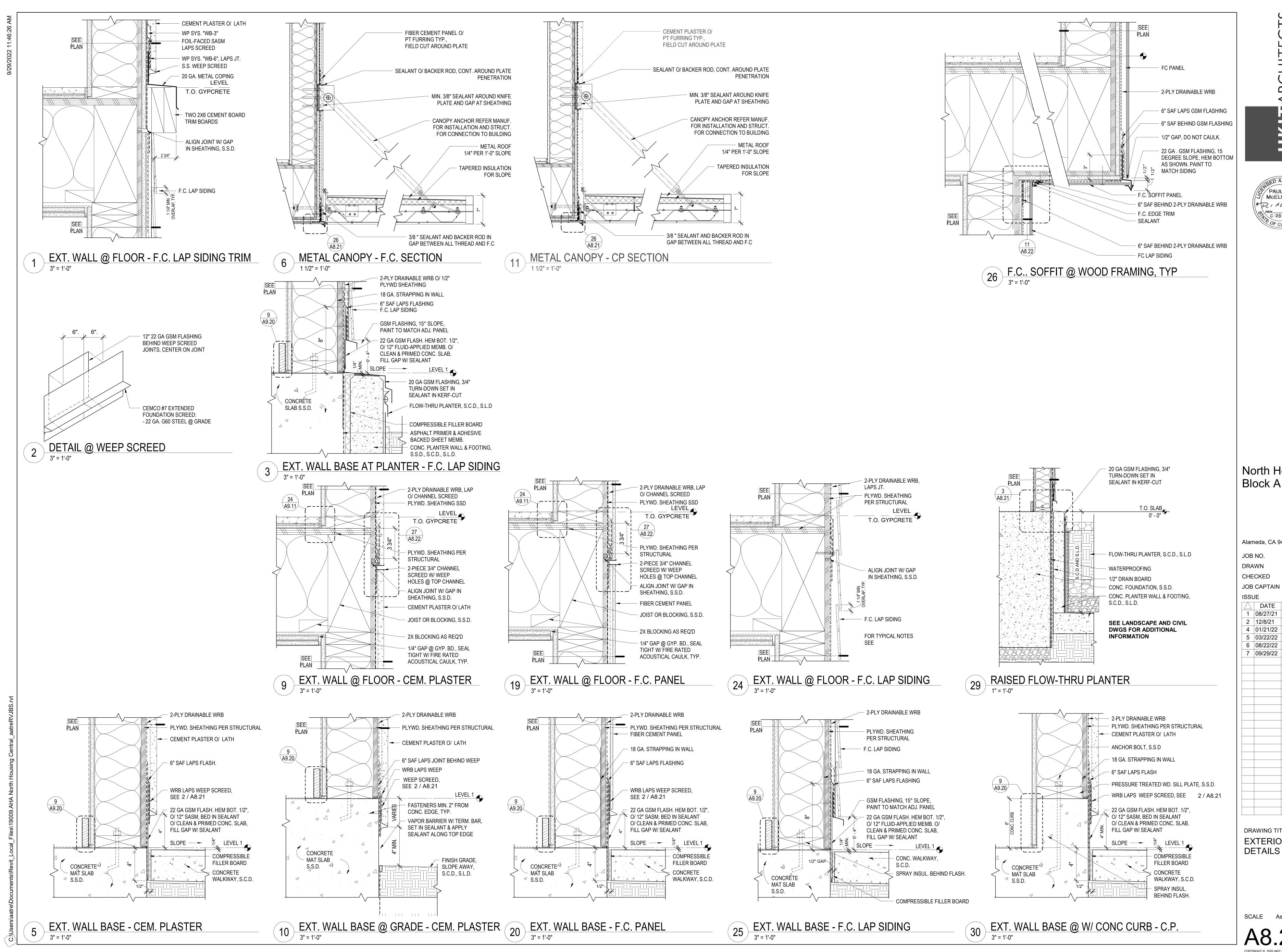
TYPES &

HORIZONTAL

ASSEMBLIES

SCALE 3" = 1'-0"

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O PAUL M MCELWEE 1 × 12.1 100 OF CALIFOR

North Housing, Block A

Alameda, CA 94501

Author

Checker JOB CAPTAIN Approver

DATE DESCRIPTION 1 08/27/21 ENTITLEMENT SET 2 | 12/8/21 | SD SET

4 01/21/22 50% DD SET 5 | 03/22/22 | 100% DD SET

6 | 08/22/22 | 50% CD SET

7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE **EXTERIOR WALL**

SCALE As indicated

North Housing, Block A

PSH PHASE 2

520 MOSLEY AVENUE ALAMEDA, CA 94501

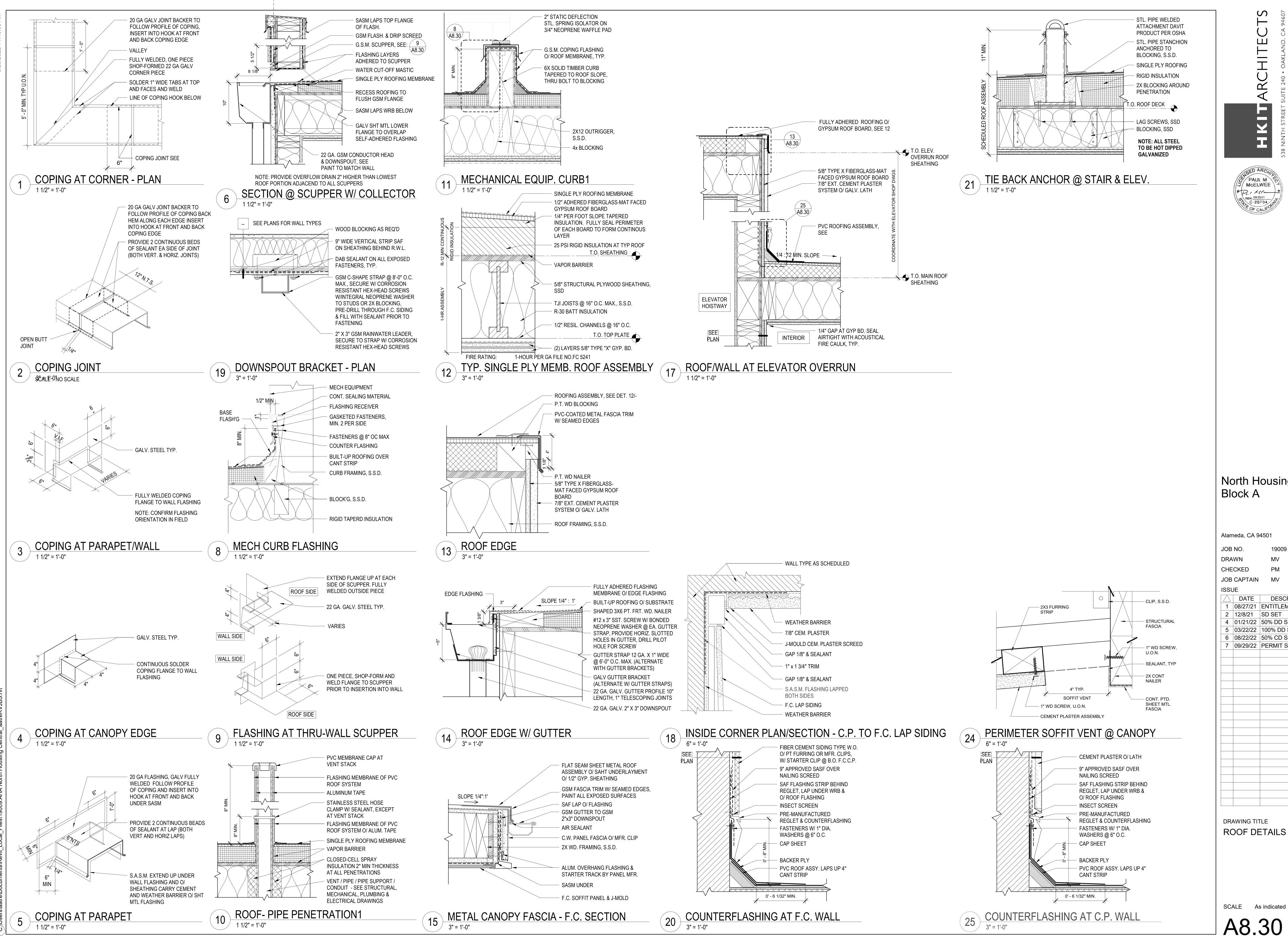
JOB CAPTAIN

ISSUE

5 03/22/22 100% DD SET 6 08/22/22 50% CD SET

7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE PSH 2 - EXTERIOR WINDOW SHADE



PAUL M CO REN_09/30/21 C-28734 FOF CALIFORNIA

North Housing, Block A

Alameda, CA 94501

JOB NO.

DRAWN

CHECKED

JOB CAPTAIN

ISSUE

DESCRIPTION

1 08/27/21 ENTITLEMENT SET

2 | 12/8/21 | SD SET

4 01/21/22 50% DD SET

5 | 03/22/22 | 100% DD SET

6 | 08/22/22 | 50% CD SET

7 09/29/22 PERMIT SUBMITTAL

SCALE As indicated

North Housing, Block A

- BLOCKING, SSD

HEADER, SSD

Alameda, CA 94501 JOB NO.

DRAWN Author CHECKED Checker JOB CAPTAIN Approver

ISSUE DATE DESCRIPTION

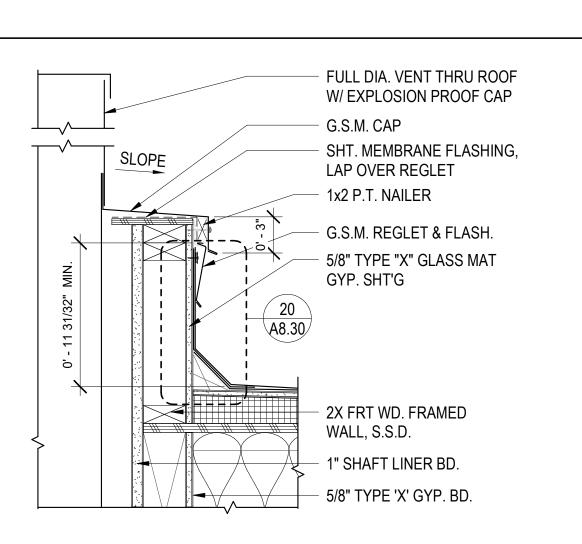
1 08/27/21 ENTITLEMENT SET 2 12/8/21 SD SET 5 03/22/22 100% DD SET 6 08/22/22 50% CD SET 7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE

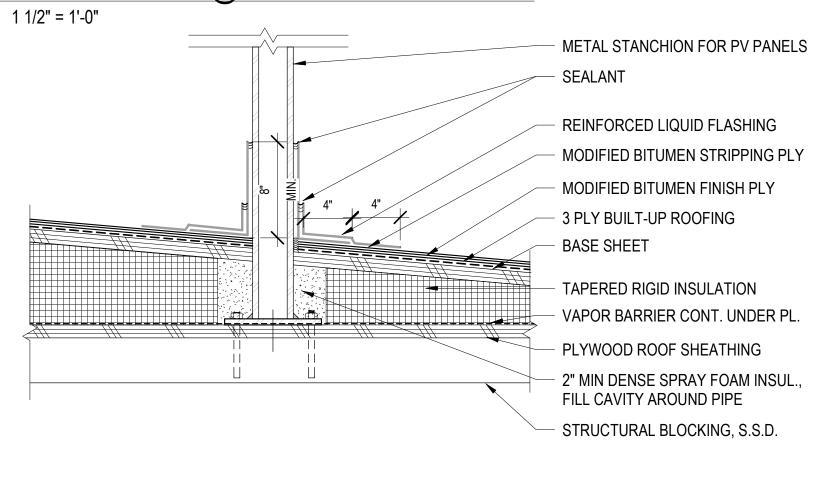
ROOF DETAILS

SCALE As indicated

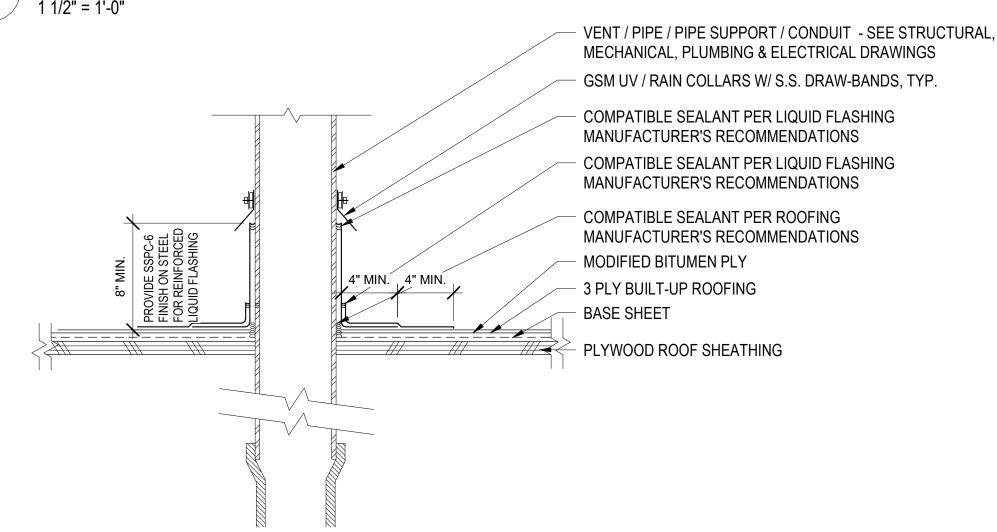
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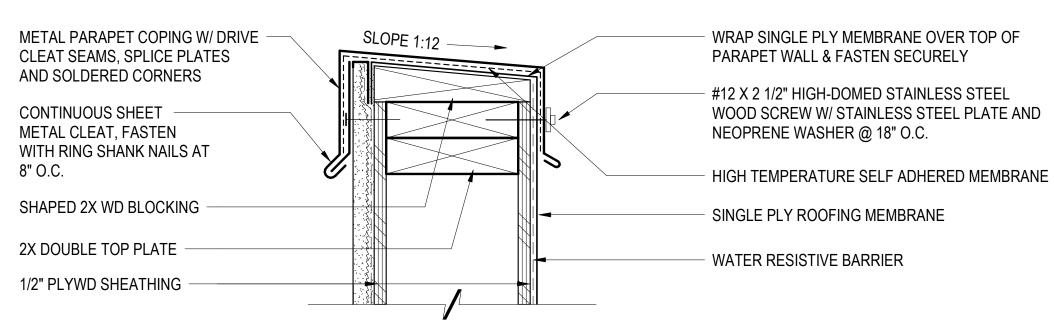
1 TRASH CHUTE @ FLAT ROOF1
1 1/2" = 1'-0"



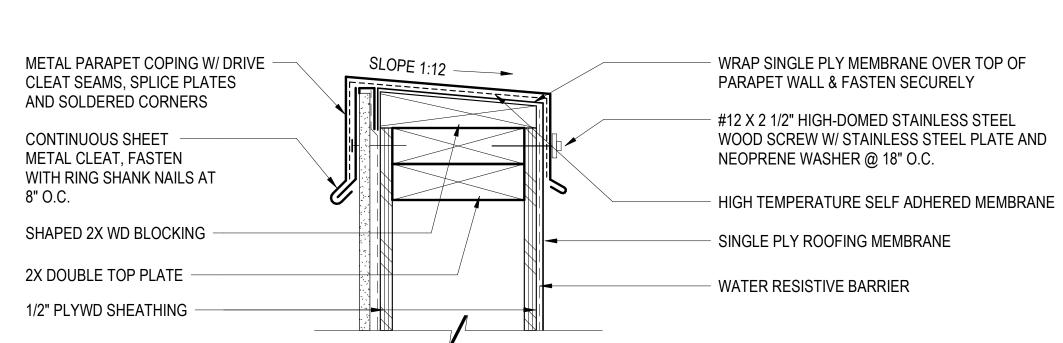
2 STANCHION FLASHING AT B.U.R.
1 1/2" = 1'-0"



3 PLUMBING STACK @ ROOF
1 1/2" = 1'-0"



4 PARAPET COPING - CEMENT PLASTER
3" = 1'-0"



5 PARAPET COPING - FIBER CEMENT PANEL

TO TJIS W/ #12 X 3" WD SCREW @ EA. JOIST; 1-1/2" MIN EMBED, TYP. CEMENT PLASTER O/ SELF-FURRING LATH O/ WATER RESISTIVE BARRIER PERIMETER SOFFIT VENT, SEE (24) A8.30

A8.30 COUNTER FLASHING

GSM GUTTER ASSEMBLY

1/2" PT WD EDGE NAILER

PSL HEADER SSD LSL LEDGER, SSD -

- METAL FASCIA W/ CONT BACKER CLEAT

O/ 5/8" PLYWOOD O/ 9 1/2" TJI JOISTS,SSD

2" CONT. SCREENED SOFFIT VENT

- SINGLE PLY ROOFING O/ 1/2" MIN. TAPERED INSULATION

- 2X3 TURNED FLAT, FURRING STRIPS @ 16" O.C. FASTENED

- 6X6 WOOD POST W.O., SSD - 6X CONTINOUS NAILER DOWNSPOUT, FOR ATTACHMENT TO POST, SEE

PSH 1 SOUTH LOBBY LOW ROOF
1 1/2" = 1'-0"

- 1/2" PT WD EDGE NAILER

25 A8.30 COUNTER FLASHING

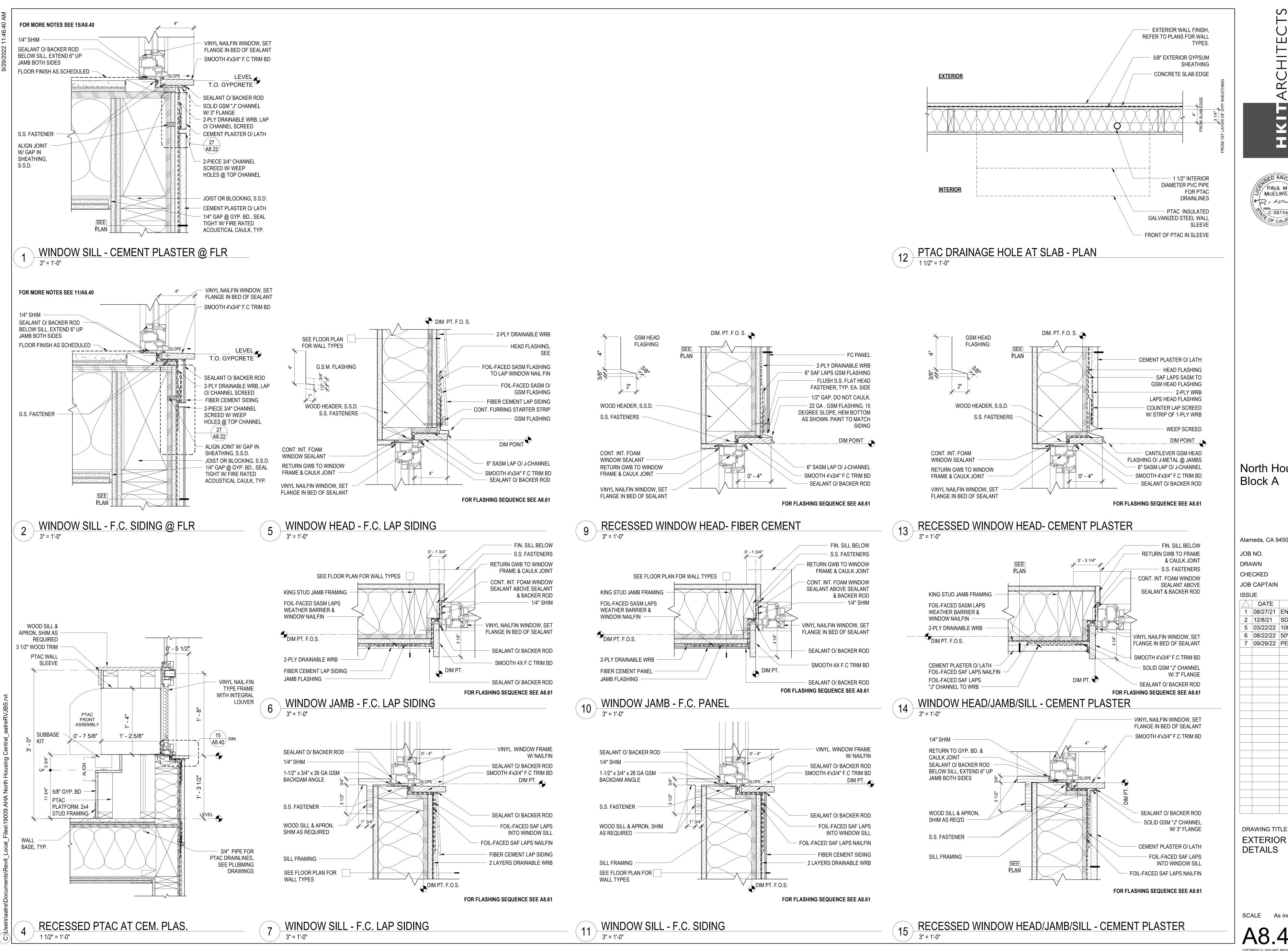
- SINGLE PLY ROOFING

O/ 3/4" PLYWOOD

O/ 1/2" MIN. TAPERED INSULATION

O/ 9 1/2" CANTILEVERED TJI JOISTS,SSD

PSH 1 SOUTH WALKWAY CANOPY



PAUL M MCELWEE

North Housing, Block A

Alameda, CA 94501

JOB NO.

Author CHECKED Checker

Approver

DATE DESCRIPTION 1 08/27/21 ENTITLEMENT SET

2 | 12/8/21 | SD SET 5 | 03/22/22 | 100% DD SET

6 | 08/22/22 | 50% CD SET

7 09/29/22 PERMIT SUBMITTAL

EXTERIOR WINDOW DETAILS

SCALE As indicated

O PAUL M J MCELWEE

Author CHECKED Checker Approver

JOB CAPTAIN ISSUE

DESCRIPTION 7 09/29/22 PERMIT SUBMITTAL

ALUM. LOUVER & SCREEN, S.M.D. ALUM. CLOSURE PIECE BY LOUVER MFR. GSM SILL FLASHING PAN SET IN BED OF SEALANT RETURN GWB TO WINDOW FRAME & CAULK JOINT SHIM AS REQ'D CONT. 2-1/2" X 1-1/2" X 1/8" ALUM. ANGLE W/ S.S. #8 SCREWS @ 16" O.C. CAULK

- 1" DOWN-TURNED END DAM

FOR BALANCE OF NOTES,

- CONT. 1-1/2" X 2-1/2" X 1/8"

ALUM. ANGLE W/ S.S. #10

RETURN GWB TO FRAME &

ALUM. CLOSURE PIECE BY

- ALUM. LOUVER & SCREEN, S.M.D.

SCREWS @ 16" O.C.

SHIM AS REQ'D.

CAULK JOINT

LOUVER MFR.

- SEALANT

DIM. PT. F.O. S. 🗣

6 LOUVER HEAD - C.P. (WOOD STUD)
3" = 1'-0"

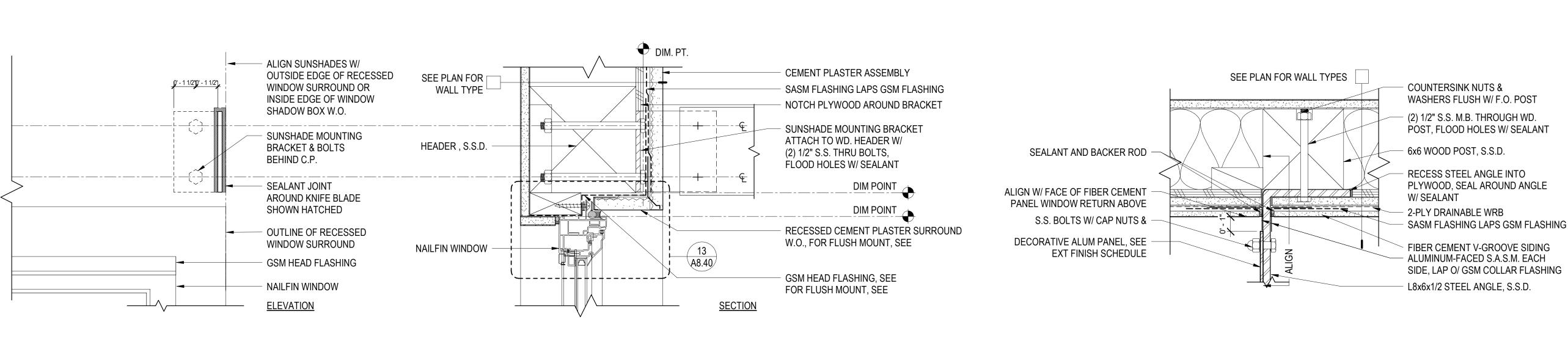
LOUVER SILL (JAMB SIM.) -

7 C.P. (WOOD STUD)

DRAWING TITLE EXTERIOR LOUVER & SUNSHADE DETAILS

SCALE 3" = 1'-0"

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DIM. PT. F.O. S.

2-PLY DRAINABLE WRB, LAPS SASM

SASM LAPS VENT FLANGE

CEMENT PLASTER O/ LATH

VENT CAP W/ 3-INCH FACE-

FLANGE ALL SIDES, SET IN

BED OF SEALANT, PAINT TO MATCH ADJ. WALL COLOR

CEMENT PLASTER O/ LATH

SILL FLASHING LAPS AIR BARRIER, SEE

SEE RCP'S FOR SOFFIT — LOCATION AND EXTENTS

2-PLY DRAINABLE WRB

8 C.P. (WOOD STUD)
3" = 1'-0"

LOUVER SILL (JAMB SIM.) -

2X BLOCKING AS REQ'D

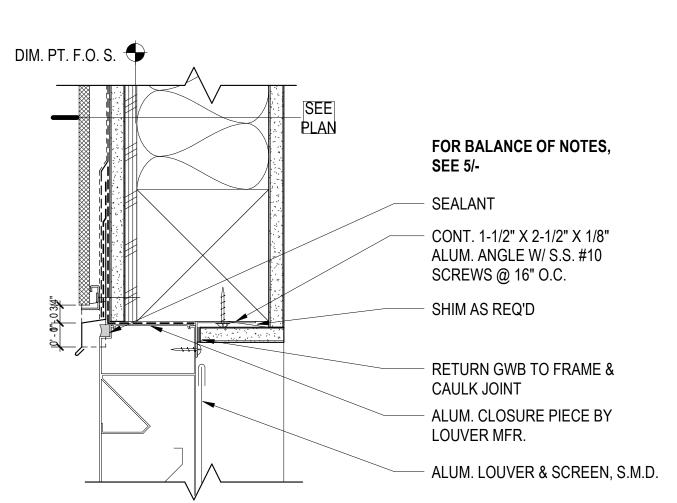
FOR VENT LOCATION

AND SIZES, S.M.D.

HEAD FLASHING, SEE A8.61

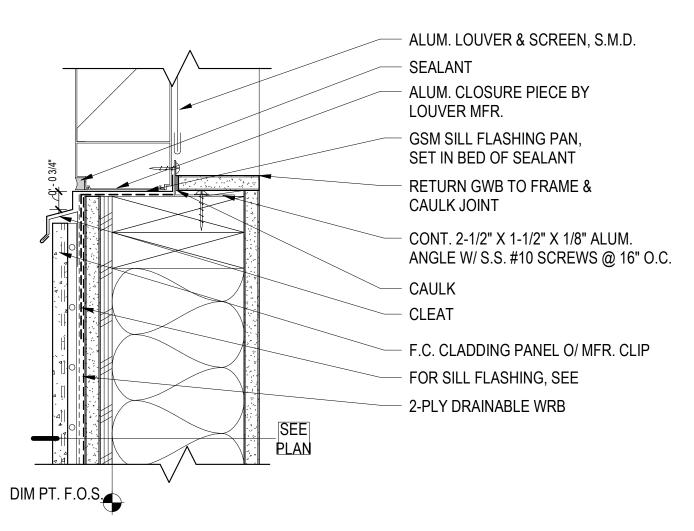
1 SUNSHADE @ CEMENT PLASTER
3" = 1'-0"

3 SUNSHADE ANCHORAGE AT VERTICAL FIN 3" = 1'-0"



4 LOUVER HEAD - F.C.C.P. (WOOD 1HR)

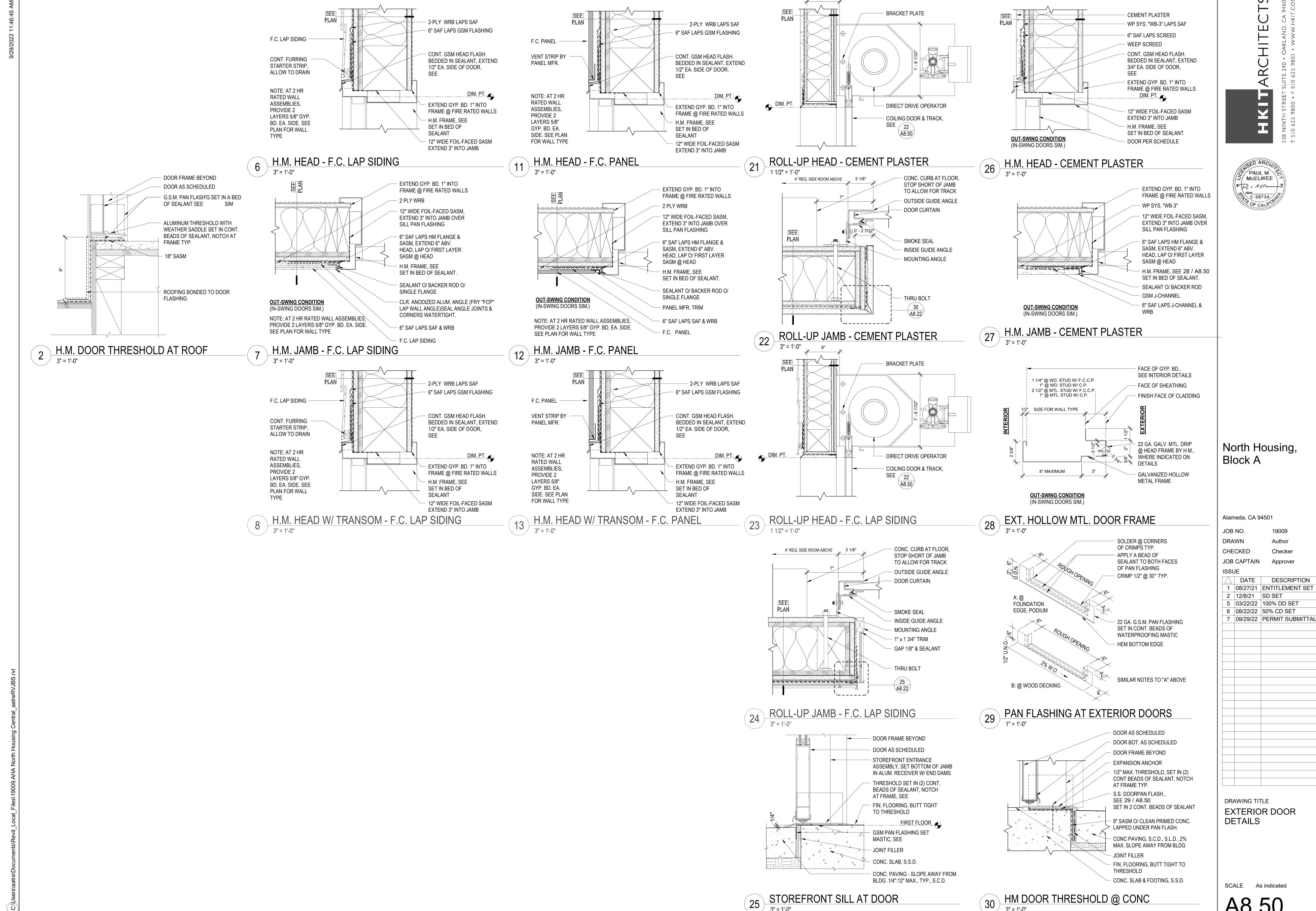
3" = 1'-0"



5 LOUVER SILL (JAMB SIM.) - F.C.C.P. (WOOD 1HR)



__SEE PLAN



30 HM DOOR THRESHOLD @ CONC

North Housing, Block A

Alameda, CA 94501

Author

Checker

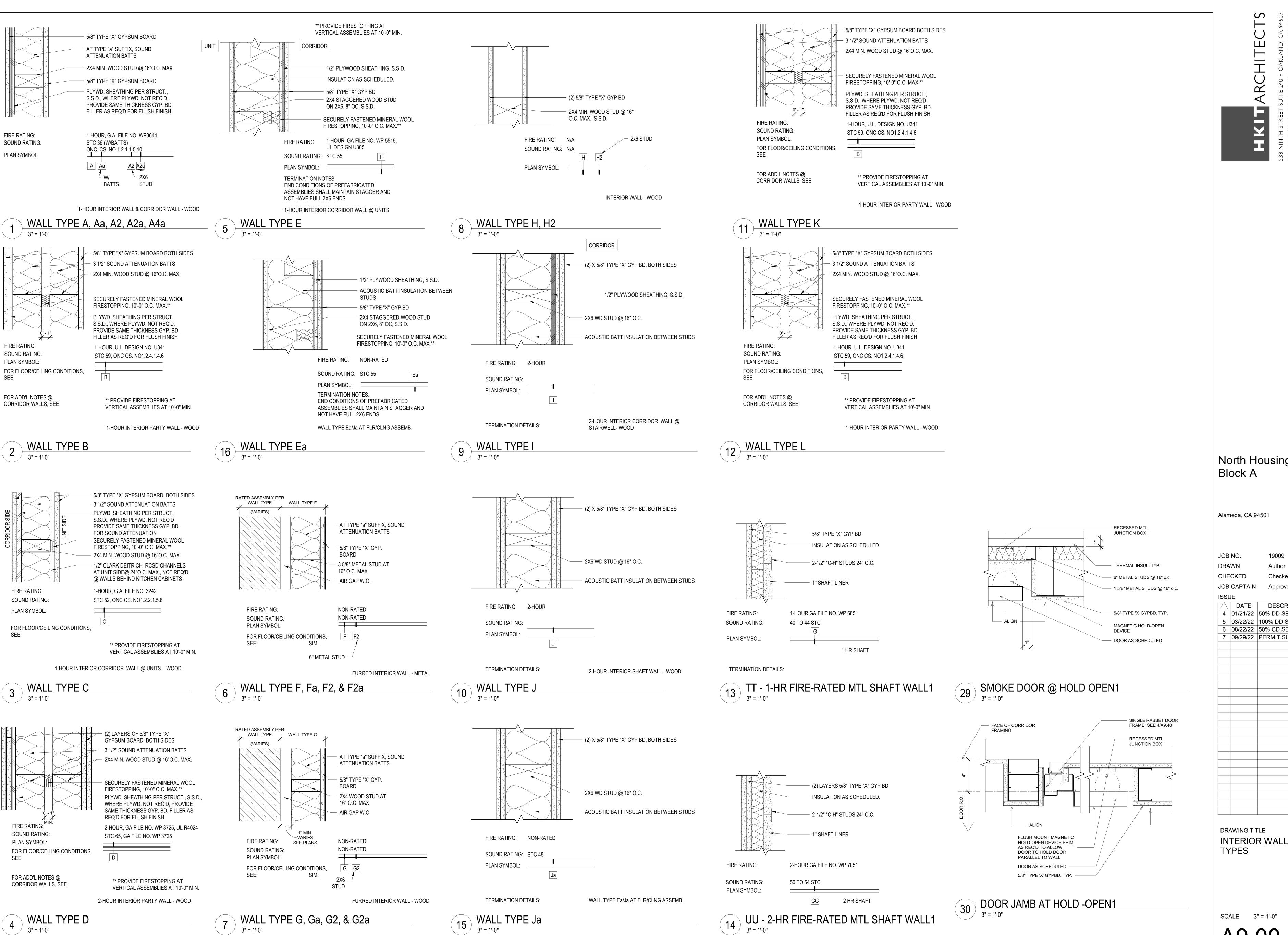
JOB CAPTAIN Approver

DESCRIPTION 4 01/21/22 50% DD SET 5 03/22/22 100% DD SET

6 08/22/22 50% CD SET 7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE **EXTERIOR** STOREFRONT

SCALE As indicated



3" = 1'-0"

3" = 1'-0"

North Housing, Block A

Alameda, CA 94501

Author

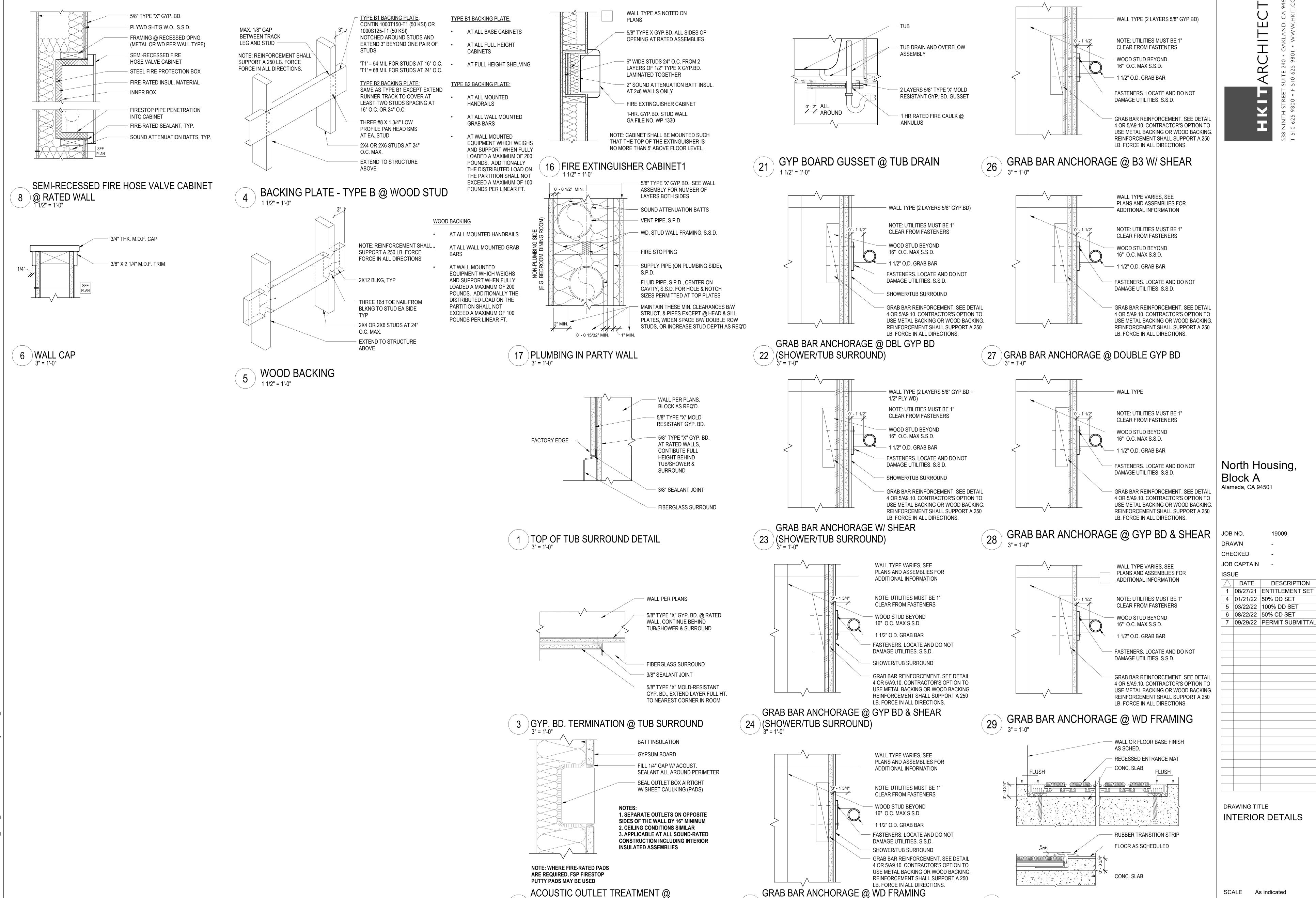
Checker Approver

DESCRIPTION 4 01/21/22 50% DD SET 5 03/22/22 100% DD SET 6 08/22/22 50% CD SET

7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE

SCALE 3" = 1'-0"

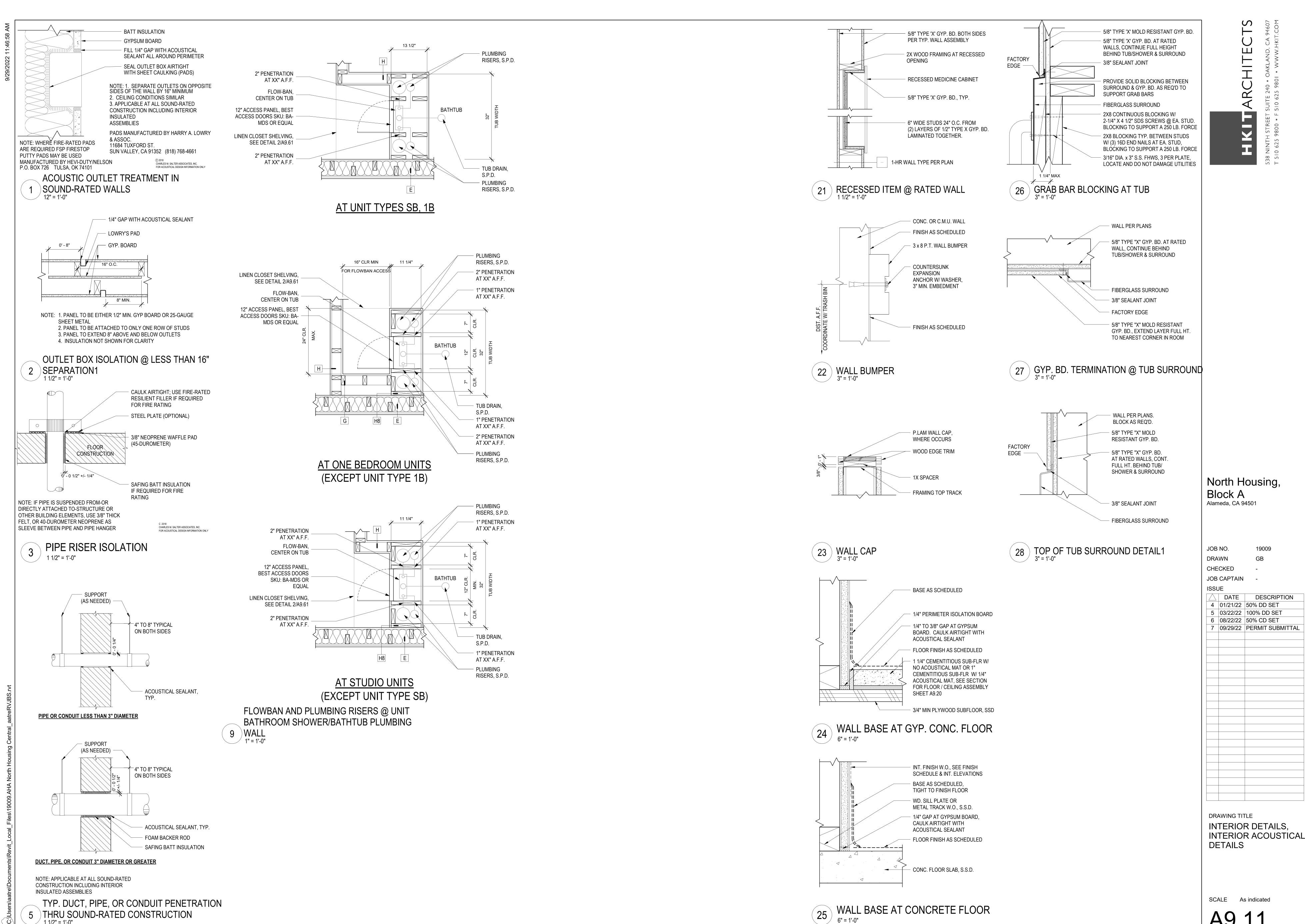


2 SOUND-RATED WALLS

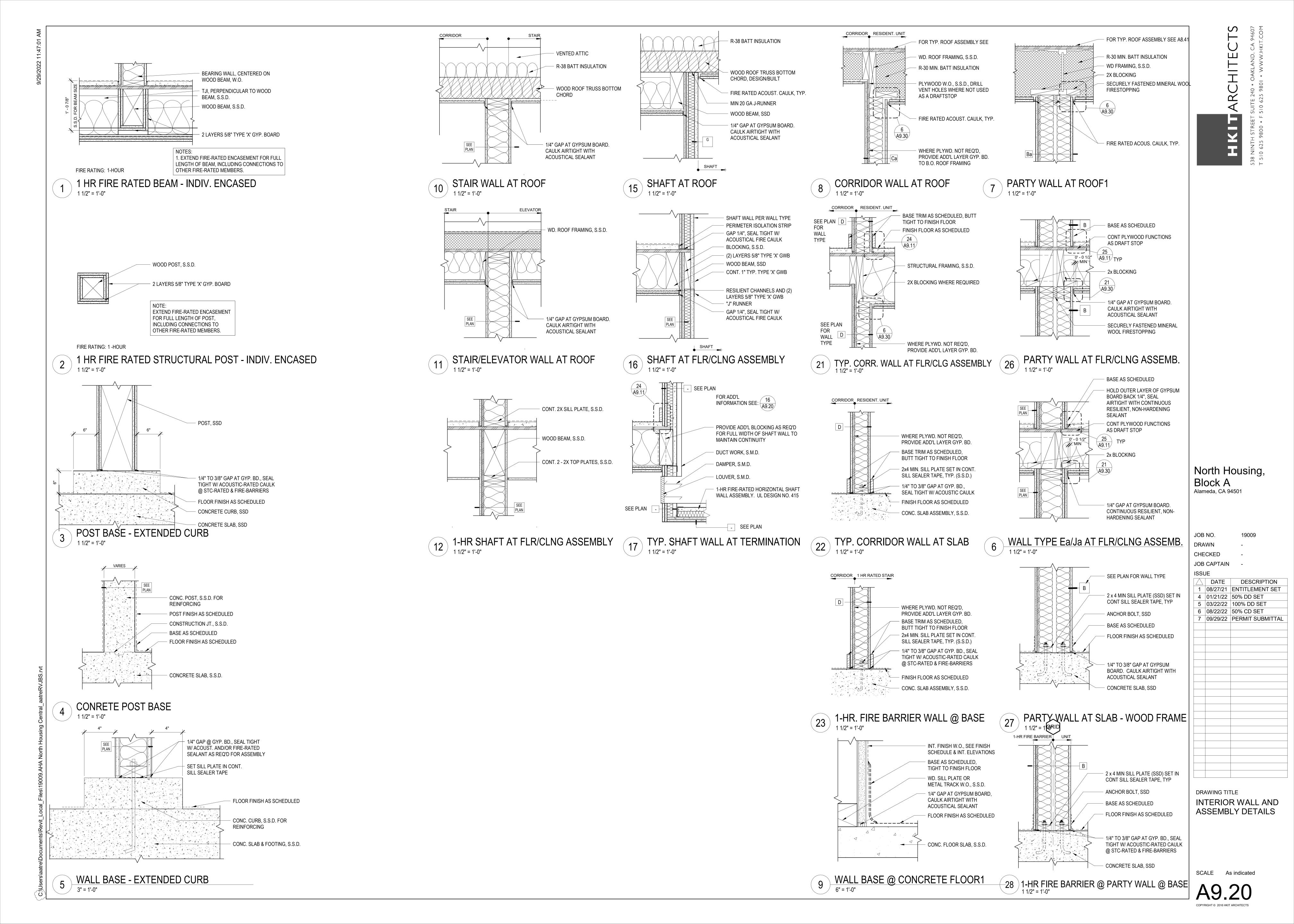
12" = 1'-0"

25 (SHOWER/TUB SURROUND)

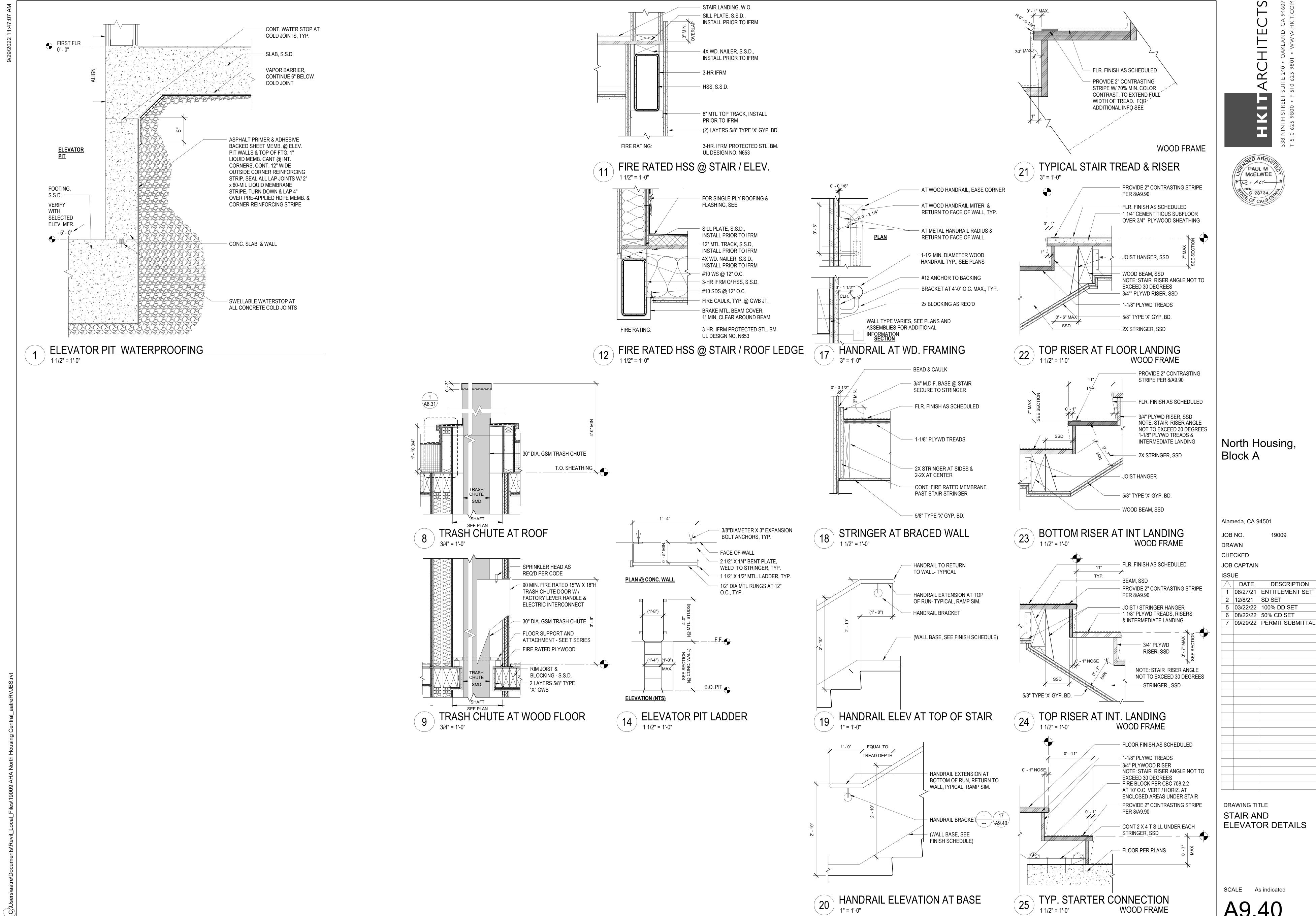
30 RECESSED WALK-OFF MAT 6" = 1'-0"

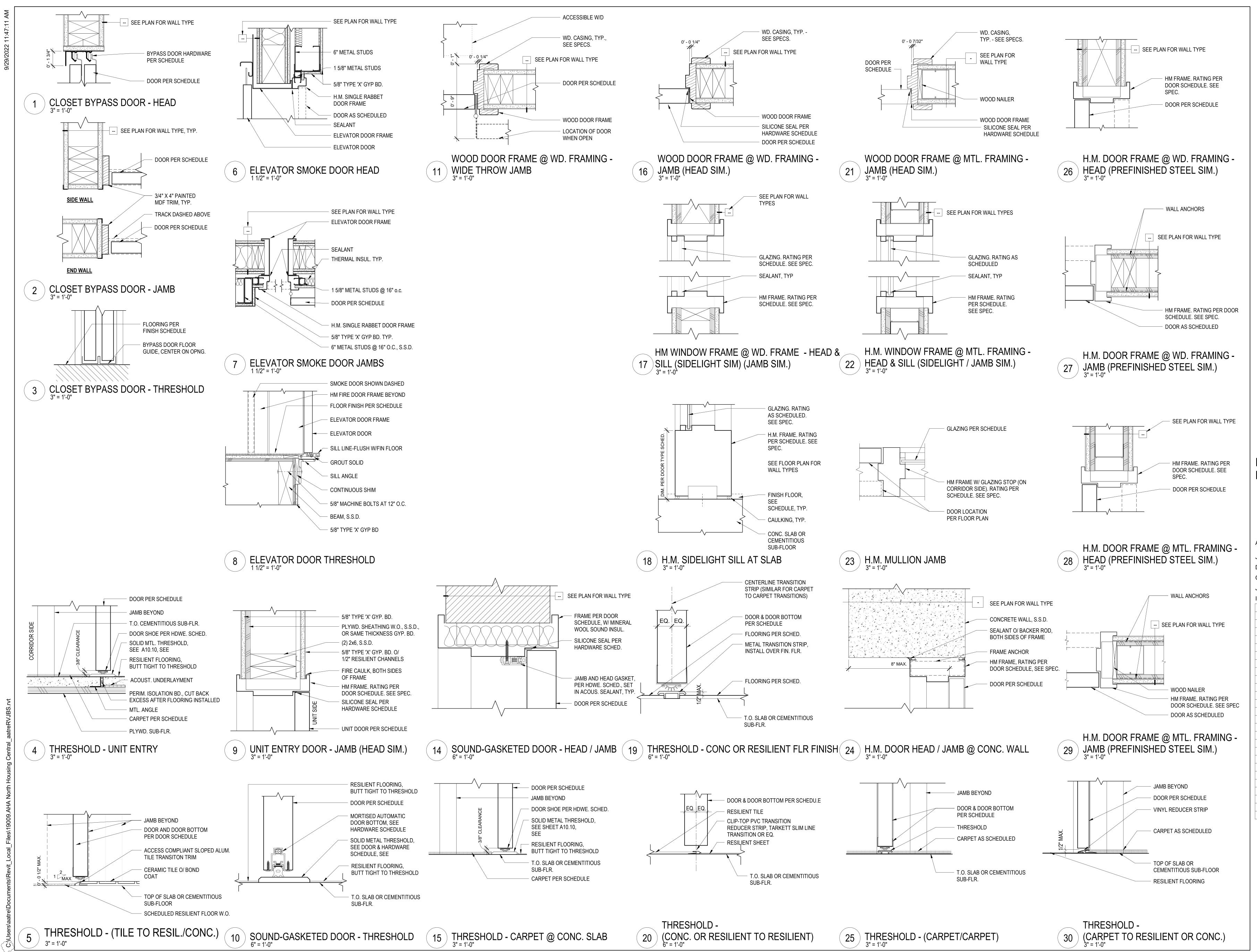


5 THRU SOUND-RATED CONSTRUCTION



AS indicated AS indicated AS AS Indicated AS





SED ARCHIA PAUL M MCELWEE REN. C-28734 COF CALIFORNIA

North Housing, Block A

Alameda, CA 94501

JOB NO.

DRAWN

CHECKED

Checker JOB CAPTAIN Approve

ISSUE

DATE DESCRIPTION 1 08/27/21 ENTITLEMENT SET

5 | 03/22/22 | 100% DD SET

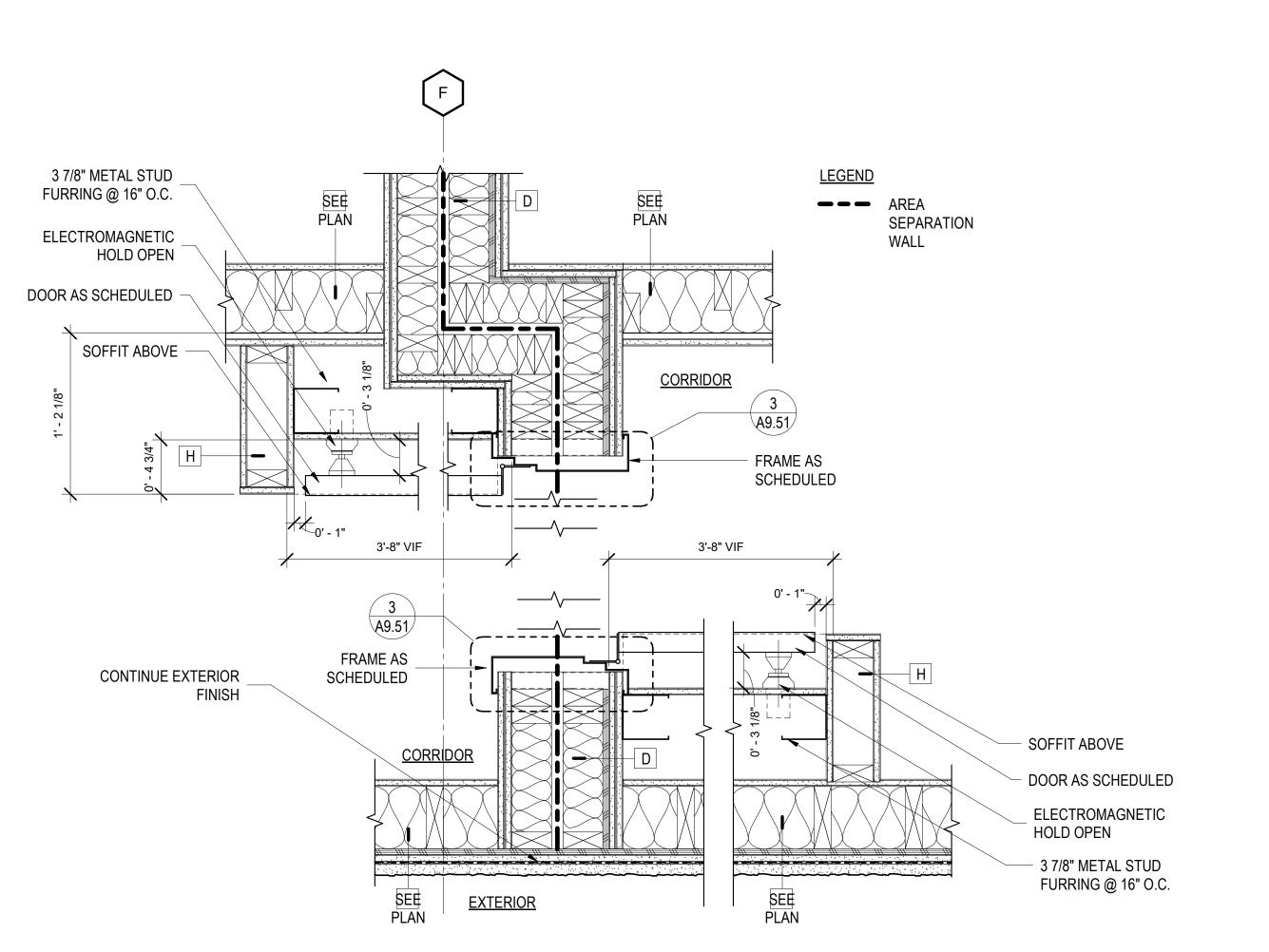
6 08/22/22 50% CD SET

7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE

INTERIOR DOOR & THRESHOLD DETAILS

SCALE As indicated



3 FIRE BARRIER DOOR - HEAD (JAMB SIM.)

SEE PLAN FOR WALL TYPE

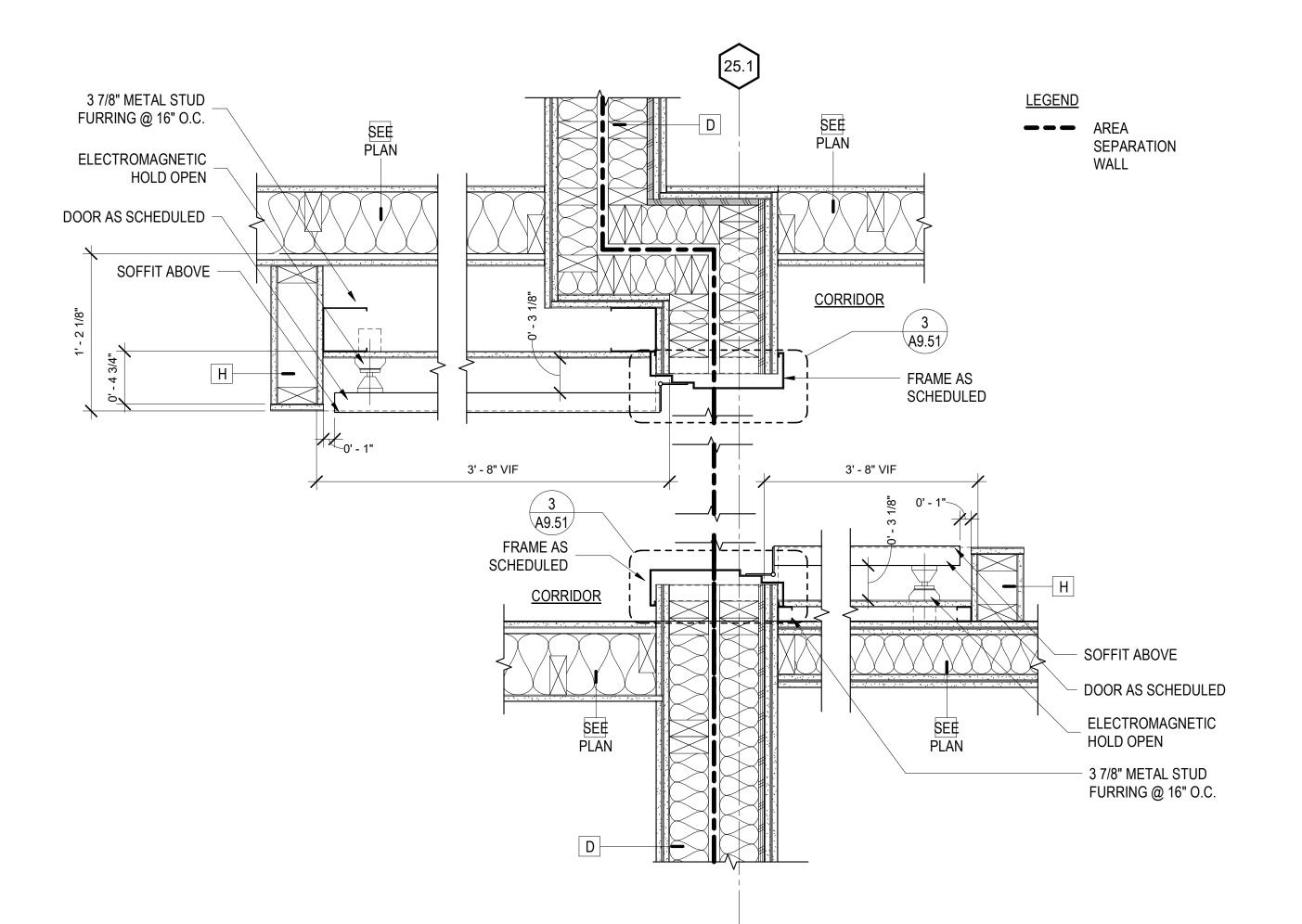
HM FRAME. RATING PER

- DOOR PER SCHEDULE

AREA SEPARATION WALL

DOOR SCHEDULE, SEE SPEC.

FIRE BARRIER DOOR & HOLD OPEN - PSH 1
1 1/2" = 1'-0"



FIRE BARRIER DOOR & HOLD OPEN - SEN
1 1/2" = 1'-0"

North Housing, Block A

Alameda, CA 94501

JOB NO.

DRAWN
CHECKED Checker

JOB CAPTAIN
ISSUE

DATE DESCRIPTION
7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE
INTERIOR DOOR &
THRESHOLD DETAILS

SCALE As indicated

[/] 3" = 1'-0"

1 1/2" = 1'-0"

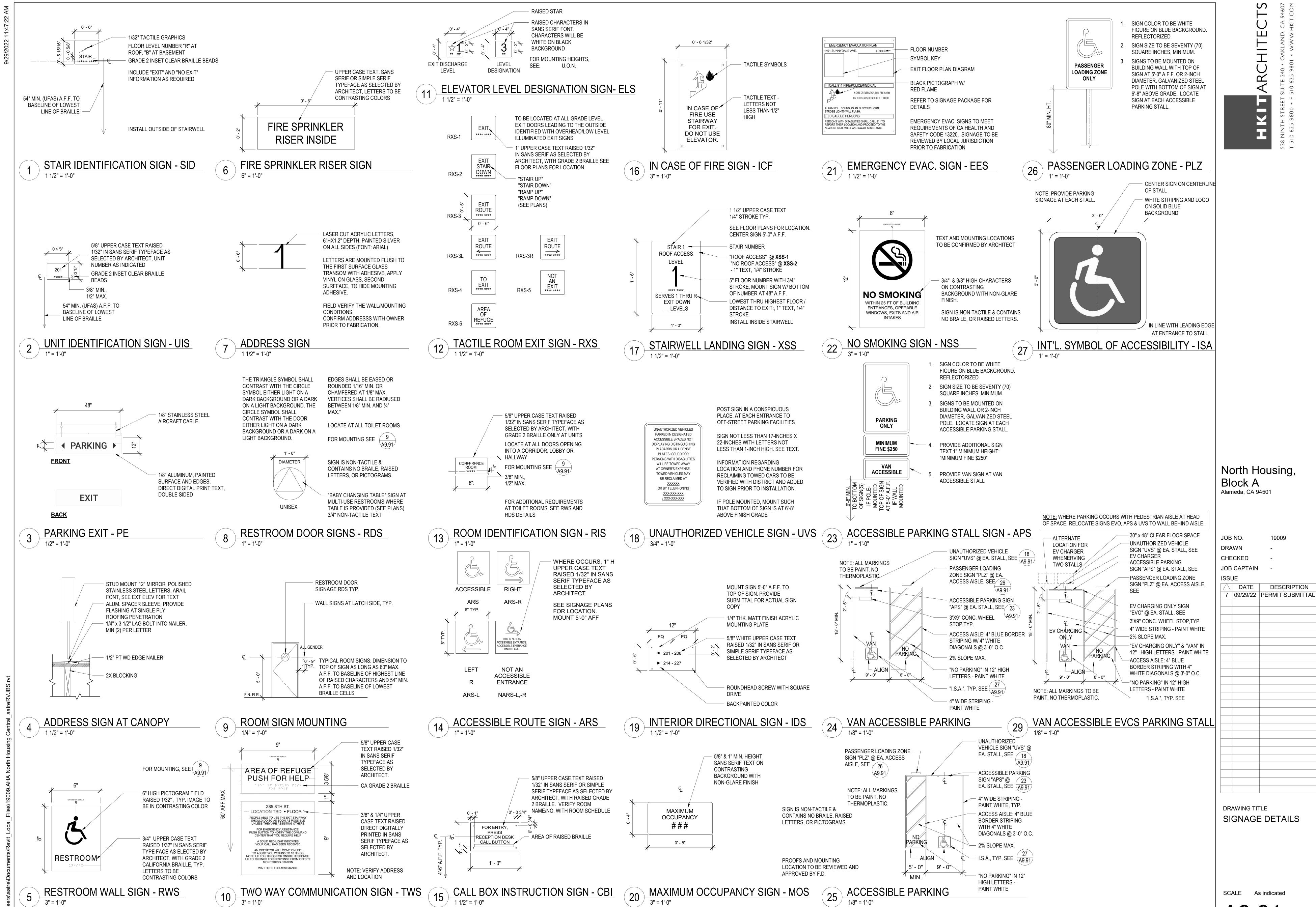
North Housing, Block A Alameda, CA 94501

CHECKED JOB CAPTAIN

DESCRIPTION 4 01/21/22 50% DD SET 5 03/22/22 100% DD SET 6 08/22/22 50% CD SET 7 | 09/29/22 | PERMIT SUBMITTAL

DRAWING TITLE STANDARD

SCALE As indicated





North Housing, Block A

PSH PHASE 2

520 MOSLEY AVENUE ALAMEDA, CA 94501

DRAWN

JOB CAPTAIN

DESCRIPTION 6 08/22/22 50% CD SET

7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE PSH 2 - LEVEL 1 FINISH PLAN

SCALE 1/8" = 1'-0"

CPT-1 WALK-OFF CARPET

RECESSED WALK OFF MAT

(WM-1)



North Housing, Block A

PSH PHASE 2

520 MOSLEY AVENUE ALAMEDA, CA 94501

CHECKED

DATE DESCRIPTION 5 03/22/22 100% DD SET 6 08/22/22 50% CD SET

7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE PSH 2 - LEVEL 2

SCALE 1/8" = 1'-0"



North Housing,

PSH PHASE 2

520 MOSLEY AVENUE ALAMEDA, CA 94501

DESCRIPTION 6 08/22/22 50% CD SET 7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE PSH 2 - LEVEL 3

SCALE 1/8" = 1'-0"



North Housing, Block A

PSH PHASE 2

520 MOSLEY AVENUE ALAMEDA, CA 94501

6 08/22/22 50% CD SET

7 09/29/22 PERMIT SUBMITTAL

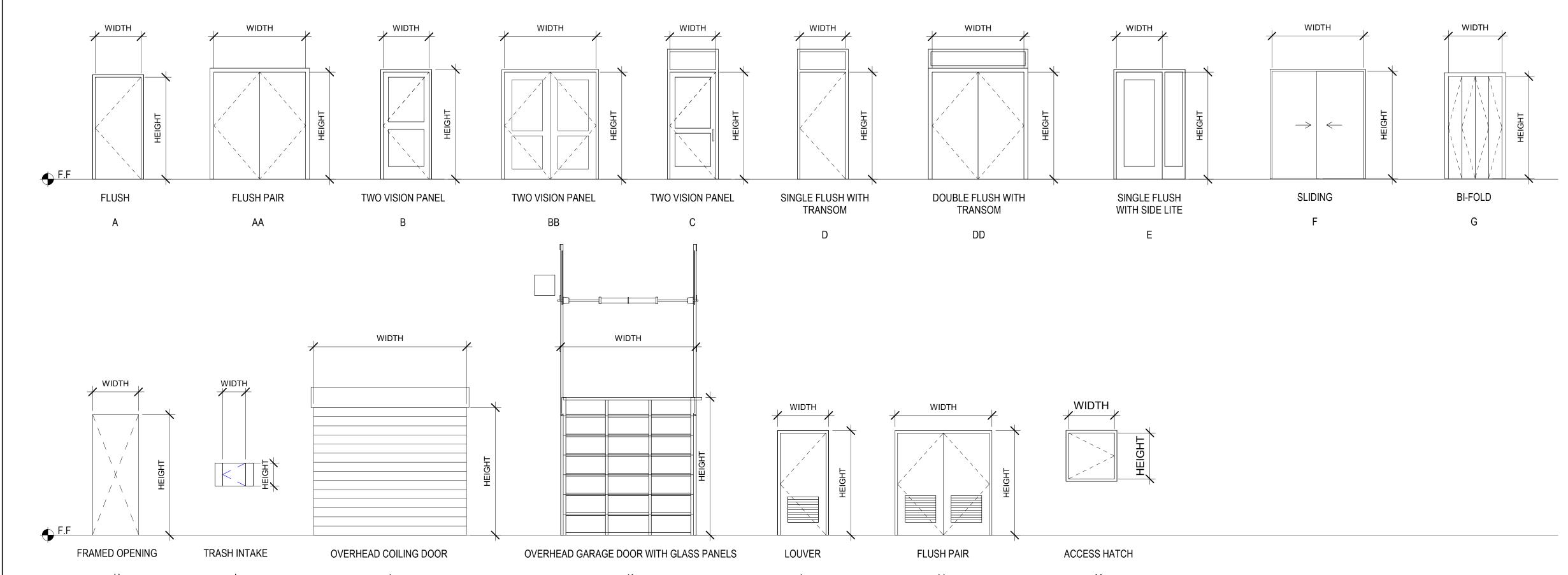
DRAWING TITLE

	DOOR AND HARDWARE SCHEDULE - PSH 2 - LEVEL 1																	
		DC	OOR				DOOR			DETAILS			FRAME			SIG	NAGE	
ROOM NAME	DOOR NO.	WIDTH	HEIGHT	FIRE RATING	G TYPE	MATERIAL	FINISH	COLOR (EXT/INT)	THRESHOLD	HEAD	JAMB	MATERIAL	FINISH	COLOR (EXT/INT)	HARDWARE GROUP	PULL SIDE	PUSH SIDE	REMARKS
CORRIDOR	1300.2	3' - 0 1/4"	6' - 10 3/4"	-	В	AL	AN	-	25/A8.50	11&17/A8.51	13/A8.51	AL	AN	-	04			
CORRIDOR	1300.3	3' - 0"	7' - 0"	-	E	HM-G	PA	MATCH EXT/P-2	30/A8.50	26/A8.50	27/A8.50	HM-G	PA	MATCH EXT/P-2	04			
BIKE PARKING	1310	3' - 0"	6' - 8"	20 MIN.	A	HM	PA	P-2	20/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	30		RIS	I,E,C,A
RESTROOM	1320	3' - 0"	6' - 8"	20 MIN.	Α	SC WD	STAIN & SEAL	-	5/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	25		RIS	E,C
COMMUNITY ROOM	1330.1	3' - 0"	6' - 8"	45 MIN.	E	SC WD	STAIN & SEAL	-	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	28	RIS		A,B,J,E,I, S
COMMUNITY ROOM	1330.2	3' - 0"	7' - 0"	-		AL	AN	-	30/A8.50	11/A8.50	12/A8.50	AL	GA	-	08		MOS, RXS-	1 A,B,I,J,R,E, S
COMMUNITY ROOM	1330.3	9' - 0"	8' - 6"	-	K	MFR	MFR	-				MFR	MFR	-	41			
STORAGE	1330B	3' - 0"	6' - 8"	-	Α	SC WD	STAIN & SEAL	-	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	34		RIS	N
ELECTRICAL	1350.1	3' - 0"	6' - 8"	20 MIN.	Α	SC WD	PA	P-2	20/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	21		RIS	C,N,E,L,P
ELECTRICAL	1350.2	3' - 0"	7' - 0"	-	L	HM-G	PA	MATCH EXT/P-2	30/A8.50	6/A8.50	7/A8.50	HM-G	PA	MATCH EXT/P-2	05	RIS		A,C,N,E
MAINTENANCE	1360	3' - 0"	6' - 8"	20 MIN.	А	SC WD	PA	P-2	20/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	17		RIS	C,N,E,L,P
PUMP ROOM	1370	5' - 0"	7' - 0"	-	DD	HM-G	PA	MATCH EXT/P-2	30/A8.50	8/A8.50	7/A8.50	HM-G	PA	MATCH EXT/P-2	15	RIS		A,C,N,E
MDF	1380	3' - 0"	6' - 8"	20 MIN.	Α	SC WD	PA	P-2	20/A8.50	26/A9.50	27/A9.50	HM	PA	P-2	17		RIS	
OFFICE	1510.1	3' - 0"	6' - 8"	-	Α	SC WD	STAIN & SEAL	-	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	27		RIS	P,L,E,K
OFFICE	1510.2	3' - 0"	6' - 8"	-	A	SC WD	STAIN & SEAL	-	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	26	RIS		
BREAKOUT ROOM	1520	3' - 0"	6' - 8"	-	A	SC WD	STAIN & SEAL	-	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	27		RIS	P,L,E,K
WORK AREA	1530	3' - 0"	6' - 8"	-	A	SC WD	STAIN & SEAL	-	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	27		RIS	
OFFICE	1540	3' - 0"	6' - 8"	-	A	SC WD	STAIN & SEAL	-	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	27		RIS	
FILE ROOM	1550	3' - 0"	6' - 8"	-	Α	SC WD	STAIN & SEAL	-	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	34	RIS		

	DOOR AND HARDWARE SCHEDULE - PSH 2 - LEVEL 2																
		DC	OOR			DO	OR			DETAILS			FRAME		HARDWARE	SIGNAGE	
ROOM NAME	DOOR NO.	WIDTH	HEIGHT	FIRE RATING	TYPE	MATERIAL	FINISH	COLOR	THRESHOLD	HEAD	JAMB	MATERIAL	FINISH	COLOR	GROUP	PULL SIDE PUSH SIDE	REMARKS
UTILITY	2310	3' - 0"	6' - 8"	20 MIN. A	4	SC WD	PA	P-2	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	18	RIS	C,E,N,P,L
STORAGE	2320	3' - 0"	6' - 8"	20 MIN.	4	SC WD	PA	P-2	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	16	RIS	E,C,N
UTILITY	2330	3' - 0"	6' - 8"	20 MIN. A	4	SC WD	PA	P-2	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	18	RIS	C,E,N,P,L
MECHANICAL	2340.1	5' - 0"	6' - 8"	20 MIN. A	4	HM-G	PA	P-2	19/A9.50	26/A9.50	27/A9.50	HM-G	PA	P-2	36	RIS	
MECHANICAL	12340.2	3' - 0"	3' - 0"	- N	Л	HM-G	PA	P-2				HM-G	PA	P-2	13	RIS	

	DOOR AND HARDWARE SCHEDULE - PSH 2 - LEVEL 3																	
		DC	OR			DOC	OR			DETAILS			FRAME		HARDWARE	SIGN	IAGE	
ROOM NAME	DOOR NO.	WIDTH	HEIGHT	FIRE RATING	TYPE	MATERIAL	FINISH	COLOR	THRESHOLD	HEAD	JAMB	MATERIAL	FINISH	COLOR	GROUP	PULL SIDE	PUSH SIDE	REMARKS
UTILITY	3310	3' - 0"	6' - 8"	20 MIN. A		SC WD	PA	P-2	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	18		RIS	C,N,E,L,P
UTILITY	3320	3' - 0"	6' - 8"	90 MIN. A		SC WD	PA	P-2	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	18		RIS	C,N,E,L,P

	DOOR AND HARDWARE SCHEDULE - PSH 2 - LEVEL 4																	
		DO	OR			DO	OR			DETAILS			FRAME		HARDWARE	SIGN	NAGE	
ROOM NAME	DOOR NO.	WIDTH	HEIGHT	FIRE RATING	TYPE	MATERIAL	FINISH	COLOR	THRESHOLD	HEAD	JAMB	MATERIAL	FINISH	COLOR	GROUP	PULL SIDE	PUSH SIDE	REMARKS
UTILITY	4310	3' - 0"	6' - 8"	20 MIN.	A	SC WD	PA	P-2	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	18		RIS	C,N,E,L,P
STORAGE	4320	3' - 0"	6' - 8"	20 MIN.	Α	SC WD	PA	P-2	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	16		RIS	E,C,N
ELEV. ROOM	4330	4' - 0"	7' - 0"	20 MIN.	Α	SC WD	PA	P-2	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	19	RIS		A,C,E,N,P,L



DOOR SCHEDULE ABBREVIATIONS

AL= ALUMINUM DOOR / FRAME HM = HOLLOW METAL DOOR / FRAME

HM-G = GALVANIZED HOLLOW METAL DOOR / FRAME STL = STEEL DOOR / FRAME

STL-G = GALVANIZED STEEL DOOR/FRAME
SC WD = SOLID CORE WOOD
HC WD = HOLLOW CORE WOOD
SS = STAINLESS STEEL

SS = STAINLESS STEEL

AN-CL = ALUMINUM ANODIZED FINISH, CLEAR

AN-DB = ALUMINUM ANODIZED FINISH, DARK BRONZE

ST= STAIN GRADE MATERIAL WITH STAIN FINISH

PA = PAINT GRADE MATERIAL WITH PAINT FINISH

MFR = MANUFACTURER / FACTORY FINISH SA = SATIN SHEEN

SG = SEMI-GLOSS SHEEN
= SEE GLAZING SCHEDULE
MA = MATCH ADJACENT WALL COLOR
NR = NON-RATED

- = NOT APPLICABLE

EMHO = ELECTRO-MAGNETIC HOLD OPEN, TIED TO FIRE ALARM SYSTEM

PVDF = FLUOROPOLYMER 70% PVDF 2-COAT

GENERAL NOTES- DOOR SCHEDULE

1. PROVIDE ROOM IDENTIFICATION SIGNAGE, UNIT ADDRESS SIGNAGE, AND CODE-REQUIRED EGRESS AND WAYFINDING SIGNAGE TYPICAL AT ALL DOORS, SEE A10.50 AND A10.51 FOR ADDITIONAL INFO

2. ALL EXIT DOORS SHALL OPEN FROM THE INSIDE WITHOUT A KEY OR SPECIAL KNOWLEDGE

3. THE MAXIMUM OPERATING FORCE OF DOORS SHALL NOT EXCEED 5.0 LB FOR EXTERIOR DOOR AND 5LB FOR INTERIOR DOORS, SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THESE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, THE MAX. EFFORT TO OPERATE THE DOOR MAY BE INCREASED TO THE MINIMUM ALLOWABLE BY THE APPROPRIATE ENFORCEMENT AGENCY, NOT TO EXCEED 15LB

4. DOOR LOCKING AND LATCHING HARDWARE INCLUDING SEPARATE BOLTS OR KEYHOLES SHALL BE LOCATED AT 36" A.F.F. AND SHALL NOT REQUIRE GRASPING OR TWISTING OF THE WRIST TO OPERATE

5. MAXIMUM THRESHOLD HEIGHT SHALL BE 1/2". SEE DETAIL ON A9.00 FOR THRESHOLD PROFILE REQUIREMENTS

6. PROVIDE ILLUMINATED EXIT SIGNAGE, S.E.D.

7. ALL EXT. AND WET AREA H.M. DOORS AND FRAMES TO BE GALVANIZED, SEE SPECIFICATIONS

8. PROVIDE COMPRESSION SEALS ALL SIDES AT EXTERIOR DOORS

9. SEE SHEET A8.40 FOR TYPICAL EXTERIOR DOOR DETAILS. SEE SHEET A9.40 FOR TYPICAL INTERIOR DOOR DETAILS

10. PAINTED DOOR, DOOR FRAME AND MANUFACTURER FINISHED PAINTED SURFACES TO BE SEMI-GLOSS FINISH, U.O.N. *COLOR TO MATCH PAINT ACCENT COLOR AT CORRIDOR SIDE. UNIT SIDE TO BE 'P-1'

11. PROVIDE A 10" SMOOTH, UNINTURRUPTED SURFACE AT BASE OF SWINGING DOORS OR GATES (AT PUSH SIDE), EXTENDING THE FULL WIDTH OF DOOR OR GATE.

12. FIRE-RATED DOORS HELD IN THE OPEN POSITION BY ELECTROMAGNETIC HOLD-OPEN DEVICES SHALL BE AUTOMATIC CLOSING UPON ACTIVATION OF THE FIRE ALARM SYSTEM (PER CBC 716.5.9.3)

13. ALL DOORS, EXCEPT BI-PASS AND BI-FOLD CLOSET DOORS, SHALL HAVE A LATCH OR LOCK SET WITH LEVER HARDWARE

14. SMOKE AND DRAFT CONTROL TESTED PER CBC 716.5.3.1 IN ACCORDANCE WITH UL1784 WITHOUT ARTIFICIAL BOTTOM SEAL. DOOR DESIGN COMPLIES WITH CBC SECTION 3002.6, PENDING FIELD VERIFICATION BY FIELD INSPECTOR

15. SEE SPEC. 08 71 00 FOR HARDWARE GROUPS

16. ENTRY UNIT LOCKS SHALL BE PROVIDED WITH A COMBINATION 1/2-INCH (12.7 MM) THROW DEADLATCH WITH A MINIMUM 1-INCH (25.4 MM) THROW DEADBOLT, AND SO CONSTRUCTED THAT BOTH THE DEADLATCH AND DEADBOLT RETRACT SIMULTANEOUSLY BY KNOB OR LEVER.

17. HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERABLE PARTS ON DOORS TO BE LOCATED AT 36" (34" MIN AND 44 " MAX.) ABOVE THE FINISH FLOOR OR GROUND. DOOR HARDWARE SHALL NOT REQUIRE GRASPING OR TWISTING TO OPERATE."

18. DOOR CLOSERS AND GATE CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM

19. REFER TO GLAZING SCHEDULE ON WINDOW SCHEDULE SHEET. PROVIDE FIRE RATING AS INDICATED ON SCHEDULE

DOOR HARDWARE KEY

A. <u>CLOSER</u> - DOOR CLOSERS AND GATE CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM. MOUNTED AT MINIMUM 78" AFF.

B. <u>EXIT DEVICE</u> - ALL EXIT DOORS SHALL OPEN FROM THE INSIDE WITHOUT A KEY OR SPECIAL KNOWLEDGE.

C. <u>KICK PLATE</u> - PROVIDE A 10" SMOOTH, UNINTURRUPTED SURFACE AT BASE OF SWINGING DOORS OR GATES (AT PUSH SIDE), EXTENDING THE FULL WIDTH OF DOOR OR GATE.

D. <u>ENTRY UNIT LOCK</u> - ENTRY UNIT LOCKS SHALL BE PROVIDED WITH A COMBINATION 1/2-INCH (12.7 MM) THROW DEADLATCH WITH A MINIMUM 1-INCH (25.4 CHECKED MM) THROW DEADBOLT, AND SO CONSTRUCTED THAT BOTH THE DEADLATCH AND DEADBOLT RETRACT SIMULTANEOUSLY BY KNOB OR LEVER.

E. THRESHOLD - MAXIMUM THRESHOLD HEIGHT SHALL BE 1/2". SEE DETAIL ON A9.00 FOR THRESHOLD PROFILE REQUIREMENTS

F. COORDINATOR - CAN BE MOUNTED AT A MINIMUM 80" AFF

G. <u>OVERHEAD STOP</u> - CAN BE MOUNTED AT A MINIMUM 78" AFF

H. <u>EMHO</u> - FIRE-RATED DOORS HELD IN THE OPEN POSITION BY ELECTROMAGNETIC HOLD-OPEN DEVICES SHALL BE AUTOMATIC CLOSING UPON ACTIVATION OF THE FIRE ALARM SYSTEM (PER CBC 716.5.9.3)

I. <u>CARD READER</u> - MUST COMPLY WITH SECTION 11B-308

J. <u>POWER OPERATOR W. ACTUATORS</u> - THERE SHALL BE TWO PUSH PLATES; THE CENTERLINE OF ONE PUSH PLATE SHALL BE 7 INCHES (178 MM) MINIMUM AND 8 INCHES (203 MM) MAXIMUM ABOVE THE FLOOR OR GROUND SURFACE AND THE CENTERLINE OF THE SECOND PUSH PLATE SHALL BE 30 INCHES (762 MM) MINIMUM AND 44 INCHES (1118 MM) MAXIMUM ABOVE THE FLOOR OR GROUND SURFACE. EACH PUSH PLATE SHALL BE A MINIMUM OF 4 INCHES (102 MM) DIAMETER OR A MINIMUM OF 4 INCHES BY 4 INCHES (102 MM BY 102 MM) SQUARE AND SHALL DISPLAY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTION 11B-703.7.

K. <u>CLASSROOM LOCKSET</u> - SHALL BE OPERABLE WITH ONE HAND, AND SHALL NOT REQUIRE GRASPING OR TWISTING OF THE WRIST TO OPERATE

L. <u>SMOKE GASKET</u> -

M. PRIVACY LOCK - SHALL BE OPERABLE WITH ONE HAND, AND SHALL NOT REQUIRE GRASPING OR TWISTING OF THE WRIST TO OPERATE

 ${\sf N.\,\underline{STOREROOM\,LOCK}\,-PROVIDE\,SFMOD\,APPROVED\,MORTISE\,STOREROOM\,LOCK,\,AS\,SPECIFIED.}$

O. <u>WEATHERSEAL</u>

P. <u>ACOUSTIC DOOR THRESHOLD</u> - ZERO 253, PEMKO 234V, OR EQUAL.

Q. <u>INTEGRATED DOOR SYSTEM</u> - W/ FLUSH HARDWARE

R. <u>ALARM</u> -

S. <u>PANIC HARDWARE</u>

North Housing, Block A

PAUL M

1 × P3.1 × CC- 1

C-28734 C-28734 C-28734 C-28734

MCELWEE \

PSH PHASE 2

520 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO. 19009
DRAWN Author
CHECKED Checker

JOB CAPTAIN ISSUE

 ✓
 DATE
 DESCRIPTION

 2
 12/8/21
 SD SET

 5
 03/22/22
 100% DD SET

 6
 08/22/22
 50% CD SET

Approver

7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE
PSH 2 - DOOR
SCHEDULE AND
DOOR TYPES

SCALE 1/4" = 1'-0"

A 10.25
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DOOR AND HARDWARE SCHEDULE - PSH 2 - ELEVATORS

		DO	OR			DOC	OR			DETAILS			FRAME		HARDWARE	SIGN	IAGE	
ROOM NAME	DOOR NO.	WIDTH	HEIGHT	FIRE RATING	TYPE	MATERIAL	FINISH	COLOR	THRESHOLD	HEAD	JAMB	MATERIAL	FINISH	COLOR	GROUP	PULL SIDE	PUSH SIDE	REMARKS
ELEVATOR 2	E2-1	0' - 0"	0' - 0"	90 MIN.	elev.	HM	PA		8/A9.50	6/A9.50	7/A9.50	HM	PA		40			A,i, H,L
ELEVATOR 2	E2-2	3' - 0"	7' - 0 1/2"	90 MIN.	4	HM	PA		8/A9.50	6/A9.50	7/A9.50	HM	PA		40			A,H,L
ELEVATOR 2	E2-3	3' - 0"	7' - 0 1/2"	90 MIN.	4	HM	PA		8/A9.50	6/A9.50	7/A9.50	HM	PA		40			A,H,L
ELEVATOR 2	E2-4	3' - 0"	7' - 0 1/2"	90 MIN.	4	HM	PA		8/A9.50	6/A9.50	7/A9.50	HM	PA		40			A,H,L

DOOR AND HARDWARE SCHEDULE - PSH 2 - STAIRS

		D	OOR			DC	OR			DETAILS			FRAME		HARDWARE	SIGN	NAGE	
ROOM NAME	DOOR NO.	WIDTH	HEIGHT	FIRE RATING	TYPE	MATERIAL	FINISH	COLOR	THRESHOLD	HEAD	JAMB	MATERIAL	FINISH	COLOR	GROUP	PULL SIDE	PUSH SIDE	REMARKS
STAIR 3	S3-1.1	3' - 0"	6' - 8"	90 MIN.	A	HM	PA		19/A9.50	26/A9.50	27/A9.50	HM	PA		22	XSS	SID, EES, ARS, RXS-1	B,L
STAIR 3	S3-1.2	3' - 0"	7' - 0"	NR	Α	HM-G	PA		30/A8.50	26/A8.50	27/A8.50	HM-G	PA		06	SID	RXS-1, XSS A,	,B,L,R,E
STAIR 3	S3-2	3' - 0"	6' - 8"	90 MIN.	Α	HM	PA		19/A9.50	26/A9.50	27/A9.50	HM	PA		22	XSS	SID, EES A,	,B,L
STAIR 3	S3-3	3' - 0"	6' - 8"	90 MIN.	Α	HM	PA		19/A9.50	26/A9.50	27/A9.50	HM	PA		22	XSS	SID, EES A,	,B,L
STAIR 3	S3-4	3' - 0"	6' - 8"	90 MIN.	А	HM	PA		19/A9.50	26/A9.50	27/A9.50	НМ	PA		22	XS	SID, EES A,	B,L
STAIR 3	S3-R	3' - 0"	6' - 8"	90 MIN.	Α	HM-G	PA		2/A8.50	26/A8.50	27/A8.50	HM-G	PA		13	XSS	A,	B,L,R,E

							DO	OR AN	D HAR	DWAR	E SCHE	DULE -	PSH 2 -	UNITS	1. ALL D	OORS AND FRA	AINT COLOR NO ^T MES IN THE UNIT ND FRAME, P-# V	TS PAINT COLO		I FLOOR PLANS, P-1 INSIDE OF UNIT
		DC	OOR		DOOR			DOOR			DETAILS			FRAME		HARDWARE	SIGI	NAGE		
ROOM NAME	DOOR NO.	WIDTH	HEIGHT	TYPE	GLAZING	FIRE RATING	MATERIAL	FINISH	COLOR	THRESHOL	D HEAD	JAMB	MATERIAL	FINISH	COLOR	GROUP	PULL SIDE	PUSH SIDE	REM	ARKS
UNIT ENTRY	U1	3' - 0"	6' - 8"	Α		20 MIN.	SC WD	PA		4/A9.50	9/A9.50	9/A9.50	HM	PA		Α		UIS	A,C,E,P,L,D, DOOR VIEWER	
BATHROOM	U2	3' - 0"	6' - 8"	Α		-	HC WD	PA		19/A9.50	16/A9.50	16/A9.50	WD	PA		С				
BEDROOM	U3	3' - 0"	6' - 8"	Α		-	HC WD	PA		19/A9.50	16/A9.50	16/A9.50	WD	PA		С				
CLOSET	U5.1	6' - 0"	6' - 8"	F		-	HC WD	PA		3/A9.50	1/A9.50	2/A9.50	-	-		D				
CLOSET	U6		6' - 8"	F		-	HC WD	PA		3/A9.50	1/A9.50	2/A9.50	-	-		D				
CLOSET	U6.1	7' - 6"	6' - 8"	F		-	HC WD	PA		3/A9.50	1/A9.50	2/A9.50	-	-		D				
CLOSET	U7	8' - 0"	6' - 8"	F		-	HC WD	PA		3/A9.50	1/A9.50	2/A9.50	-	-		D				
CLOSET	U9	3' - 6"	6' - 8"	G		-	HC WD	PA		3/A9.50	1/A9.50	2/A9.50	-	-		Е				

\rightarrow BI-FOLD SLIDING TWO VISION PANEL TWO VISION PANEL TWO VISION PANEL SINGLE FLUSH WITH DOUBLE FLUSH WITH SINGLE FLUSH FLUSH FLUSH PAIR WITH SIDE LITE TRANSOM TRANSOM WIDTH OVERHEAD COILING DOOR OVERHEAD GARAGE DOOR WITH GLASS PANELS ACCESS HATCH TRASH INTAKE

DOOR SCHEDULE ABBREVIATIONS

AL= ALUMINUM DOOR / FRAME
HM = HOLLOW METAL DOOR / FRAME
HM-G = GALVANIZED HOLLOW METAL DOOR /

HM-G = GALVANIZED HOLLOW METAL DOOR / FRAME STL = STEEL DOOR / FRAME STL-G = GALVANIZED STEEL DOOR/FRAME SC WD = SOLID CORE WOOD

HC WD = HOLLOW CORE WOOD

SS = STAINLESS STEEL

AN-CL = ALUMINUM ANODIZED FINISH, CLEAR

AN-DB = ALUMINUM ANODIZED FINISH, DARK BRONZE

ST= STAIN GRADE MATERIAL WITH STAIN FINISH

PA = PAINT GRADE MATERIAL WITH PAINT FINISH

MFR = MANUFACTURER / FACTORY FINISH
SA = SATIN SHEEN

SG = SEMI-GLOSS SHEEN
= SEE GLAZING SCHEDULE
MA = MATCH ADJACENT WALL COLOR
NR = NON-RATED

- = NOT APPLICABLE
EMHO = ELECTRO-MAGNETIC HOLD OPEN, TIED TO FIRE ALARM SYSTEM
PVDF = FLUOROPOLYMER 70% PVDF 2-COAT

GENERAL NOTES- DOOR SCHEDULE

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8. PROVIDE COMPRESSION SEALS ALL SIDES AT EXTERIOR DOORS

9. SEE SHEET A8.40 FOR TYPICAL EXTERIOR DOOR DETAILS. SEE SHEET A9.40 FOR TYPICAL INTERIOR DOOR DETAILS

10. PAINTED DOOR, DOOR FRAME AND MANUFACTURER FINISHED PAINTED SURFACES TO BE SEMI-GLOSS FINISH, U.O.N. *COLOR TO MATCH PAINT ACCENT COLOR AT CORRIDOR SIDE. UNIT SIDE TO BE 'P-1'

11. PROVIDE A 10" SMOOTH, UNINTURRUPTED SURFACE AT BASE OF SWINGING DOORS OR GATES (AT PUSH SIDE), EXTENDING THE FULL WIDTH OF DOOR OR GATE

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13. ALL DOORS, EXCEPT BI-PASS AND BI-FOLD CLOSET DOORS, SHALL HAVE A LATCH OR LOCK SET WITH LEVER HARDWARE

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19. REFER TO GLAZING SCHEDULE ON WINDOW SCHEDULE SHEET. PROVIDE FIRE RATING AS INDICATED ON SCHEDULE

DOOR HARDWARE KEY

A. <u>CLOSER</u> - DOOR CLOSERS AND GATE CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM. MOUNTED AT MINIMUM 78" AFF.

B. <u>EXIT DEVICE</u> - ALL EXIT DOORS SHALL OPEN FROM THE INSIDE WITHOUT A KEY OR SPECIAL KNOWLEDGE.

C. <u>KICK PLATE</u> - PROVIDE A 10" SMOOTH, UNINTURRUPTED SURFACE AT BASE OF SWINGING DOORS OR GATES (AT PUSH SIDE), EXTENDING THE FULL WIDTH OF DOOR OR GATE.

D. <u>ENTRY UNIT LOCK</u> - ENTRY UNIT LOCKS SHALL BE PROVIDED WITH A COMBINATION 1/2-INCH (12.7 MM) THROW DEADLATCH WITH A MINIMUM 1-INCH (25.4 MM) THROW DEADBOLT, AND SO CONSTRUCTED THAT BOTH THE DEADLATCH AND DEADBOLT RETRACT SIMULTANEOUSLY BY KNOB OR LEVER.

E. <u>THRESHOLD</u> - MAXIMUM THRESHOLD HEIGHT SHALL BE 1/2". SEE DETAIL ON A9.00 FOR THRESHOLD PROFILE REQUIREMENTS

F. <u>COORDINATOR</u> - CAN BE MOUNTED AT A MINIMUM 80" AFF

G. <u>OVERHEAD STOP</u> - CAN BE MOUNTED AT A MINIMUM 78" AFF

H. <u>EMHO</u> - FIRE-RATED DOORS HELD IN THE OPEN POSITION BY ELECTROMAGNETIC HOLD-OPEN DEVICES SHALL BE AUTOMATIC CLOSING UPON ACTIVATION OF THE FIRE ALARM SYSTEM (PER CBC 716.5.9.3)

I. <u>CARD READER</u> - MUST COMPLY WITH SECTION 11B-308

J. <u>POWER OPERATOR W. ACTUATORS</u> - THERE SHALL BE TWO PUSH PLATES; THE CENTERLINE OF ONE PUSH PLATE SHALL BE 7 INCHES (178 MM) MINIMUM AND 8 INCHES (203 MM) MAXIMUM ABOVE THE FLOOR OR GROUND SURFACE AND THE CENTERLINE OF THE SECOND PUSH PLATE SHALL BE 30 INCHES (762 MM) MINIMUM AND 44 INCHES (1118 MM) MAXIMUM ABOVE THE FLOOR OR GROUND SURFACE. EACH PUSH PLATE SHALL BE A MINIMUM OF 4 INCHES (102 MM) DIAMETER OR A MINIMUM OF 4 INCHES BY 4 INCHES (102 MM BY 102 MM) SQUARE AND SHALL DISPLAY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTION 11B-703.7.

K. <u>CLASSROOM LOCKSET</u> - SHALL BE OPERABLE WITH ONE HAND, AND SHALL NOT REQUIRE GRASPING OR TWISTING OF THE WRIST TO OPERATE

L. <u>SMOKE GASKET</u> -

M. PRIVACY LOCK - SHALL BE OPERABLE WITH ONE HAND, AND SHALL NOT REQUIRE GRASPING OR TWISTING OF THE WRIST TO OPERATE

 ${\sf N.\underline{STOREROOM\,LOCK}\,-PROVIDE\,SFMOD\,APPROVED\,MORTISE\,STOREROOM\,LOCK,\,AS\,SPECIFIED.}$

O. <u>WEATHERSEAL</u>

P. <u>ACOUSTIC DOOR THRESHOLD</u> - ZERO 253, PEMKO 234V, OR EQUAL.

Q. <u>INTEGRATED DOOR SYSTEM</u> - W/ FLUSH HARDWARE

R. <u>ALARM</u> -

S. <u>PANIC HARDWARE</u>

North Housing, Block A

PAUL M MCELWEE

C-28734 CF CALIFORN

PSH PHASE 2

520 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO. 19009

DRAWN Author

CHECKED Checker

JOB CAPTAIN ISSUE

△ DATE DESCRIPTION
 5 03/22/22 100% DD SET
 6 08/22/22 50% CD SET
 7 09/29/22 PERMIT SUBMITTAL

Approver

DRAWING TITLE
PSH 2 - DOOR
SCHEDULE AND

SCALE 1/4" = 1'-0"

DOOR TYPES

A 10.26

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(VARIATION OCCURS AT STAIR TOWERS)

	PS	H 2 - LC	DUVER SCH	IEDULE	
TYPE MARK	WIDTH (W)	HEIGHT (H)	SILL HEIGHT (SH)	Count	COMMENTS
LV-2	2' - 0"	2' - 0"	6' - 6"	1	
LV-6	2' - 0"	1' - 0"	7' - 6"**	46	
LV-7	7' - 6"	3' - 0"	6' - 0"	2	
LV-9	1' - 6"	1' - 0"	6' - 6"	1	
LV-10	2' - 6"	1' - 0"	9' - 0"	4	

** FOR TYPE LV-6 LOUVERS, SILL HEIGHT IS 7' - 6" U.O.N. ON ELEVATIONS

	GLAZING SCHEDULE										
							MARKING	S			
MARK	GLAZING TYPE	FIRE RATING	MAX U FACTOR	MAX SHGC	MIN VT	VISION PANEL	SIDELIGHT	WINDOW	GLAZING COMMENTS		
Α	1" CLEAR INSULATED										
В	1" CLEAR INSULATED TEMPERED										
С	SPANDREL										
D	5/16" CLEAR TEMPERED	45 MIN.				D-20	D-H-OH-45	CH-45 OR W-60	PER CBC TABLE 716.1(2)		
E	5/16" CLEAR TEMPERED	90 MIN.				D-H-T-W-90			PER CBC TABLE 716.1(2)		
F	1" SPANDREL INSULATED TEMPERED										
T	TEMPERED GLASS										

GENERAL NOTES - OPENING TYPES

WINDOW NAMING

D.1-2

EXAMPLE:

WINDOW D-2 IS A TYPE D FIXED WINDOW WITH DIMENSIONS OF 2' - 0" x

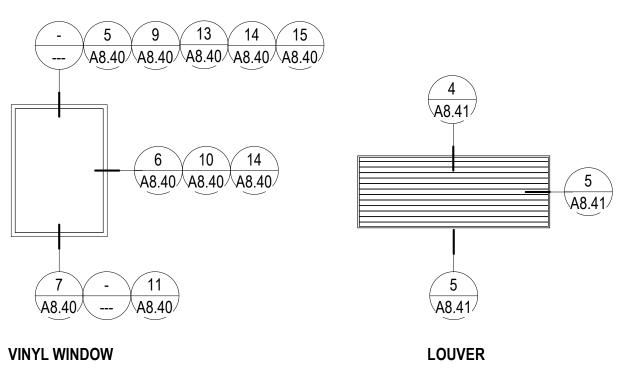
WINDOW D.1-2 IS A TYPE D CASEMENT WINDOW WITH DIMENSIONS OF 2' - 0" x 5' - 6"

SEE WINDOW LEGEND AND WINDOW SCHEDULE FOR BALANCE OF SIZE

TYPE (INDICATED ON **ELEVATIONS & PLANS)**

A. ALL MULLIONS SHOWN ON VINYL WINDOW ASSEMBLIES TO BE FACTORY MULLED OR T-BAR CONNECTIONS. MUNITIN BARS ARE NOT ACCEPTABLE.

- B. NOTE: ALL WINDOWS HAVE FIBER CEMENT SURROUND AND DETAILS CAN BE FOUND ON A8.40, SEE ELEVATIONS
- FOR MATERIAL TYPES. C. REFER ALSO TO WALL SECTIONS FOR ADDITIONAL DETAIL REFERENCES
- D. PROVIDE WINDOW OPENING CONTROL DEVICES (LIMITERS) AT ALL OPERABLE PANES. OPENING CONTROL DEVICES TO COMPLY WITH ASTM F2090 AND LIMIT OPERATION TO 4" MAX.
- E. REFER TO STRUCTURAL GENERAL NOTES FOR REQUIRED WIND DESIGN CRITERIA.
- F. PROVIDE ACCESSIBLE LATCHES AND OPERATORS PER 1/A10.1. ACCESSIBLE HEIGHT AT ALL UNITS, ACCESSIBLE OPERATION FORCE AT ACCESSIBLE UNITS ONLY.
- G. REFER TO ELEVATIONS FOR ORIENTATION OF ASYMMETRICAL PANES (LEFT HAND / RIGHT HAND) & DIRECTION OF
- H. ALL GLAZING TO BE TYPE "A" U.O.N. REFER TO WINDOW TYPES AND GLAZING SCHEDULE.
- I. SEE ALSO ELEVATIONS FOR LOUVER TAGS (NOT ALL SHOWN IN PLAN) J. ALL WINDOWS ARE COLOR "WHITE"
- K. FIRE-RATED ASSEMBLIES WITH GLAZING TO BEAR A LABEL MARKED IN ACCORDANCE WITH 2016 CBC SECTION 703.6. SEE GLAZING TYPES ON A10.21.
- L. RESIDENTIAL GLAZING SHALL HAVE A MINIMUM U-VALUE OF 0.36, AN SHGC OF 0.25, AND A VT OF 0.50 STOREFRONT GLAZING SHALL HAVE A MINIMUM U-VALUE OF 0.41, AN SHGC OF 0.26, AND A VT OF 0.50 GLAZING IN DOORS SHALL HAVE A MINIMUM U-VALUE OF 0.45, AN SHGC OF 0.23, AND A VT OF 0.50
- M. PER SECTION 1714.5.1: MANUFACTURED EXTERIOR WINDOWS AND SLIDING GLASS DOORS SHALL BE LABELED AS CONFORMING WITH AAMA/ WDMA/ CSA 101/ I.S.2/ A440. THE LABEL SHALL STATE THE NEMA OF THE MANUFACTURER, THE APPROVED LABELING AGENCY, AND PRODUCT DESIGNATION. MANUFACTURED EXTERIOR SIDE-HINGED DOORS SHALL BE LABELED AS CONFORMING WITH AAMA/ WDMA/ CSA 101/ I.S.2/ A440 OR COMPLY WITH SECTION 1714.5.2
- N. PROVIDE TEMPERED GLAZING WHERE INDICATED IN ACCORDANCE WITH CBC 2406.3.
- O. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET (0.53 m2). THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES (1118 mm) MEASURED FROM THE FLOOR PER 2019 CBC 1030.



TYPICAL WINDOW DETAILS

[′] 1/4" = 1'-0"

CASEMENT

7.34 SF NET

CLEAR AREA

CASEMENT

7.34 SF NET

CLEAR AREA

VINYL WINDOW ASSEMBLIES

(C.1)

CLEAR AREA

CASEMENT CASEMENT WITH INTEGRAL PTAC CASEMENT WITH INTEGRAL PTAC 7.34 SF NET 7.34 SF NET

CLEAR AREA

7.34 SF NET CLEAR AREA

6.11 SF NET **CLEAR AREA** SEE ELEVATIONS FOR **LOCATION OF 90 DEGREE** OPEN WINDOW (E-2)

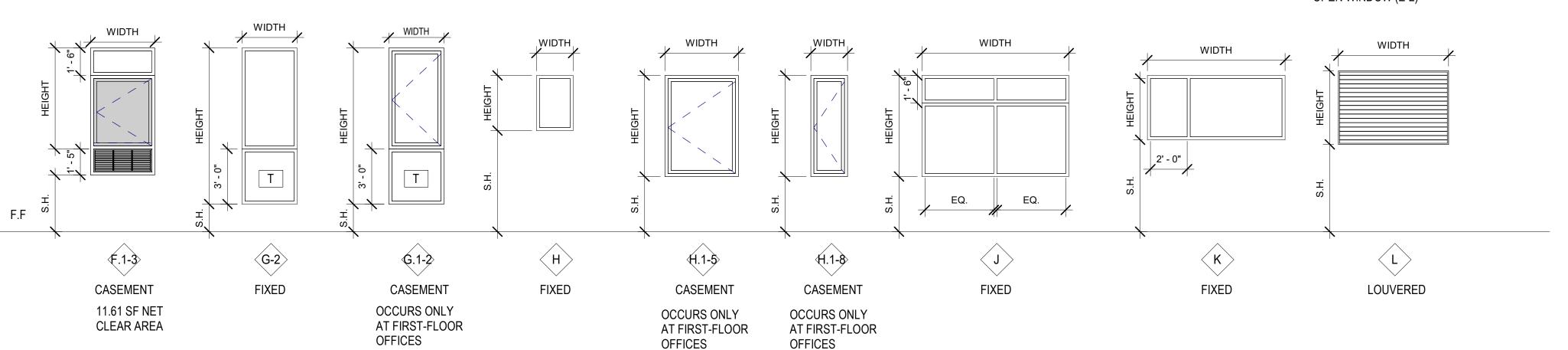
€.1-2

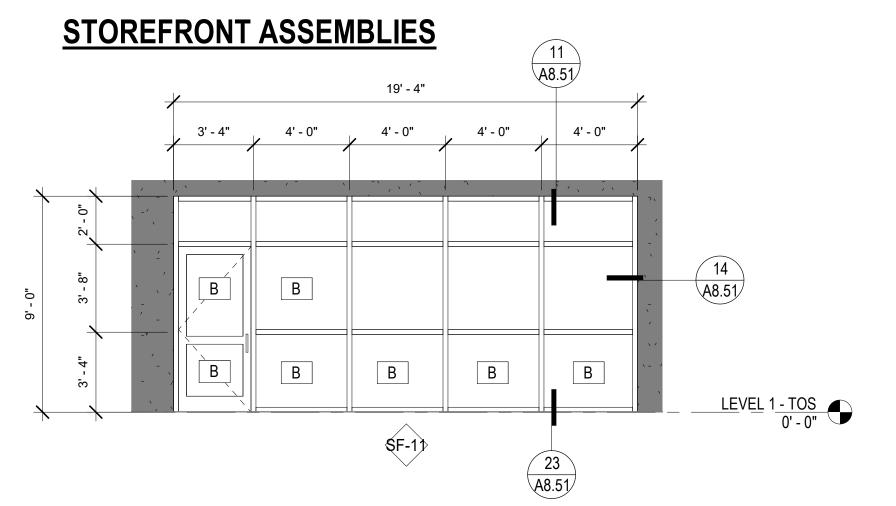
CASEMENT

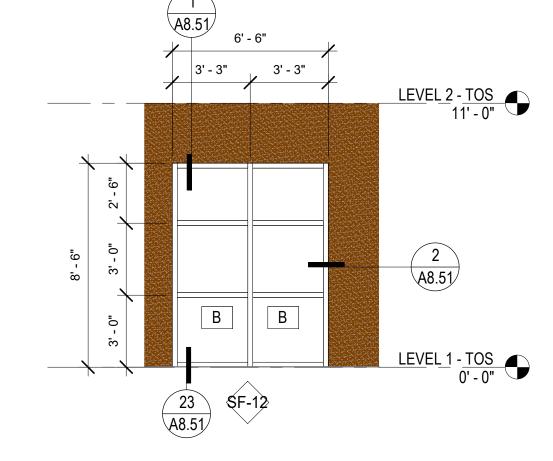
CASEMENT

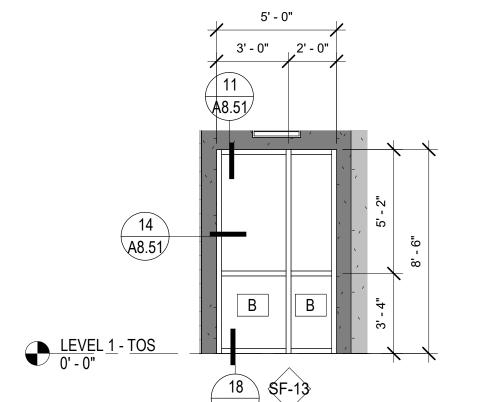
9.78 SF NET

CLEAR AREA





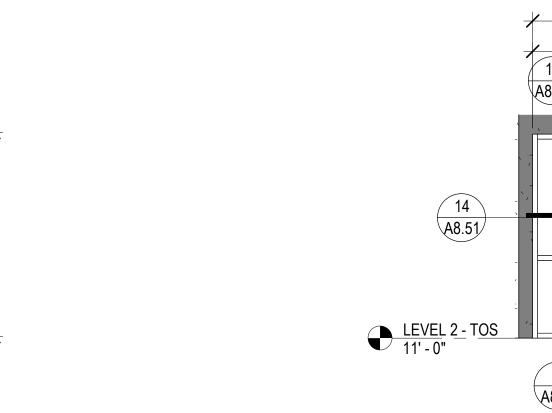


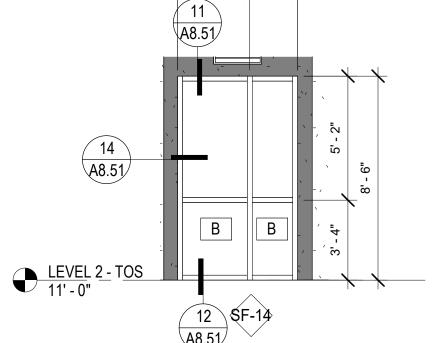


PSH 2 - SOUTH CORRIDOR ENTRANCE

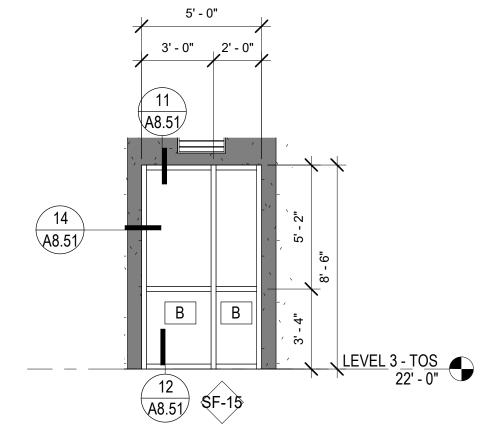
1/4" = 1'-0"





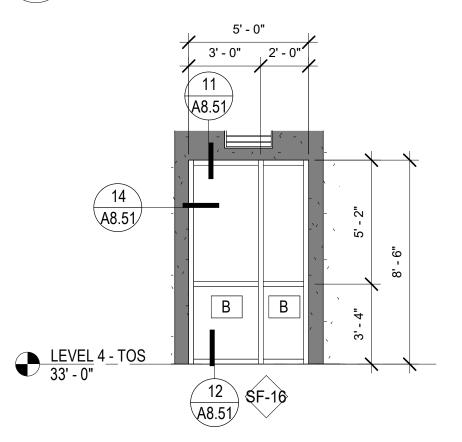






PSH 2 - LEVEL 3 - EAST CORRIDOR

1/4" = 1'-0"



5 PSH 2 - LEVEL 4 - EAST CORRIDOR

PAUL M MCELWEE

North Housing, Block A

PSH PHASE 2

520 MOSLEY AVENUE ALAMEDA, CA 94501

JOB CAPTAIN

CHECKED

ISSUE DESCRIPTION 2 12/8/21 SD SET 5 03/22/22 100% DD SET 6 08/22/22 50% CD SET 7 | 09/29/22 | PERMIT SUBMITTAL

Checker

DRAWING TITLE PSH 2 - WINDOW, LOUVER, & STOREFRONT SCHEDULE

SCALE 1/4" = 1'-0"

DRAWING TITLE
PSH 2 - INTERIOR
FINISH SCHEDULE

SCALE

A1	0	.28
COPYRIGHT © 20	20 HKIT ARC	HITECTS

									IN	TERIOR FIN	IISH SC	HEDULE - P	SH 2						
ROO		FLOOR			BASE			WALL			CEILING		C	CABINETS		MISCE	ELLANEOUS		
M NO. ROOM NAME	MATERIAL	FINISH	COLOR MARK	MATERIAL	FINISH	COLOR	MATERIAL	FINISH	COLOR MARK	MATERIAL	FINISH	COLOR MARK	ITEM	MATERIAL	COLOR MARK	ITEM	MATERIAL	COLOR MARK	REMARKS
1300 CORRIDOR	VINYL PLANK	- I IIVIOI I	RT-2, RT-6	WD	PA SG	WB-2, P-3	GYP BD	PA ES	P-3, P-7	GYP BD	PA ES	P-4	I I LIVI	IVIATENIAL	IVIZITA	I I LIVI	IVIATEINIAE	IVIZIXIX	ILIVIAINO
1310 BIKE PARKING	RESIL SHEET		RS-2	RUBBER	1700	B-2	GYP BD	PA ES	P-4	GYP BD	PA SG	P-4							
1320 RESTROOM	POR TILE	_	FT-3	CER TILE	_	TB-1	CER TILE / GYP BD	-/PASG	WT-3, P-4	GYP BD	PA SG	P-4							
1330 COMMUNITY ROOM	VINYL PLANK	_	RT-3	WD	PA SG	WB-2, P-4	CER TILE / GYP BD	-/PAES	WT-1, P-4, P-10, P-11	WD / ACT/ GYP	-/-	WDC-1, AC-2/ P-4	COUNTERTOP/CASEWORK	SOLID SURFACE/ W	/D SS-1/CAB-1				
1330 STORAGE	CONCRETE	SEALED	CF-1	RUBBER	-	B-2	GYP BD	PA ES	P-4	GYP BD	PA ES	P-4	OCCIVIENT OF TOTAL VOICE	OOLID OOTG TOLT W	B CO I/O/B I				
B	0011011212			I KOBBEIK			011 22	17(20		011 22	17120								
1350 ELECTRICAL	CONCRETE	SEALED	CF-1	RUBBER	-	B-2	GYP BD	PA ES	P-4	GYP BD	PA SG	P-4							
1370 MAINTENANCE	CONCRETE	SEALED	CF-1	RUBBER	-	B-2	GYP BD	PA ES	P-4	GYP BD	PA SG	P-4							
1380 MDF	CONCRETE	SEALED	CF-1	RUBBER	-	B-2	GYP BD	PA ES	P-4	GYP BD	PA SG	P-4							
1500 CORRIDOR	VINYL PLANK	-	RT-2, RT-6	WD	PA SG	WB-2, P-3	GYP BD	PA ES	P-3, P-7	GYP BD	PA ES	P-4							
1510 OFFICE	VINYL PLANK	-	RT-2	RUBBER	-	B-2	GYP BD	PA ES	P-4	ACT	-	AC-1				MANUAL ROLLER BLINDS		WS-3	
1520 BREAKOUT ROOM	VINYL PLANK	-	RT-2	RUBBER	-	B-2	GYP BD	PA ES	P-4	ACT	-	AC-1				MANUAL ROLLER BLINDS		WS-3	
1530 WORK AREA	VINYL PLANK	-	RT-2	RUBBER	-	B-2	GYP BD	PA ES	P-4	ACT	-	AC-1				MANUAL ROLLER BLINDS		WS-3	
1540 OFFICE	VINYL PLANK	-	RT-2	RUBBER	-	B-2	GYP BD	PA ES	P-4	ACT	-	AC-1				MANUAL ROLLER BLINDS		WS-3	
1550 FILE ROOM	VINYL PLANK	-	RT-2	RUBBER	-	B-2	GYP BD	PA ES	P-4	ACT	-	AC-1							
2160 BIKE PARKING	RESIL SHEET	-	RS-2	RUBBER	-	B-2	GYP BD	PA ES	P-4	GYP BD	PA SG	P-4							
2170 TRASH	RESIL SHEET	-	RS-2	RS-2	SELF COVE		GYP BD/ FRP	PA SG/	P-3, FRP-1	GYP BD	PA SG	P-4							
2180 UTILITY	RESIL SHEET	-	RS-2	RUBBER	-	B-2	GYP BD	PA ES	P-4	GYP BD	PA SG	P-4							
2200 CORRIDOR	VINYL PLANK	-	RT-2, RT-7	WD	PA SG	WB-2, P-3	GYP BD	PA ES	P-3, P-9	GYP BD	PA ES	P-4							
2300 CORRIDOR	VINYL PLANK	-	RT-2, RT-7	WD	PA SG	WB-2, P-3	GYP BD	PA ES	P-3, P-9	GYP BD	PA ES	P-4							
2310 UTILITY	RESIL SHEET	-	RS-2	RUBBER	-	B-2	GYP BD	PA ES	P-4	GYP BD	PA ES	P-4							
2320 STORAGE	RESIL SHEET	-	RS-2	RUBBER	-	B-2	GYP BD	PA ES	P-4	GYP BD	PA ES	P-4							
2330 UTILITY	RESIL SHEET	-	RS-2	RUBBER	-	B-2	GYP BD	PA ES	P-4	GYP BD	PA SG	P-4							
2340 MECHANICAL	RESIL SHEET	-	RS-2	RUBBER	- DA CC	B-2	GYP BD	PA ES	P-4	GYP BD	PA ES	P-4							
3100 CORRIDOR	VINYL PLANK	-	RT-2, RT-8	WD	PA SG	WB-2, P-3	GYP BD	PA ES	P-3, P-11	GYP BD	PA ES	P-4							
3160 BIKE PARKING 3170 TRASH ROOM	RESIL SHEET	-	RS-2	RUBBER	SELF COVE	B-2	GYP BD	PA ES PA SG/	P-4 P-3, FRP-1	GYP BD GYP BD	PA SG PA SG	P-4							
3180 UTILITY	RESIL SHEET	-	RS-2	RS-2 RUBBER	SELF GOVE		GYP BD/ FRP GYP BD	PA SG/ PA ES	P-3, FRP-1 P-4	GYP BD GYP BD	PA SG PA SG	P-4 P-4							
3200 CORRIDOR	RESIL SHEET VINYL PLANK		RS-2 RT-2, RT-8	WD	PA SG	B-2 WB-2, P-3	GYP BD	PA ES PA ES	P-3, P-11	GYP BD	PA SG PA ES	P-4							
3300 CORRIDOR	VINYL PLANK		RT-2, RT-8	WD	PA SG	WB-2, P-3	GYP BD	PA ES	P-3, P-11	GYP BD	PA ES	P-4							
3310 UTILITY	RESIL SHEET	_	RS-2	RUBBER	-	B-2	GYP BD	PA ES	P-4	GYP BD	PA ES	P-4							
3320 UTILITY	RESIL SHEET	-	RS-2	RUBBER	_	B-2	GYP BD	PA ES	P-4	GYP BD	PA SG	P-4							
4100 CORRIDOR	VINYL PLANK	_	RT-2, RT-6	WD	PA SG	WB-2, P-3	GYP BD	PA ES	P-3, P-7	GYP BD	PA ES	P-4							
4160 BIKE PARKING	RESIL SHEET	_	RS-2	RUBBER	-	B-2	GYP BD	PA ES	P-4	GYP BD	PA SG	P-4							
4170 TRASH ROOM	RESIL SHEET	_	RS-2	RS-2	SELF COVE		GYP BD/ FRP	PA SG/	P-3, FRP-1	GYP BD	PA SG	P-4							
4180 UTILITY	RESIL SHEET	_	RS-2	RUBBER	-	B-2	GYP BD	PA ES	P-4	GYP BD	PA ES	P-4							
4200 CORRIDOR	VINYL PLANK	-	RT-2, RT-6	WD	PA SG	WB-2, P-3	GYP BD	PA ES	P-3, P-7	GYP BD	PA ES	P-4							
4300 CORRIDOR	VINYL PLANK	-	RT-2, RT-6	WD	PA SG	WB-2, P-3	GYP BD	PA ES	P-3, P-7	GYP BD	PA ES	P-4							
4310 UTILITY	RESIL SHEET	_	RS-2	RUBBER	-	B-2	GYP BD	PA ES	P-4	GYP BD	PA ES	P-4							
4320 UTILITY	RESIL SHEET	-	RS-2	RUBBER	_	B-2	GYP BD	PA ES	P-4	GYP BD	PA ES	P-4							

									INTERIO	R FINISH S	CHEDU	LE - PSH 2 EL	EVATOR						
ROO		FLOOR			BASE			WALL			CEILING			CABINETS		MIS	CELLANEOUS		
M			COLOR												COLOR			COLOR	
NO. ROOM NAME	MATERIAL	FINISH	MARK	MATERIAL	FINISH	COLOR	MATERIAL	FINISH	COLOR MARK	MATERIAL	FINISH	COLOR MARK	ITEM	MATERIAL	MARK	ITEM	MATERIAL	MARK	REMARKS
E1-2 ELEVATOR 1	VINYL PLANK	-	RT-2				PLASTIC LAMINATE	-	EL-1										
E1-3 ELEVATOR 1																			
E1-4 ELEVATOR 1																			
E2-1 ELEVATOR 2	VINYL PLANK	-	RT-2				PLASTIC LAMINATE	-	EL-1										
E2-2 ELEVATOR 2																			
E2-3 ELEVATOR 2																			
E2-4 ELEVATOR 2																			

									INTERIO	OR FINISH	SCHED	ULE - PSH 2	STAIRS						
R00		FLOOR			BASE			WALL			CEILING			CABINETS		MIS	CELLANEOUS		
M NO. ROOM NAME	MATERIAL	FINISH	COLOR MARK	MATERIAL	FINISH	COLOR	MATERIAL	FINISH	COLOR MARK	MATERIAL	FINISH	COLOR MARK	ITEM	MATERIAL	COLOR MARK	ITEM	MATERIAL	COLOR MARK	REMARKS
S1-2 STAIR 1	RESIL SHEET		RB-1	RUBBER	-	B-3	GYP BD	PA ES	P-4	GYP BD	PA ES	P-4				STAIR RAILINGS & HANDRAIL	PA SG	P-2	
S1-3 STAIR 1	RESIL SHEET		RB-1	RUBBER	-	B-3	GYP BD	PA ES	P-4	GYP BD	PA ES	P-4				STAIR RAILINGS & HANDRAIL	PA SG	P-2	
S1-4 STAIR 1	RESIL SHEET		RB-1	RUBBER	-	B-3	GYP BD	PA ES	P-4	GYP BD	PA ES	P-4				STAIR RAILINGS & HANDRAIL	PA SG	P-2	
S2-2 STAIR 2	RESIL SHEET		RB-1	RUBBER	-	B-3	GYP BD	PA ES	P-4	GYP BD	PA ES	P-4				STAIR RAILINGS & HANDRAIL	PA SG	P-2	
S2-3 STAIR 2	RESIL SHEET		RB-1	RUBBER	-	B-3	GYP BD	PA ES	P-4	GYP BD	PA ES	P-4				STAIR RAILINGS & HANDRAIL	PA SG	P-2	
S2-4 STAIR 2	RESIL SHEET		RB-1	RUBBER	-	B-3	GYP BD	PA ES	P-4	GYP BD	PA ES	P-4				STAIR RAILINGS & HANDRAIL	PA SG	P-2	
S3-1 STAIR 3	RESIL SHEET		RB-1	RUBBER	-	B-3	GYP BD	PA ES	P-4	GYP BD	PA ES	P-4				STAIR RAILINGS & HANDRAIL	PA SG	P-2	
S3-2 STAIR 3	RESIL SHEET		RB-1	RUBBER	-	B-3	GYP BD	PA ES	P-4	GYP BD	PA ES	P-4				STAIR RAILINGS & HANDRAIL	PA SG	P-2	
S3-3 STAIR 3	RESIL SHEET		RB-1	RUBBER	-	B-3	GYP BD	PA ES	P-4	GYP BD	PA ES	P-4				STAIR RAILINGS & HANDRAIL	PA SG	P-2	
S3-4 STAIR 3	RESIL SHEET		RB-1	RUBBER	-	B-3	GYP BD	PA ES	P-4	GYP BD	PA ES	P-4				STAIR RAILINGS & HANDRAIL	PA SG	P-2	
S3-R STAIR 3	RESIL SHEET		RB-1	RUBBER	-	B-3	GYP BD	PA ES	P-4	GYP BD	PA ES	P-4				STAIR RAILINGS & HANDRAIL	PA SG	P-2	

INOIL		INTERIOR FINISH SCHEDULE - UNIT																		
<u> </u>		FL	_OOR			BASE			WALL			CEILING		C	ABINETS		MISCELI	LANEOUS		
9.				COLOR												COLOR			COLOR	
ž	ROOM NAME	MATERIAL	FINISH	MARK	MATERIAL	FINISH	COLOR	MATERIAL	FINISH	COLOR MARK	MATERIAL	FINISH	COLOR MARK	ITEM	MATERIAL	MARK	ITEM	MATERIAL	MARK	REMARKS
	UNIT KITCHEN	VINYL PLANK		RT-1	RUBBER	-	B-1	GYP BD	PA SG	P-1	GYP BD	PA SG	P-1	COUNTERTOP/CASEWORK	SOLID SURFACE/ WD	SS-1/CAB-1				
<u>``</u>	UNIT LIVING ROOM	VINYL PLANK		RT-1	WD	PA SG	WB-1, P-1	GYP BD	PA ES	P-1	GYP BD	PA ES	P-1				VERTICAL PVC BLINDS	V	VS-1	
┋╽	UNIT BATHROOM	RESIL SHEET	-/-	RS-1	RUBBER	-	B-1	GYP BD	PA SG	P-1	GYP BD	PA SG	P-1	COUNTERTOP/CASEWORK	CULTURED MARBLE/	SS-3/CAB-1				
 															WD					
۱ _۱ ۲	UNIT BEDROOM	VINYL PLANK		RT-1	WD	PA SG	WB-1, P-1	GYP BD	PA ES	P-1	GYP BD	PA ES	P-1							

FINISH			_	NTERIOR FINIS				
TAG	DESCRIPTION	MANUFACTURER	PRODUCT NAME	COLOR NAME / NO.	SIZE	INSTALLATION	GREEN POINT RATING	NOTES
3 CONCR	RETE							
	SEALED CONCRETE	SEE SPECS					L2 Low Emitting; L3 Durable flooring	
•	PLASTICS, AND COMPOSITES INTERIOR FINISHED CARPENTS	RΥ						
	PLASTIC LAMINATE	WILSONART	STANDARD HPL	BRITTANY BLUE D321				
VB-1	FINGER JOINTED PINE WOOD BASE	EL & EL WOOD PRODUCTS	1 EASED EDGE CRAFTSMAN BASE	PR387FJ-3	3 1/2" H X 7/16" T		K4.2 - yes, fingerjointed; K5.3 No added Formaldehyde	
VB-2	FINGER JOINTED PINE WOOD BASE	EL & EL WOOD PRODUCTS	CORONADO / #620 BASE PINE PRIMED	PR314FJ-4	4 1/4" H X 9/16" T		K4.2 - yes, fingerjointed; K5.3 No added	
9 FINISHE			PINE PRIMED				Formaldehyde	
9 30 00 -		DAI THE	DEELIN/E	TALIDE		T	101 5 111 10 11 11 11	I
-T-1	PORCELAIN FLOOR TILE @ LOBBY PSH1	DALTILE	BEEHIVE	TAUPE	HEXAGON 20" X 24"X 3/8"		L2 Low Emitting; L3 Durable flooring	
FT-2	PORCELAIN FLOOR TILE @ SEN LOBBY	ATLAS CONCORDE	PATH	SILVER PEARL	30CM X 60CM X 9MM		L2 Low Emitting; L3 Durable flooring	
FT-3	PORCELAIN FLOOR TILE @	DALTILE	ARTICULO	COLUMN GREY AR09	12" X 24"X 5/16"		L2 Low Emitting; L3 Durable flooring	
TB-1	RR CERAMIC WALL TILE BASE @	DAI TII F	COLOR WHEEL CLASSIC	WHITE 0100	3" X 6"			
	RR		COVE BASE					
WT-1	CERAMIC WALL TILE @ PSH2 COMM. RM.	DALTILE	COLOR WHEEL RETRO, CUBE MOSAIC	WATERFALL 0169	2 X 3 X 1/4" (12" X 13" SHEET)			
WT-2	, · · · · · · · · · · · · · · · · · · ·	DALTILE	COLRO WHEEL CLASSIC	SPA 0148	2 X 3 X 1/4 (10 1/2" X 13"			
WT-3	COMM. RM. CERAMIC WALL TILE &	DALTILE	CHEVRON MOSAIC COLOR WHEEL CLASSIC	WHITE 0100	SHEET) 3" X 6"			
	BULLNOSE TRIM @ RR							
09 51 00 - <i>1</i> AC-1	ACOUSTIC PANEL CEILINGS ACOUSTIC PANEL CEILING	ARMSTRONG	ULTIMA 1912	BEVELED TEGULAR	24" X 24" X 3/4"	9/16" SUPRAFINE		NRC .75, CAC .35, LIGH
						SUSPENSION		REF. 0.88
\C-2	ACOUSTIC PANEL CEILING	ARMSTRONG	OPTIMA	WHITE	48" X 48"X 7/8"	9/16" SUPRAFINE SUSPENSION		SQUAR TEGULAR; NRC .95
	INEAR WOOD CEILINGS	OWOOD.	2100 SEDICS DANCE IZES	DOLIGIAS FID	2//" TUIOV V E 4//" 00114 DC	INICTALL MAITH ACCULOTIC		
NDC-1	LINEAR WOOD CEILING	9WOOD	2100 SERIES PANELIZED LINEAR	DOUGLAS FIR	3/4" THICK X 5 1/4" SQUARE EDGE	BACKING, DIRECT ATTACH		
						TO 15/16" HEAVY DUTY T BAR MAIN RUNNERS		
WDP-1	WOOD WALL PLANKS	9WOOD	2600 SERIES TONGUE AND	DOUGLAS FIR	3/4" THICK X 5 1/4" TONGUE	INSTALL AS DIRECT		
9 65 00 - 1	RESILIENT FLOORING		GROOVE		AND GROOVE	ATTACH WALL PANEL		
RS-1	RESILIENT SHEET	TARKETT JOHNSONITE	ACCZENT	83016 TISSE WARM BEIGE	SHEET	GLUE-DOWN. AD ALT FOR	L2 Low Emitting; L3 Durable flooring	
						SELF COVING BASE DETAIL.		
RS-2	RESILIENT SHEET	TARKETT JOHNSONITE	ACCZENT	82022 ZEN GRAY	SHEET	GLUE-DOWN, SELF COVE AT TRASH	L2 Low Emitting; L3 Durable flooring	
RT-1	LVT @ UNITS	INTERFACE	LEVEL SET TEXTURED	A00415 ANTIQUE OAK	25CM X 1M	GLUE DOWN, ASHLAR	L2 Low Emitting; L3 Durable flooring	22 MIL WEAR LAYER,
RT-2	LVT @ OFFICES &	INTERFACE	WOODGRAINS LEVEL SET TEXTURED	A00416 ANTIQUE DARK	25CM X 1M	GLUE-DOWN, ASHLAR	L2 Low Emitting; L3 Durable flooring	ACOUSTIC 22 MIL WEAR LAYER,
X1-Z	CORRIDORS	INTERFACE	WOODGRAINS	OAK	ZOCIVI X TIVI	GLUE-DOWN, ASTILAR	LZ LOW Emitting, LS Durable hooming	ACOUSTIC
RT-3	LVT @ COMMUNITY ROOMS	INTERFACE	LEVEL SET TEXTURED WOODGRAINS	A00427 HEMLOCK	25CM X 1M	GLUE DOW, HERRINGBONE	L2 Low Emitting; L3 Durable flooring	22 MIL WEAR LAYER, ACOUSTIC
RT-6	LVT @ 1ST & 4TH FLR	INTERFACE	NATIVE FABRIC	A00804 STRAW	50CM X 50CM	GLUE-DOWN	L2 Low Emitting; L3 Durable flooring	7.0000110
RT-7	CORRIDOR ACCENT LVT @ 2ND FLR. CORRIDOR	INTERFACE	NATIVE FABRIC	FLAX	50CM X 50CM	GLUE DOWN LVT	L2 Low Emitting; L3 Durable flooring	
	ACCENT							
RT-8	LVT @ 3RD FLOOR CORRIDOR ACCENT	INTERFACE	NATIVE FABRIC	A00807 BLUEGRASS	50CM X 50CM	GLUE-DOWN	L2 Low Emitting; L3 Durable flooring	
	RESILIIENT BASE & STAIR ACCE	1		1.04.0.1.	100	T		I
3-1	RESILIENT BASE @ UNIT	ROPPE	PINNACLE RUBBER BASE STANDARD TOE	191 CAMEL	4"			
3-2	RESILIENT BASE @ COMM. KITCH/OFFICES/LAUNDRY/UTI	ROPPE	PINNACLE RUBBER BASE STANDARD TOE	114 LUNAR DUST	4"			
	LITIES		STANDARD TOE					
3-3	RESILIENT BASE @ STAIRS	ROPPE	PINNACLE RUBBER BASE STANDARD TOE	665 HORIZON	4"			
RB-1	RUBBER STAIR & TREADS	ROPPE	RUBBER TREAD WITH	665 HORIZON				
			INTEGRATED RISER #99 HAMMERED DESIGN.					
			CONTRASTING STRIPE					
			FOR THE VISUALLY IMPAIRED AS DETAILED					
	RESINOUS FLOOR	VDETUO.	OOLOD OUADEZ OVOTEM					
EP-1 09 68 00 C	EPOXY ARPETING	KRETUS	COLOR QUARTZ SYSTEM	SALT & PEPPER				
CPT-1	WALK-OFF CARPET	INTERFACE	STEP REPEAT	ONYX	24" X 24"		K5.2 CARB definition of No added	
09 77 30 - I	 FIBERGLASS REINFORCED PAN	 ELS					formaldehyde	
FRP-1	FRP	CRANE	GLASBORD	SMOOTH WHITE 85				
	OUND-ABSORPING WALL PANE ACOUSTIC WALL PANEL	LS AUTEX	GROOVE	SENADO	48" X 96"			
09 90 00 - 1	INTERIOR PAINTING		0.10012		10 7.00			
P-1 P-2	UNITS COMMON AREA DOORS &	SHERWIN WILLIAMS (SW) SHERWIN WILLIAMS (SW)		SW7102 WHITE FLOUR SW76325 PALISADE			K2.1 Low-VOC paints and coatings 5g/L K2.1 Low-VOC paints and coatings 5g/L	
2	FRAMES	SI IERWIN WILLIAMS (SW)		SW10023 FALISADE			NZ. I LOW-VOC paints and coatings 39/L	
P-3 P-4	CORRIDOR WALLS BODY CORRIDOR CEILING, OFFICE	SHERWIN WILLIAMS (SW) SHERWIN WILLIAMS (SW)		SW9109 NATURAL LINEN SW 7009 PEARLY WHITE			K2.1 Low-VOC paints and coatings 5g/L K2.1 Low-VOC paints and coatings 5g/L	
	WALLS	` ,						
P-5 P-6	ACCENT PAINT 1ST & 4TH UNIT ENTRY,	SHERWIN WILLIAMS (SW) SHERWIN WILLIAMS (SW)		SW 6488 GRAND CANAL SW6361 AUTUMNAL			K2.1 Low-VOC paints and coatings 5g/L K2.1 Low-VOC paints and coatings 5g/L	
J	STAIR, ELEVATOR DOOR &	OTTER WALL AND (OVV)		OTTOO I AU I UIVIINAL			Paints and Coatings by/L	
P-7	FRAME/ MISC. 1ST & 4TH CORRIDOR	SHERWIN WILLIAMS (SW)		SW9012 POLVO DE ORO			K2.1 Low-VOC paints and coatings 5g/L	
	ACCENT & MISC.	,						
P-8	2ND FLOOR UNIT ENTRY, STAIR, ELEVATOR DOOR &	SHERWIN WILLIAMS (SW)		SW6194 BASIL			K2.1 Low-VOC paints and coatings 5g/L	
7.0	FRAME/ MISC.	OHEDIAMALIAMI LIAAAO (O)		ONIOAOO IARE REACCO			W0.41 1/00 1 1 1 1 1	
- -9	2ND FLR. CORRIDOR ACCENT & MISC.	SHEKVVIN WILLIAMS (SW)		SW9129 JADE DRAGON	<u>L</u>		K2.1 Low-VOC paints and coatings 5g/L	
P-10	3RD FLOOR UNIT ENTRY, STAIR, ELEVATOR DOOR &	SHERWIN WILLIAMS (SW)		SW9059 SILKEN PEACOCK			K2.1 Low-VOC paints and coatings 5g/L	
	FRAME/ MISC.							
P-11	3RD FLR CORRIDOR ACCENT	SHERWIN WILLIAMS (SW)		SW6520 HONEST BLUE			K2.1 Low-VOC paints and coatings 5g/L	

	1	1		INTERIOR FINI	SH LEGEND	1		
FINISH TAG	DESCRIPTION	MANUFACTURER	PRODUCT NAME	COLOR NAME / NO.	SIZE	INSTALLATION	GREEN POINT RATING	NOTES
0 ACCES	SSORIES		1		· · · · · · ·			, ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,
0 26 00 (G-1	CORNER GUARDS CORNER GUARDS	INPRO	CLEAR CORNER GUARDS	TBD	1 1/8" X 1 1/8" X 48"	AT CORRIDOR EXPOSED		
			SED II CONTILIT GUANDO		1 1/0 // 1/0 // 40	CORNERS		
SPECIA	ALTIES DISPLAY CASES AND MARKER I	DUYDDG						
C-1		CLARIDGE	CONTEMPORARY SERIES	HINGED DOOR 2041	3'X 4'		-	
	BULLETIN BOARD							
C-2	WHITE BOARD	CLARIDGE	TRIMLINE PLUS (TL2048-75)	WRITING SURFACE: LCS3 PORCELAIN TRIM: SATIN ANODIZED	48" X 72"		-	
) 14 00 - N-1	SIGNAGE BACK PAINTED ACRYLIC SIGNAGE	BEST SIGN SYSTEMS	LUCENT	BACKPAINT COLOR: RAINWASHED SW6211			-	
) 28 00 -	TOILET BATH AND JANITORIAL	ACCESSORIES		NAINWASHED SWOZH				
4-1A		GATCO	BLEU - MINIMALIST 34715	POLISHED CHROME			-	
A-1B	GRAB BAR @ UNITS	MOEN	1 1/4" GRAB BAR- CONCEALED SCREW 8700	WHITE	24", 36", 42" SEE DRAWINGS		-	
\-1C	TOWEL BAR @ UNITS	GATCO	BLEU - MINIMALIST 34715	STAINLESS STEEL POLISHED CHROME	24"		-	
4-1D 4-1E	TOILET PAPER DISPENSER @ UNITS SHOWER CURTAIN ROD @	GATCO	01-201S MODERN MINIMALIST	POLISHED CHROME STAINLESS STEEL	ADJUSTABLE ROD 72"		-	
	UNITS		CURVED SHOWER ROD SET	POLISHED CHROME			-	
A-1F	SHOWER CURTAIN HOOKS	MOEN	SHOWER CURTAIN ROLLER RINGS SR2100	CHROME	12 PACK EA. SHOWER		-	
A-1G	MEDECINE CABINET	JENSEN	STYLELINE B772193	POLISHED STAINLESS STEEL & WHITE	16 1/8" X 26 1/8" X 3 7/8"		-	
A-2	RECESSED-MOUNTED TOILET TISSUE, SEAT-COVER DISPENSER AND WASTE DISPOSAL	BOBRICK	CLASSIC SERIES RECESSED-MOUNTED TOILET TISSUE, SEATCOVER DISPENSER AND WASTE DISPOSAL	SATIN-FINISH STAINLESS STEEL	-	-	-	-
\-3	RECESSED PAPER TOWEL DISPENSER AND WASTE RECEPTACLE	BOBRICK	(B-3091) RECESSED CONVERTIBLE PAPER TOWEL DISPENSER / WASTE RECEPTACLE (B-3944)				-	
A-4	HAT AND COAT HOOK	BOBRICK	HAT AND COAT HOOK (B-6827)	SATIN-FINISH STAINLESS STEEL			-	
A-7	SURFACE MOUNTED SOAP	BOBRICK	SURFACE MOUNTED SOAP				-	
4-8	DISPENSER GRAB BARS	BOBRICK	DISPENSER (B-4112) STRAIGHT GRAB BAR (B-5806)	STEEL SATIN-FINISH STAINLESS STEEL			-	
4-9	MIRROR	BOBRICK	WELDED FRAME MIRROR (B-290)	SATIN-FINISH STAINLESS STEEL	24" X 48"		-	
	POSTAL SPECIALTIES							
L-1 L-2	USPS MAILBOX USPS MAILBOX	FLORENCE FLORENCE	4C RECESSED MOUNT 4CADD-10 4C RECESSED MOUNT	ANODIZED ALUMINUM ANODIZED ALUMINUM			-	
L-Z	OGI G IVIAILBOX	LONENGE	4CADS-04	ANODIZED ALGIVIINGIVI				
L-3	PARCEL LOCKER	LUXER ONE	MAIN UNIT	TBD			-	
L-4 L-5	PARCEL LOCKER THROUGH THE WALL RENT	DURABOX	ADD-ON D700 ADJUSTABLE	TBD GREY			-	
	DROP BOX		THROUGH-WALL DROP BOX					
	SHINGS VERTICAL LOUVER BLINDS							
S-1	VERTICAL PVC BLINDS	GRABER	G-85, DURA-VUE ONE TOUCH WAND CONTROL	WHITE	3 1/2" PVC VANES			CONTROLS 42" AFF
	MANUAL ROLLER WINDOW SHAI		CHITCH ODERATED	DUIETED OLIFEDIA/EA\/E				
'S-3	MANUAL ROLLER BLINDS	DRAPER	CLUTCH OPERATED FLEXHADE NEXD	PHIFFER SHEERWEAVE SERIES SW2701				CONTROLS 42" AFF
2 32 13 - AB-1		ORK GRANDVIEW CABINETS	MAPLE	SLATE	23"D		K5.2 CARB definition of No added	
W-1	CASEWORK CABINET PULLS	AMEROCK	BAR PULL	STERLING NICKEL	3 3/4" CENTER TO CENTER		formaldehyde -	
N-2	CABINET PULLS	AMEROCK	BAR PULL	STERLING NICKEL	5 1/16" CENTER TO CENTER		-	
2 36 61 - S-1	QUARTZ AGGLOMERATE COUN SOLID SURFACE	TERTOPS CAESERSTONE	SUPERNATURAL	5000 LONDON GREY	3CM		K5.2 CARB definition of No added	
S-1 S-2	SOLID SURFACE SOLID SURFACE	WILSONART	COLLECTION SOLID SURFACE	CARRARA EMPORIO	1/2" THICK		formaldehyde K5.2 CARB definition of No added	
S-3	SOLID SURFACE	CULTURED MARBLE		9909SS TBD			formaldehyde K5.2 CARB definition of No added	
	RECESSED ENTRY MAT						formaldehyde	
2 48 13 -		BALCO INC.	FG 1 1/2A	TBD		RECESSED		6'-0" IN DIRECTION O
2 48 13 - /M-1	RECESSED WALK OFF MAT						Point, 6'-0" long permanent walk off mat at every main entrance	INAVEL
/M-1 4 CONVE	EYING EQUIPMENT	TDACTION DACCENCES EL	EVATORS					TIVAVEL

KITARCHITECTS



SONSTRUCTION

North Housing, Block A

Alameda, CA 94501

JOB NO. 19009
DRAWN Author
CHECKED Checker

JOB CAPTAIN Approver ISSUE

6 08/22/22 50% CD SET
7 09/29/22 PERMIT SUBMITTAL

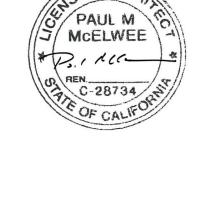
DATE DESCRIPTION

DRAWING TITLE

PSH 2 - INTERIOR FINISH LEGEND

SCALE

A10.29
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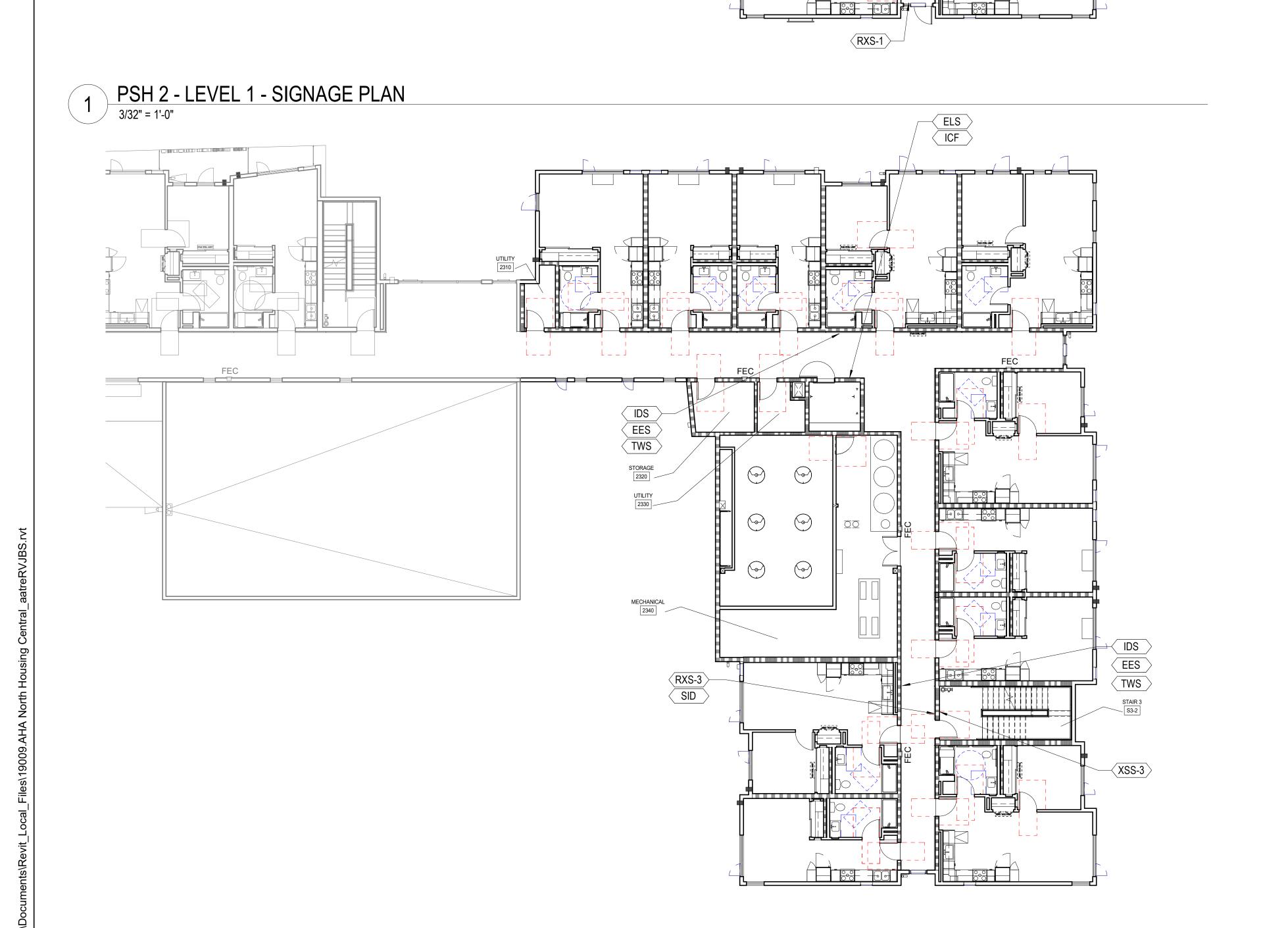


GENERAL NOTES - SIGNAGE PLAN

- 1. ALL SIGNS SHALL BE SENT TO THE LIGHT HOUSE OF THE BLIND FOR REVIEW AND APPROVAL PRIOR TO
- 2. SIGNS CONTAINING TACTILE CHARACTERS SHALL BE LOCATED SO THAT A CLEAR FLOOR SPACE OF 18"X18" MIN. CENTERED ON THE TACTILE CHARACTERS AT THE LATCH SIDE OF THE DOOR IS PROVIDED.
- 3. SEE ALSO SIGNAGE PLANS, DOOR SCHEDULES, SITE PLAN, FLOOR PLANS, ACCESSIBILITY DETAILS AND FINISH SCHEDULES FOR SIGNAGE INFORMATION.
- 4. ALL SIGNS TO BE 0.25" NON-GLARE ACRYLIC WITH SUB-SURFACE PAINT AND STANDARD EDGES, U.O.N. NO APPLIED CHARACTERS WILL BE ACCEPTED. FONT AND COLOR SELECTION BY ARCHITECT FROM MIDPEN SIGNAGE STANDARDS OPTIONS.
- 5. FOR TYPICAL MOUNTING U.O.N. SEE DETAIL X/AX.XX

SIGNAGE SCHEDULE

CODE	TYPE	DETAIL	TACTILE	REMARKS
ARS (-L,-R, -N)	ACCESSIBLE ROUTE SIGN	14 /A9.90	NO	COORDINATE IN FIELD
<u>APS</u>	ACCESSIBLE PARKING SIGN	23 /A9.90	NO	SEE CIVIL DWGS
<u>CBI</u>	CALL BOX INSTRUCTION	15 /A9.90	YES	
<u>CGG</u>	CEILING CLEARANCE GUARD	4 /A9.90	NO	
<u>EES</u>	EMERGENCY EVACUATION SIGN	21 /A9.90	NO	
<u>ELS</u>	ELEVATOR LEVEL DESIGNATION SIGN	11 /A9.90	NO	
<u>ISA</u>	INT'L SYMBOL OF ACCESSIBILITY	27 /A9.90	YES	
<u>ICF</u>	IN CASE OF FIRE SIGN	16 /A9.90	YES	
<u>IDS</u>	INTERIOR DIRECTIONAL SIGN	19 /A9.90	NO	
<u>MOS</u>	MAXIMUM OCCUPANCY SIGN	20 /A9.90	NO	REVIEW BY FIRE DEPT
<u>NSS</u>	NO SMOKING SIGN	22 /A9.90	NO	CONFIRM W/LOCAL JURISDICTIO
<u>PLZ</u>	PASSENGER LOADING ZONE SIGN	26 /A9.90	NO	
RDS - 1 (2,3)	RESTROOM DOOR SIGN	8 /A9.90	NO	
<u>RIS</u>	ROOM IDENTIFICATION SIGN	13 /A9.90	YES	
RWS - 1 (2,3)	RESTROOM WALL SIGN	5 /A9.90	YES	
RXS - 1 (2-4)	TACTILE ROOM EXIT SIGN	12 /A9.90	YES	
<u>SID</u>	STAIR IDENTIFICATION SIGN	1 /A9.90	YES	
<u>TWS</u>	TWO WAY COMMUNICATION SIGN	10 /A9.90	NO	
<u>UIS</u>	UNIT IDENTIFICATION SIGN	2 /A9.90	NO	
<u>UVS</u>	UNAUTHORIZED VEHICLE	18 /A9.90	NO	SEE CIVIL DWGS
XSS	STAIRWELL LANDING SIGN	17 /A9.90	YES	



2 PSH 2 - LEVEL 2 - SIGNAGE PLAN
3/32" = 1'-0"

ELS

(IDS

EES

RESTROOM 1320

RXS-1

MOS

RXS-3

FEC

North Housing, Block A

PSH PHASE 2

520 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO. CHECKED

JOB CAPTAIN

ISSUE DESCRIPTION 6 08/22/22 50% CD SET 7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE PSH 2 - SIGNAGE PLAN

North Housing,

PSH PHASE 2

6 08/22/22 50% CD SET

7 09/29/22 PERMIT SUBMITTAL

DESCRIPTION

520 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO.

DRAWN

ISSUE

CHECKED

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SIGNAGE SCHEDULE

SIGNAGE STANDARDS OPTIONS.

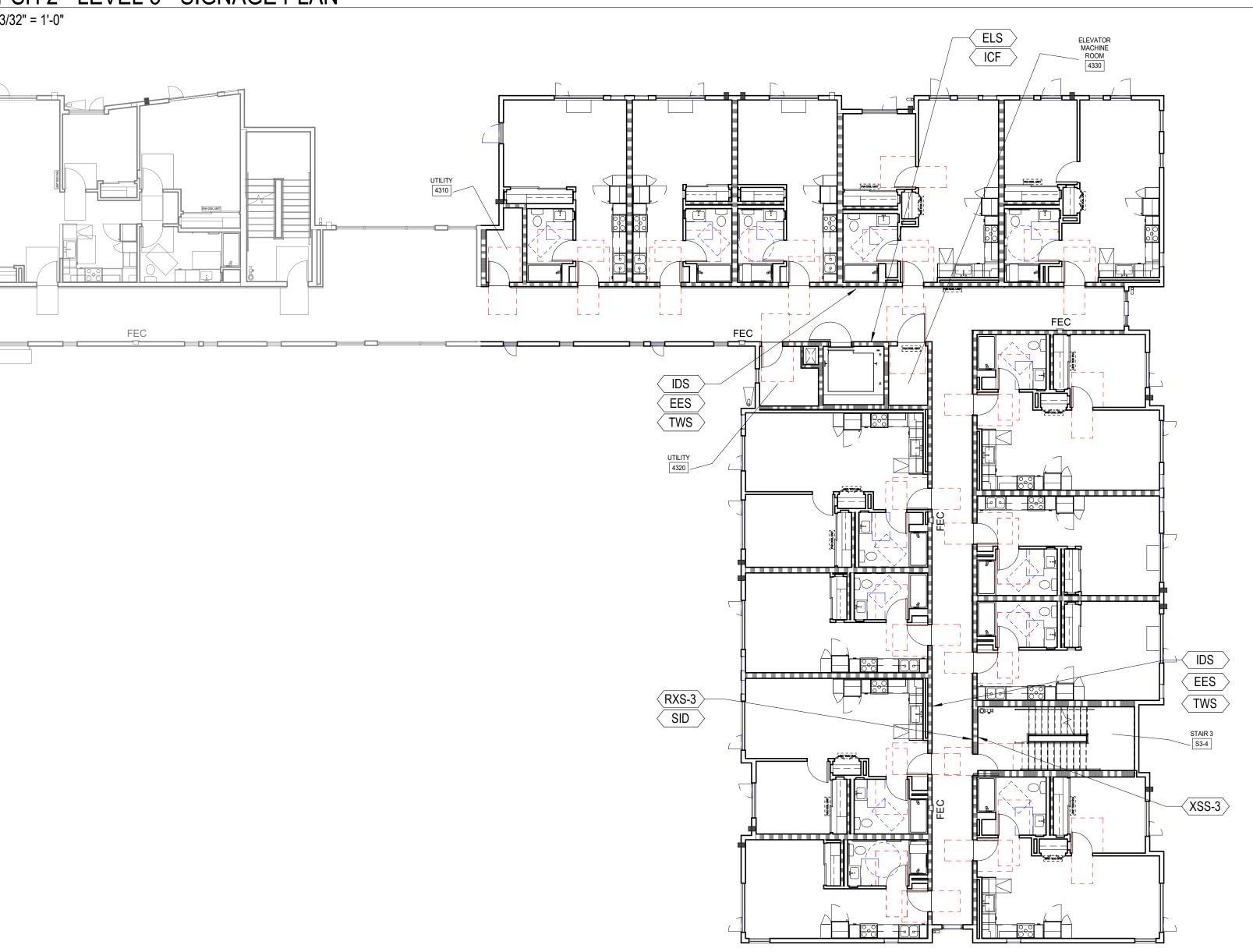
ELS ICF

FEC

 $\overline{\langle \mathsf{XSS-3} \rangle}$

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IDS EES TWS

RXS-3

PLAN

PSH 2 - SIGNAGE

DRAWING TITLE

SCALE As indicated

A10.21

2 PSH 2 - LEVEL 4 - SIGNAGE PLAN
3/32" = 1'-0"