North Housing, Block A 500 Mosley Avenue Alameda, CA 94501

APN: 74-905-12-9



PROJECT DIRECTORY

OWNER

Housing Authority of the City of Alameda Tony Weng, Senior Project Manager 701 Atlantic Avenue Alameda, CA 94501 Email: tweng@alamedahsg.org Tel: (510) 747 4339

DEVELOPER Island City Development

ARCHITECT

HKIT Architects Address: 538 Ninth Street Suite 240 Oakland, CA 94607 Tel: (510) 625-9800 Attn: Paul McElwee, Principal

Email: pmcelwee@hkit.com Attn: Sam McGeehan, Project Manager Email: smcgeehan@hkit.com

CIVIL ENGINEER

CBG CIVIL ENGINEERS Address: 2633 Camino Ramon, Suite 350 San Ramon, CA 94583 Tel: (925) 866-0322 Attn: Angelo Obertello, P.E.

Email: aobertello@cbandg.com

LANDSCAPE ARCHITECT

Principal

PGA Landscape Architects.

Attn: Karen Krolewski, Principal Tel: (510) 550 8858 Email: krolewski@pgadesign.com

ARCHITECTURAL SYMBOLS

STRUCTURAL ENGINEER

Address: 1150 Campbell Ave.

MECHANICAL & PLUMBING

Attn: Tommy Siu, PE, Principal

Tommy Siu & Associates

ELECTRICAL ENGINEER

BWF Consulting Engineers

Address: 220 South Spruce

Attn: Michael J Voigtlander

SUSTAINABILITY / T-24

Development, LLC

Tel: (510) 842-8432

Cell: (510) 390-3179

laura@sagegreen

development.com

American Trash

Attn: Aileen Serrano Tel: (415) 292-5400

DRY UTILITY DESIGN

Attn: Alfonso Reyes

Tel: (925) 240-2595

Tarrar Utility Consultants

Email: areyes@tarrar.com

aileenserrano@trashmanage.com

Management

TRASH CONSULTANT

Attn: Laura Billings, Principal

Sage Green

South San Francisco, CA 94080

Email: mvoigtlander@bwfce.com

Avenue, Suite 203

Tel: (650) 871-0220

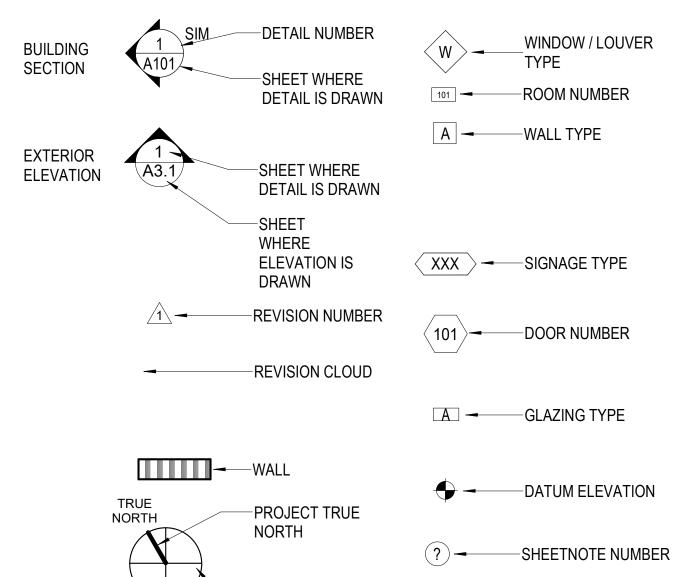
People's Associates

San Jose, CA 95126

Tel: (408) 957-9220

ENGINEER

Attn: Christopher Taplin



-PROJECT NORTH

SUMMARY OF WORK

THE PROPOSED NEW CONSTRUCTION PROJECTS AT BLOCK A OF THE NORTH HOUSING DEVELOPMENT WILL BE DEVELOPED IN THREE PHASES. THE TWO BUILDINGS ALONG MOSLEY AND THE BUILDING AT THE CORNER OF LAKEHURST CIRCLE AND MABUHAY STREET WILL PROVIDE 64 UNITS OF AFFORDABLE SENIOR APARTMENTS. THE NINETY-ONE (91) PSH UNITS WILL BE BUILT IN TWO PHASES WITH 45 UNITS IN THE FIRST, AND 46 UNITS IN THE SECOND COURTYARD THAT INCLUDES A BARBECUE, A PATIO FOR GATHERINGS, AND RELAXATION AND CONTEMPLATION SPACES. THE SENIOR APARTMENT COMPLEX IS CONFIGURED IN AN L-SHAPED BUILDING WITH A COURTYARD TO THE WEST FOR GATHERINGS AND GROUP ACTIVITIES, WITH APPROXIMATELY 48,000 SQUARE FEET IN GROSS AREA.

THESE PROJECT DOCUMENTS ARE FOR THE PSH PHASE 1 BUILDING, AND IS APPROXIMATELY 39,500 SQUARE FEET, FOUR (4) STORY RESIDENTIAL BUILDING OF TYPE V-A CONSTRUCTION TO ACCOMMODATE FORTY-FOUR (44) UNITS & ONE (1) MANAGER'S UNIT. THE PROJECT LOCATION IS AT THE CORNER OF MOSLEY ROAD AND LAKEHURST CIR. IN ALAMEDA, CA. THE BUILDING WILL ALSO PROVIDE STAFF AND COMMON AMENITITES INCLUDING A TEMPORARY COMMUNITY ROOM, OFFICE SUITE, LAUNDRY FACILITIES AND SPACES FOR BIKE STORAGE. EXTERIOR COMMON SPACES INCLUDE A FENCED COMMUNAL COURTYARD AND DOG RUN. PARKING IS LOCATED ON AN SHARED EXTERIOR LOT WITHIN PROJECT BOUNDS AND ON THE PRIVATE STREET LAKEHURST CIRCLE.

PROJECT DATA

ALAMEDA ZONING PROJECT ADDRESS: 500 MOSLEY AVENUE, ALAMEDA, CA 94501 PROJECT LEGAL PARCELS: APN: 74-905-12-9 **APN NOS:** PERMANENT SUPPORTIVE HOUSING **PROJECT DESCRIPTION: ZONING:** GENERAL PLAN LAND USE: MEDIUM DENSITY RESIDENTIAL, R4-PD WITH MULTI-FAMILY OVERLAY SITE AREA: (1.84 ACRES) PROPOSED 40' ALLOWABLE/ REQUIRED **BUILDING HEIGHT** DENSITY: 155 UNITS 155 UNITS 40% (32,100 SQ.FT / 80,150 SQ.FT*100) 1.69 FAR LOT COVERAGE: 80% MAX 75 SQ.FT/UNIT PSH COURTYARD = 7,780 SF COMMON OPEN SPACE: SENIOR YARD = 6,550 SF TOTAL = 14,330 SF LOT DEPTH 307'-8" (MIN. 50') **LOT WIDTH** SETBACKS: **MOSLEY AVE** MABUHAY ST LAKEHURST CIRCLE **PARKING:** CAR PARKING 0.25/UNIT FOR PSH, 0.5/UNIT FOR SENIORS 3 SPACES, MIN. 1 VAN ACCESSIBLE ADA SPACES 3 SPACES TOTAL, 1 VAN ACCESSIBLE

57 SPACES (OF WHICH 3 REQUIRED TO BE ADA) ELECTRIC VEHICLE 5 SPACES 5 SPACES BIKE PARKING LONG-TERM **1,550 SPACES** 1,119 SF FOR PSH / 700 SF FOR SENIOR (10SF/UNIT SECURE) SHORT-TERM 18 SPACES 18 BIKE PARKING SPACES (6/ > 40 UNITS)

45 UNITS PSH 2 46 UNITS 64 UNITS SEN

UNIT TOTALS:

TOTAL: 45

PSH 1 - UNIT COUNTS Unit Type | Avg. Unit Net Area | Avg. Unit Gross Area | HVI Count | Mobility Count | LEVEL 1 - TOS STUDIO 361 SF 400 SF 553 SF 600 SF LEVEL 1 - TOS: 7 LEVEL 2 - TOS STUDIO 600 SF 553 SF LEVEL 2 - TOS: 13 LEVEL 3 - TOS LEVEL 3 - TOS: 13 LEVEL 4 - TOS LEVEL 4 - TOS: 12

VICINITY MAP

PSH 1 PHASE

PERMIT SET - 09/23/22



UTILITIES

SANITARY SEWER: CITY OF ALAMEDA (COLLECTION) EBMUD (TREATMENT AND TRANSMISSION) STORM DRAIN: CITY OF ALAMEDA / PRIVATE ON - SITE WATER: EAST BAY MUNICIPAL UTILITY DISTRICT (EBMUD) **ELECTRIC:** ALAMEDA MUNICIPAL POWER (AMP) NOT AVAILABLE PER ALAMEDA CODE GAS:

TELEPHONE: CABLE TV: COMCAST

FIRE PROTECTION DISTRICT

CITY OF ALAMEDA FIRE DEPARMENT

APPLICABLE CODES & STANDARDS

2019 CALIFORNIA BUILDING CODE 2019 CALIFORNIA MECHANICAL CODE 2019 CALIFORNIA ELECTRICAL CODE 2019 CALIFORNIA PLUMBING CODE 2019 CALIFORNIA FIRE CODE 2019 CALIFORNIA ENERGY CODE/BUILDING ENERGY EFFICIENCY STANDARDS 2019 CALIFORNIA GREEN BUILDING CODE (CALGreen) TITLE 19, CALIFORNIA CODE OF REGULATIONS TITLE 24, CALIFORNIA CODE OF REGULATIONS ALL ABOVE AS MODIFIED BY THE ALAMEDA MUNICIPAL CODE 2010 AMERICAN DISABILITIES ACT ACCESSIBILITY GUIDELINES

SUMMARY OF DEFERRED APPROVAL / DESIGN-BUILD ITEMS

SEE GENERAL NOTE 13

- FIRE SPRINKLER: NFPA 13 FIRE ALARM: NFPA 72
- EMERGENCY RESPONDER RADIO COVERAGE SYSTEM (ERRCS)
- **EMERGENCY EVACUATION MAPS**
- WINDOW SUN SHADE AWNINGS PHOTOVOLTAIC PANELS

North Housing, Block A

PSH PHASE 1

500 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO. 19009 **DRAWN** Author CHECKED Checker Approver

JOB CAPTAIN **ISSUE**

DESCRIPTION 2 | 12/8/21 | SD SET 6 08/22/22 50% CD SET 7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE PSH 1 - COVER SHEET

SCALE 1/4" = 1'-0"

GENERAL NOTES

- BUILDNG IS TO BE FULLY SPRINKLERED IN ACCORDANCE WITH NFPA 13, ALL FIRE PROTECTION 14. SYSTEMS (I.E. UNDERGROUND FIRE SERVICE, FIRE SPRINKLER, AND FIRE ALARM) REQUIRE SEPARATE FIRE PERMIT PRIOR TO INSTALLATION.
- UNLESS OTHERWISE INDICATED, ALL PLAN DIMENSIONS ARE TO FACE OF STUD (F.O.S.) FACE OF MASONRY (C.M.U.), FACE OF CONCRETE, OR GRID
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE
- FIGURED DIMENSIONS SHALL TAKE PRECEDENCE OF SCALED DIMENSIONS
- PROVIDE AND VERIFY SIZE AND LOCATION OF THE FOLLOWING: ACCESS DOORS, OPENINGS, FURRINGS, ANCHORS, INSERTS AND BLOCKING REQUIRED FOR ACCESSORIES AND MECHANICAL AND ELECTRICAL EQUIPMENT.
- VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT PROVIDED IN THE CONTRACT.

DRAWINGS AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES

- MAINTAIN FIRE-RATING BEHIND FIXTURES OR EQUIPMENT RECESSED IN FIRE-RATED ASSEMBLIES.
- WORK INDICATED "N.I.C." OR "NOT IN CONTRACT" WILL BE PROVIDED BY THE OWNER OR UNDER SEPARATE CONTRACT. COORDINATE CONTRACT WORK WITH ALL N.I.C. WORK, OWNER-SUPPLIED EQUIPMENT, ETC.
- WHERE DOOR IS LOCATED NEAR THE CORNER OF A ROOM, AND IS NOT LOCATED BY PLAN DIMENSION OR DETAIL, DIMENSIONS SHALL BE 4-INCHES FROM F.O.S. TO FINISHED DOOR OPENING.
- REPETITIOUS FEATURES ARE NOT DRAWN IN THEIR ENTIRETY AND SHALL BE COMPLETELY PROVIDED AS IF DRAWIN IN FULL.
- 11. ALL ACCESS DOORS IN FIRE RATED CEILINGS AND WALLS TO BE RATED TO COMPLY WITH THE FIRE RATING OF THE CEILING OR WALL AS REQUIRED AND TO BE UL-LABELED.
- SEAL ALL PENETRATIONS IN FIRE RATED ASSEMBLIES, OFF SET ITEMS WHICH ARE BACK-TO-BACK. PROVIDE FIRESTOPPING AT ALL THROUGH PENETRATION AND MEMBRANE PENETRATIONS OF FIRE RATED WALLS (I.E. PARTY, BEARING, CORRIDOR, AREA FIRESTOP MATERIALS SHALL BE U.L. CLASSIFIED FOR THE TYPE AND SIZE OF VOID TO BE FIRESTOPPED AND SHALL NOT BE LESS THAN REQUIRED FIRE RESISITANCE RATING OF THE ASSEMBLY PENETRATED. PENETRATIONS IN NON-BEARING WALLS WITHIN RESIDENTIAL UNITS NEED NOT BE FIRE-STOPPED
- 13. ALL DEFERRED SUBMITTALS SHALL FIRST BE SUBMITTED TO THE ARCHITECT AND/OR ENGINEER FOR REVIEW AND COORDINATION. FOLLOWING THE COMPLETION OF ARCHITECT ENGINEER REVIEW AND COORDINATION, A SUBMITTAL TO THE CITY OF ALAMEDA SHALL BE MADE (FOR CITY REVIEW AND APPROVAL), WHICH SHALL INCLUDE A LETTER STATING THAT REVIEW AND COORDINATION HAS BEEN PERFORMED AND COMPLETED AND PLAN AND CALCULATIONS FOR THE DEFERRED ITEMS ARE FOUND TO BE ACCEPTABLE (E.G. WITH REGARDS TO GEOMETRY, LOAD CONDITIONS, ETC.) WITH NO EXCEPTIONS.

PER CFC SECTION 510, ALL BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS WITHIN THE BUILDING. UPON COMPLETION OF THE BUILDING CONSTRUCTION, A RADIO COVERAGE TEST SHALL BE CONDUCTED PER THE APPLICABLE CODES AND STANDARDS, AND IF THE TEST FAILS, AN EMERGENCY RESPONDERS RADIO COVERAGE SYSTEM (ERRCS) SHALL BE INSTALLED.

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CFC CHAPTER 33 FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION AND CFC CHAPTER 35 WELDING AND OTHER HOT
- PROVIDE TEMPORARY STANDPIPES FOR FIRE PROTECTION DURING CONSTRUCTION PER SFBC SECTION 905.2
- 17. CONSTRUCTION HOURS ARE LIMITED TO 7:00 AM TO 7:00 PM MONDAY THROUGH FRIDAY AND 8:00 AM TO 5:00 PM ON SATURDAYU, NLESS A PERMIT IS FIRST SECURED FROM THE CITY MANAGER OR DESIGNEE BASED UPON A SHOWING OF SIGNIFICANT FINANCIAL HARDSHIP.. NO CONSTRUCTION ACTIVITIES ARE PERMITTED ON SUNDAY AND HOLIDAYS.
- IF CONSTRUCTION ACTIVITIES, INCLUDING TREE PRUNING, TREE REMOVAL, GROUND DISTURBING ACTIVITIES, OR CONSTRUCTION ACTIVITIES COMMENCE BETWEEN FEBRUARY 1 AND AUGUST 31, THE FOLLOWING STUDIES SHALL BE CONDUCTED:

A QUALIFIED BAT BIOLOGIST.

- a. A PRE-CONSTRUCTION SURVEY FOR BATS SHALL BE PERFORMED NOT MORE THAN 7 DAYS PRIOR TO THE START OF THESE ACTIVITIES. THE PRE-CONSTRUCTION SURVEY SHALL BE CONDUCTED BY
- b. A PRE-CONSTRUCTION SURVEY OF THE OPEN GRASSLAND AREAS AND TREES FOR NESTING BIRDS (MIGRATORY BIRDS AND RAPTORS) SHALL BE PERFORMED NOT MORE THAN 10 DAYS PRIOR TO THE START OF THESE ACTIVITIES. THE PRE-CONSTRUCTION SURVEY SHALL BE CONDUCTED BY
- A QUALIFIED AVIAN BIOLOGIST. PROTECT BUILDING MATERIALS DELIVERED TO THE CONSTRUCTION SITE FROM RAIN AND OTHER SOURCES OF MOISTURE.

UNIT MATRIX

UNIT TYPE 2A-M

LEVEL 4 - TOS

PSH 1 - U	NIT MATRIX	PSF	l 1 - UNIT	MATRIX
Count HV	l Mobility	Count	HVI	Mobility
UNIT TYPE 1A LEVEL 2 - TOS		UNIT TYPE S	2 /	
		_	_	
1 1 100		LEVEL 2 - TO	JS	
LEVEL 3 - TOS		1	<u> </u>	
1		LEVEL 3 - TO	JS	11D
		1 5 75 4 7	20	11B
UNIT TYPE 1A.1		LEVEL 4 - TO	JS	
LEVEL 2 - TOS		1		
1			24.4	
LEVEL 3 - TOS		UNIT TYPE		
1		LEVEL 2 - TO	OS	
LEVEL 4 - TOS		1		11B
1	11B	LEVEL 3 - TO	OS	
		1		
UNIT TYPE 1A.2R				
LEVEL 1 - TOS		UNIT TYPE S	SA.R	
1		LEVEL 2 - TO	OS	
LEVEL 2 - TOS		1		
1		1 YE	S	
LEVEL 3 - TOS		LEVEL 3 - TO	OS	
1		1		
LEVEL 4 - TOS		1		
1 YES		LEVEL 4 - TO	OS	
		1 YE	S	
UNIT TYPE 1A.3		1		
LEVEL 2 - TOS				
1	11B	UNIT TYPE S	SB	
LEVEL 3 - TOS	1.12	LEVEL 1 - TO	_	
1		1		11B
LEVEL 4 - TOS		1		11B
1		1 YE	S	110
1		1	.0	11B
UNIT TYPE 1B		LEVEL 2 - TO	<u> </u>	טוו
LEVEL 1 - TOS		1	<i>J</i> 0	
	11B	1		
1				
1	11B	1	<u> </u>	
LEVEL 2 - TOS		LEVEL 3 - TO	72	
1		1		445
1		1		11B
LEVEL 3 - TOS		1		
1	11B	LEVEL 4 - TO	OS	
1 YES		1		
LEVEL 4 - TOS		1		

Grand total: 45

ABBREVIATIONS

GROUND GRADE

GYPSUM

GYP.

GALVANIZED SHEET METAL

ADD	<u>KLVIATIONS</u>				
&	AND	GYP. C.	GYPSUM CONCRETE	R.W.L.	RAIN WATER LEADER (PIPE)
{	ANGLE	G.A.	GYPSUM ASSOCIATION		
@	AT	5	LIGOT DIDD	S	SOUTH
CL O	CENTERLINE DIAMETER OR ROUND	H.B. H.C.	HOSE BIBB HOLLOW CORE	SAF SAHT	SELF-ADHERED FLASHING SELF-ADHERED HIGH
[CHANNEL	HDWD.	HARDWOOD	OAIII	TEMPERATURE
Ĺ	PERPENDICULAR	HDWE.	HARDWARE	S.A.P.	SUSPENDED ACOUSTICAL
#	POUND OR NUM1BER	H.M.	HOLLOW METAL	SASM.	PANEL SELF-ADHERED SHEET
(E) (F)	EXISTING FUTURE	HORIZ. H.P.	HORIZONTAL HEAT PUMP	O/ (OIVI.	MEMBRANE
(N)	NEW	HR.	HOUR	S.C.D.	SEE CIVIL DOCUMENTS/SEAT
(R)	REMOVED	HS.	HEAT STRENGTHENED	SCHED.	COVER DISPENSER SCHEDULE
		HT.	HEIGHT	S.C.WD.	SOLID CORE WOOD
A.B. ABV.	ANCHOR BOLT ABOVE	I.D.	INSIDE DIAMETER	S.D.	SOAP DISPENSER
A.C.	ASPHALT CONCRETE	I.D.F.	INTERMEDIATE DIST. FRAME	SECT. S.E.D.	SECTION SEE ELECTRICAL
A/C	AIR CONDITIONING	IGU.	INSULATED GLAZING UNIT	S.E.D.	DOCUMENTS
ACOUS.	ACOUSTICAL	INSUL.	INSULATION	S.FP.D.	SEE FIRE PROTECTION
AC.T. A.D.	ACOUSTICAL TILE AREA DRAIN	INT.	INTERIOR	SH.	DOCUMENTS SHELF
ADJ.	ADJUSTABLE	JAN.	JANITOR	SHT.	SHEET
A.F.F.	ABOVE FINISH FLOOR	JT.	JOINT	SHT'G.	SHEATHING
AGGR.	AGGREGATE	KIT.	KITCHEN	OLIM/D	OHOWED
ALT. AL./ ALUM.	ALTERNATE ALUMINUM	NII.	KITCHEN	SHWR. SIM.	SHOWER SIMILAR
APPROX.	APPROXIMATE	LAB.	LABORATORY	S.L.D.	SEE LANDSCAPE
ARCH.	ARCHITECTURAL	LAM.	LAMINATE	2115	DOCUMENTS
BD.	BOARD	LAV. LKR.	LAVATORY LOCKER	S.M.D.	SEE MECHANICAL DOCUMENTS
во. BITUM.	BITUMINOUS	LKK. LT.	LIGHT	S.N.D.	SANITARY NAPKIN DISPENSER
BLDG.	BUILDING	LTWT.	LIGHTWEIGHT	S.N.R.	SANITARY NAPKING
BLK.	BLOCK	<u>.</u>		SPEC.	RECEPTACLE SPECIFICATIONS
BM. BOT.	BEAM BOTTOM	MAX. M.B.	MAXIMUM MACHINE BOLT	S.P.D.	SEE PLUMBING DOCUMENTS
BOT. BSW.	BACK OF SIDEWALK	M.C.	MEDICINE CABINET	SQ.	SQUARE
BTWN.	BETWEEN	MECH.	MECHANICAL	S.S.	STAINLESS STEEL
0.15	OARINET	MEMB.	MEMBRANE	S.S.D.	SEE STRUCTURAL DOCUMENTS
CAB. C.B.	CABINET CATCH BASIN	MET. MFR.	METAL MANUFACTURER	S.SK.	SERVICE SINK
C.B. CEM.	CEMENT	MH.	MANHOLE	STA.	STATION
CEM. PLA.	CEMENT PLASTER	MIN.	MINIMUM	STD. STL.	STANDARD STEEL
CER.	CERAMIC	MIR.	MIRROR	STOR.	STORAGE
CFS CI	COLD FORMED STEEL CAST IRON	MISC. MR.	MISCELLANEOUS MOISTURE RESISTANT	STRL.	STRUCTURAL
C.J.	CONTROL JOINT	MTD.	MOUNTED	STRUCT.	STRUCTURAL
CLG.	CEILING	MUL.	MULLION.	SUSP. SYM.	SUSPENDED SYMMETRICAL
CLKG.	CAULKING			OTIVI.	STIVIIVILTRICAL
CLO. CLR.	CLOSET CLEAR	N. N.I.C.	NORTH NOT IN CONTRACT	T.	TILE
CLK. CMU.	CONC. MASONRY UNIT	NO.	NUMBER	T.B.	TOWEL BAR
COL.	COLUMN	NOM.	NOMINAL	T.BD. TEL.	TACKBOARD TELEPHONE
CONC.	CONCRETE	N.T.S.	NOT TO SCALE	THK.	THICK (THICKNESS)
CONN. CONSTR.	CONNECTION CONSTRUCTION	0/	OVER	T.O.C.	TOP OF CURB/TOP OF
CONSTR. CONT.	CONTINUOUS	O/ O.A.	OVER	T O C	CONCRETE
CNTR.	COUNTER	O.C.	ON CENTER	T.O.S. T.O.P.	TOP OF SLAB TOP OF PAVEMENT
CT.	CERAMIC TILE	O.D.	OUTSIDE DIAMETER (DIM.)	T.O.W.	TOP OF WALL
CTR.	CENTER	O.F.D.	OVERFLOW DRAIN	T.P.D	TOILET PAPER DISPENSER
CTSK.	COUNTERSUNK	OFF. O.P.C.	OFFICE OAKLAND, CA PLANNING	TRD.	TREAD
DBL.	DOUBLE		CODE	TV. TYP.	TELEVISION TYPICAL
DEPT.	DEPARTMENT	OPNG.	OPENING	T.W.B.	TACKABLE WALLBOARD
DET. D.F.	DETAIL DRINKING FOUNTAIN	OPP.	OPPOSITE	T & G	TONGUE AND GROOVE
D.FIR	DOUGLAS FIR	P.D.F.	POWER DRIVEN FASTENER	U.B.C.	UNIFORM BUILDING CODE
DIA.	DIAMETER	PERF.	PERFORATED	U.L.	UNDERWRITERS
DIM.	DIMENSION	PL.	PLATE PLASTIC LAMINATE		LABORATORIES
DIST. DN.	DISTANCE DOWN	P.LAM PLAS.	PLASTIC LAWIINATE PLASTIC	U.O.N.	UNLESS OTHERWISE NOTED
DR.	DOOR	PLYWD.	PLYWOOD	UR.	URINAL
DS.	DOWNSPOUT	PR.	PAIR	VCT.	VINYL COMPOSITION TILE
DWG.	DRAWING	PRCST.	PRE-CAST	VERT.	VERTICAL
DWR.	DRAWER	PREFAB. PT.	PRE-FABRICATED POINT	VEST.	VESTIBULE
F.A.	FIRE ALARM	PTD.	PAINTED	V.G. V.W.C.	VERTICAL DRAIN VINYL WALL COVERING
F.B.	FLAT BAR	PTN.	PARTITION		
F.C.C.	FIBER CEMENT CLADDING PANEL	P.T.R. PVDR.	PAPER TOWEL RECEPTACLE FLUOROPOLYMETER (POLY	W.	WEST
F.D.	FLOOR DRAIN	. 7011.	VINYLIDENE FINISH SÝSTEM	W/ W.C.	WITH WATER CLOSET
FDN.	FOUNDATION		FLUORIDE)	WD.	WOOD
F.E.	FIRE EXTINGUISHER	R.	RISER	W/O	WITHOUT
F.E.C. F.H.C.	FIRE EXTINGUISHER CAB. FIRE HOSE CABINET	PAD.	RADIUS	W.O. WP.	WHERE OCCURS WATERPROOF
F.H.W.S.	FLATHEAD WOOD SCREW	RAT.	RATING	WP.	(WEATHERPROOF)
FIN	FINISH	RCP. REQ.	REFLECTED CEILING PLAN REQUIREMENTS	WP'G	WATERPROOFING
FL./FLR. FLASH.	FLOOR FLASHING	R.D.	ROOF DRAIN	WPMB.	(WHEATERPROOFING) WATERPROOF MEMBRANE
FLUOR.	FLUORESCENT	REF.	REFERENCE/REFRIGERATOR	WRB.	WEATHER RESISTIVE
F.O.C	FACE OF CONCRETE/ FACE	RGTR.	REGISTER		BARRIER
F.O.F.	OF CURB FAVE OF FINISH	REINF. REQ'D	REINFORCED REQUIRED	WSCT. WT.	WAINSCOT WIGHT
F.O.F. F.O.S.	FACE OF STUD	RET.	RETARDANT	v v 1.	
FPRF.	FIREPROOF	RESIL.	RESILIENT.	OF/OI	FURNISHED BY OWNER,
F.R.C.B.	FIBER REINF, CONC. BD.	RM.	ROOM		INSTALLED BY OWNER (EQUIVALENT TO N.I.C.)
F.R.P. FRT.	FIBER REINF. PLASTIC FIRE RETARDANT TREATED	R.O. RTD.	ROUGH OPENING RATED	OF/CI	FURNISHED BY OWNER,
F.S.	FULL SIZE	RWD.	REDWOOD		INSTALLED BY CONTRACTOR
F.S.#	FINISH SYSTEM NUMBER			CF/CI	FURNISHED AND INSTALLED BY CONTRACTOR
FT.	FOOTING			OS/SI	FURNISHED AND INSTALLED
FTG. FURR.	FOOTING FURRING				UNDER SEPARATE CONCURRENT
i Oikik.					OWNER-CONTRACTOR
GA.	GAUGE				AGREEMENT.
GALV.	GALVANIZED GYPSLIM BOARD				PERIODS ARE NOT A
G,B, G.BAR.	GYPSUM BOARD GRAB BAR				NECESSARY CHARACTER IN
G.I.	GALVANIZED IRON				ABBREVIATIONS AND MAY OR MAY NOT BE USED WITH NO
GL.	GLASS				CHANGE TO THE MEANING.
GND.	GROUND				

O PAUL M J MCELWEE

North Housing, Block A

PSH PHASE 1

500 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO.

DRAWN Author Checker CHECKED

JOB CAPTAIN Approver ISSUE

DATE DESCRIPTION 2 12/8/21 SD SET 7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE PSH 1 - GENERAL ABBREVIATIONS AND **UNIT DATA**

SCALE 1/4" = 1'-0"

North Housing, Block A

PSH PHASE 1

500 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO. DRAWN Author CHECKED Checker JOB CAPTAIN Approver

ISSUE △ DATE DESCRIPTION7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE PSH 1 - SHEET INDEX

SCALE

SHEE?	Γ INDEX
00 General	
G0.10	PSH 1 - COVER SHEET
G0.11	PSH 1 - GENERAL NOTES, ABBREVIATION

G0.11	PSH 1 - GENERAL NOTES, ABBREVIATIONS AND UNIT DATA
G0.12	PSH 1 - SHEET INDEX
G1.10	PSH 1 - CONDITIONS OF APPROVAL
G2.10	PSH 1 - CODE ANALYSIS
G3.10	PSH 1 - CODE ANALYSIS EGRESS DIAGRAM
G3.11	PSH 1 - CODE ANALYSIS EGRESS DIAGRAM
G3.12	PSH 1 - CODE ANALYSIS EGRESS DIAGRAM
G4.10	PSH 1 - GPR SCORECARD
G4.11	PSH 1 - TITLE 24 REPORT
G4.12	PSH 1 - TITLE 24 REPORT
G4.13	PSH 1 - TITLE 24 REPORT

00	General:	12	<u> </u>

01 Civil	
C0.1	COVER SHEET
C0.2	NOTES, LEGEND & ABBREVIATIONS
C0.3	CURB LAYOUT & CONSTRUCTION PLAN
C0.4	UTILITY PLAN
C0.5	TYPICAL SECTION & DETAILS
C1.1	FINE GRADING PLAN
C1.2	FINE GRADING PLAN
C2.1	STORMWATER MANAGEMENT PLAN NOTES & DETAILS
C2.2	STORMWATER MANAGEMENT PLAN
C3.1	SIGNING & STRIPING PLAN
C4.1	CLEAN BAY BLUE PRINT
C4.2	EROSION CONTROL PLAN NOTES
C4.3	EROSION CONTROL PLAN
C5.1	FIRE ACCESS PLAN
01 Civil: 1	1

01 Civil: 14

L01	LANSCAPE PLAN OVERALL & GENERAL NOTES
L02	LANDSCAPE PLANT LISTS & NOTES
L.1.1	PSH 1 - LANDSCAPE MATERIALS PLAN
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L.1.4	PSH 1 - PLANTING PLAN
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LD2	DETAILS - STAIRS & ENTRY RAMPS
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JT5 JOINT TRENCH COMPOSITE PLAN
03 Joint Trench: 1
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2.13	PSH 1 - 3RD FLOOR PLAN	
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MCELWEE

City of Alameda • California

DESIGN REVIEW APPROVAL NOTICE

This notice is provided pursuant to Alameda Municipal Code (AMC) Section 30-36.3 to declare that on February 15, 2022, the City of Alameda approved Design Review Application No. PLN21-0414 at 501 Mosley Avenue. This determination has been made following a review for consistency with the City of Alameda's Zoning Ordinance and Objective Design Review Standards adopted on February 22, 2021.

This is not a Building Permit: This approval is for Design Review only, which allows the applicant to apply for a building permit. Separate application forms, plans, and fees are required for the building permit application process. Construction on the project shall not commence until issuance of a building permit.

Project Description: The project consists of the construction of three residential buildings containing 155 affordable residential units within Block A of the North Housing Residential Development site. The two buildings along Mosley Avenue will be built in two phases and will provide ninety-one (91) units of Permanent Supportive Housing. The third building at the corner of Lakehurst Circle and Mabuhay Street will provide sixty-four (64) units of affordable senior apartments. The project also consists of a central courtyard, patio, landscaping, and on-site surface parking. Zoning District: R-4-PD-MF General Plan: Medium Density Residential.

Applicant: Island City Development

Environmental Determination:

The project complies with the requirements of California Government Code Section 65913.4 for streamlined ministerial review and is exempt from environmental review under CEOA pursuant to California Government Code Section 65913.4. No further environmental review is required.

SB 35 Approval (GOVERNMENT CODE SECTION 65913.4)

The proposed project was approved for streamlined review by the City of Alameda pursuant to Government Code Section 65913.4. The North Housing affordable housing project was approved for streamlined ministerial review pursuant to SB 35 (Section 65913.4 of the Government Code) by Planning Board Resolution No. PB-20-16 and City Council Resolution No. 15689. The Design Review for Block A constitutes a subsequent permit required for development and must be approved if consistent with objective design review standards in effect on the submittal date.

Planning, Building and Transportation Department 2263 Santa Clara Avenue, Room 190 Alameda, California 94501-4477 510.747.6805 • Fax 510.865.4053 • TTY510.522.7538

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- 14. Prior to issuance of the Permit, the Applicant shall submit for review and approval by the City Engineer a Stormwater C3-LID Measures Operations and Maintenance (O&M) Plan that provides a thorough discussion of the inspection, operations, and maintenance requirements of all of the stormwater treatment, including trash capture, and LID design measures at the site. This O&M Plan shall be consistent with the City of Alameda's C3-LID Measures O&M Plan Checklist.
- 15. The development shall incorporate permanent post-construction stormwater quality controls in accordance with the City of Alameda's National Pollution Discharge Elimination System (NPDES) Permit. Stormwater design and treatment measures shall be constructed consistent with the latest version of the Alameda County Clean Water Program's Provision C3 Technical Guidance Manual.

consistent with the approved Stormwater Quality Management Plan submittal.

- 16. Plans shall be consistent with documents already submitted and approved of by Public Works, including the Stormwater Quality Management Plan and Stormwater Requirements Checklist. Stormwater design and treatment measures shall be constructed consistent with the latest version of the Alameda County Clean Water Program's Provision C3 Technical Guidance Manual.
- 17. The development is subject to full trash capture requirements of the City's NPDES permit, regardless of impervious surface area. The developer shall provide a full trash capture system, device, or series of devices that traps all particles retained by a 5mm mesh screen and has a design treatment capacity of not less than the peak flow rate Q resulting from a oneyear, one-hour storm in the sub-drainage area. Plan sheets shall include location, detail and cross-sectional drawings of the stormwater full trash capture device(s) necessary to treat the entirety of the site. The developer shall confirm that the full trash capture device(s) included in the development plan are on the State Water Resources Control Board's list of certified full trash capture systems. Trash capture shall occur on site, not in the public right of way downstream. Applicant shall submit an O&M plan detailing the necessary maintenance tasks and schedule required to maintain all on-site trash capture devices.
- 18. Prior to project acceptance and any certificate of occupancy, the Property Owner(s) shall provide the following:
 - a. Executed C3-LID Treatment Measures Maintenance Agreement with the City, complete with an approved Operations and Maintenance Plan, the template for annual self-reporting, and assurances for property access for City verification inspections.
 - b. Certification report (Report) prepared by a registered civil engineer, licensed in the State of California, affirming that all project site stormwater treatment measures have been constructed per the City approved plans and specifications. As appropriate, the

Design Review Findings:

- . <u>Development Plan Consistency</u>: The North Housing Block A project is consistent with the approved Development Plan for the property, and is compliant with each of the Development Plan requirements for Design Review approval listed below.
- 2. AMC Consistency: The project is consistent with the objective standards of the Alameda Municipal Code, unless those standards are in conflict with the approved Development Plan, in which case the standards of the Development Plan shall apply.
- 3. Design Review Objective Standards: The North Housing affordable housing project was approved for streamlined ministerial review pursuant to SB 35 (Section 65913.4 of the Government Code) by Planning Board Resolution No. PB-20-16 and City Council Resolution No. 15689. The Design Review application for Block A is a subsequent permit required for development, and California law requires that the design of the project be reviewed only against objective standards. The Objective Design Review Standards adopted February 22, 2021 serve as the standards for design review. The proposed design is consistent with the General Plan, Zoning Ordinance, North Housing Development Plan and meets all of objective standards required in the City of Alameda Objective Design Review Standards.
- 4. Open Space: The Block A project provides 14,083-square-feet of common open space which is consistent with the 75 square feet of useable open space per unit requirement under the
- Bicycle Parking: The North Housing Block A project is providing 1,550-square-feet of longterm bike parking and 18 short term spaces which is consistent with the least ten (10) square feet of secure bicycle parking for studio, one bedroom and two-bedroom units required by
- Affordable Housing: The project will dedicate all of the 155 dwelling units in the North Housing Block A project as affordable rental units. The overall ratio of affordable units to total units permitted for the North Housing development as a whole is above 50% as required by the approved Development Plan.

CONDITIONS OF APPROVAL

Planning Conditions

- 1. A copy of this Design Review Approval Notice and Planning Board Resolution No. PB-20-16 and City Council Resolution No. 15689 shall be printed on the cover of the final Building
- . Pursuant to Government Code Section 65913.4(e)(1), this approval shall not expire because the project includes public investment in housing affordability, beyond tax credits, where 50 percent of the units are affordable to households making below 80 percent of the area median

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Report shall include, but not be limited to, assurances that: imported materials used for the treatment measure(s) are certified by the supplier; installation of these materials is per approved plans and specifications and meets the intent of the design engineer; required on-site testing results conform with approved plans and specifications; treatment measures conform to dimensions, grades and slopes on approved plans and specifications; all structural features of the treatment measures comply with plan specifications; the irrigation system is installed and functions as designed; healthy vegetation/ground cover is installed as shown on plans. The Report shall be submitted

18. The developer shall comply with the State Water Quality Control Board's Construction General Permit requirements. Copies of the required "Notice of Intent" (NOI) and "Storm Water Pollution Prevention Plan" (SWPPP) along with the WDID# shall be submitted to the City Engineer prior to the issuance of the Permit for any site work. The SWPPP shall utilize the California Storm Water Best Management Practices Handbook for Construction Activities, the ABAG Manual of Standards for Erosion & Sediment Control Measures, the City's Grading and Erosion Control ordinances, the City's "Urban Runoff Best Management Practices Standards", and other generally accepted engineering practices for construction activity pollution prevention, sediment, and erosion control.

in a form acceptable to the City Engineer.

19. Projects proposed for construction between October 1st and April 15th, shall have an erosion and sedimentation control program approved, and implemented to the maximum extent possible, prior to the start of on-site earthwork. Installation of all components of these plans shall be completed by October 1.

Alameda Municipal Power

- 20. The Applicant shall provide all necessary underground substructures, including conduits, pull boxes, electric utility equipment pads, etc. per the AMP specifications. The Applicant must ensure that conduit is not installed in a trench at a depth greater than 60 inches. AMP will require easements for all transformers, primary and secondary boxes, and conduits. AMP will furnish and install all required transformers and high voltage distribution cables.
- 21. HOLD HARMLESS. To the maximum extent permitted by law, the applicant (or its successor in interest) shall defend (with counsel acceptable to the City), indemnify, and hold harmless the City of Alameda, its City Council, City Planning Board, officials, employees, agents and volunteers (collectively, "Indemnitees") from and against any and all claims, actions, or proceedings against Indemnitees to attack, set aside, void or annul an approval by Indemnitees relating to this project. This indemnification shall include, but is not limited to, all damages, losses, and expenses (including, without limitation, legal costs and attorney's fees) that may be awarded to the prevailing party arising out of or in connection with an approval by the Indemnitees relating to this project. The City shall promptly notify the applicant of any claim, action or proceeding and the City shall cooperate in the defense. The City may elect, in its sole

- 3. The plans submitted for building permit and construction shall be in substantial compliance with plans prepared by HKIT Architects, received on January 3, 2022 and on file in the office of the City of Alameda Planning Building and Transportation Department, except as modified by the conditions listed in this letter.
- 4. This approval is limited to the scope of the project defined in the project description and does not represent a recognition and/or approval of any work completed without required City permits. Any additional exterior changes to the approved plans shall be submitted to the Planning Building and Transportation Department for review and approval prior to construction.
- 5. The improvement of the property shall comply with the Conditions of Approval for the North Housing Development Plan PLN20-0099 (Planning Board Resolution No. PB-20-16).
- 6. The final plans submitted for Building Permit plans shall incorporate the approved window
- 7. The final plans submitted for Building Permit approval shall conform to all applicable codes and guidelines.

8. Prior to issuance of building permit(s) for this project, the applicant shall provide evidence that

all required approvals, permits, or waivers from regulatory agencies have been obtained. 9. A site inspection to determine compliance with this Design Review Approval is required prior to the final building inspection and/or to the issuance of a Certificate of Occupancy. The applicant shall notify the Planning Building and Transportation Department at least four days

prior to the requested Planning Inspection dates.

Public Works Conditions

- 12. Project shall incorporate permanent stormwater low impact development (LID) design techniques and source control measures to manage the quantity and quality of stormwater runoff from the planned development to prevent and minimize impacts to water quality, in accordance with the City of Alameda's National Pollution Discharge Elimination System (NPDES) Permit, and consistent with the latest version of the Alameda County Clean Water Program's Provision C3 Technical Guidance Manual. Project plans shall indicate the efforts taken to minimize impervious surface areas, especially directly connected impervious surface
- 13. Prior to issuance of the Permit, the Applicant shall submit an updated Stormwater Quality Management Plan complete with the individual drainage management areas identified, an updated Stormwater Requirements Checklist, and a stamped, signed City of Alameda C3 certification form from a qualified independent (i.e. different engineering firm) civil engineer with stormwater treatment facility design experience, licensed in the State of California, and acceptable to City Engineer that indicates the LID and treatment measure designs of the improvement plans and Stormwater Quality Management Plan meet the established sizing design criteria for stormwater treatment measures. The Civil Improvement Plans shall be

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discretion, to participate in the defense of said claim, action, or proceeding and the applicant (or its successor in interest) shall reimburse the City for its reasonable legal costs and attorneys'

Approved: Allen Tai, City Planner

Date: February 15, 2022

North Housing, Block A

PSH PHASE 1

500 MOSLEY AVENUE

ALAMEDA, CA 94501

JOB NO. **DRAWN Author** CHECKED Checker

JOB CAPTAIN

ISSUE DESCRIPTION 2 | 12/8/21 | SD SET 7 09/29/22 PERMIT SUBMITTAL

Approver

·	

DRAWING TITLE **PSH 1 - CONDITIONS** OF APPROVAL

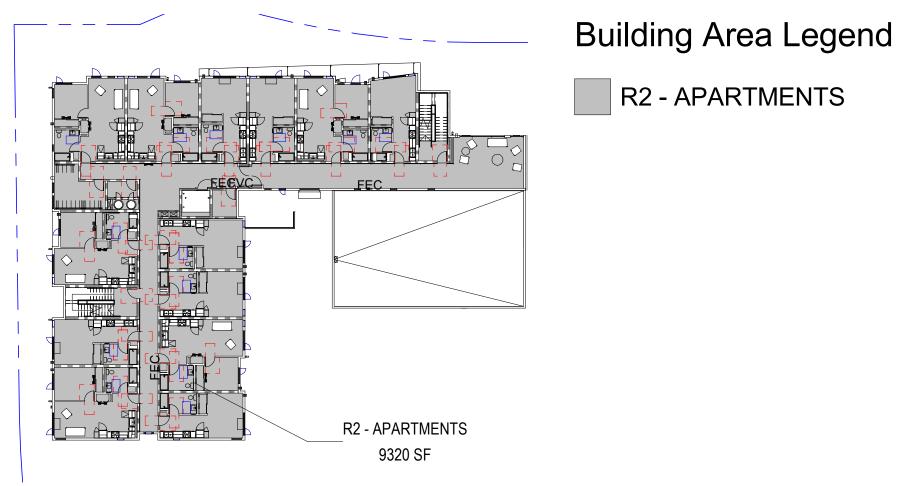
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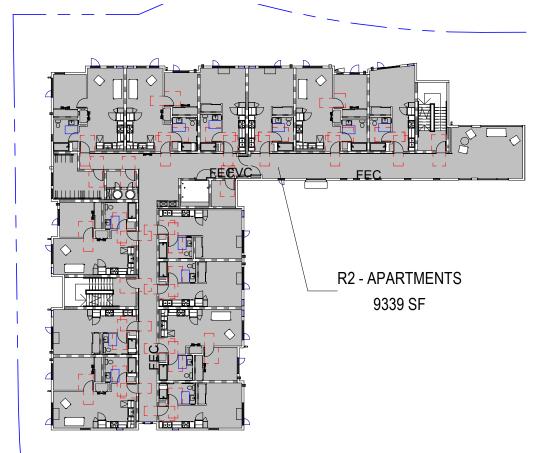
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PSH 1 - LEVEL 1 OCCUPANCY PLAN 1" = 30'-0"



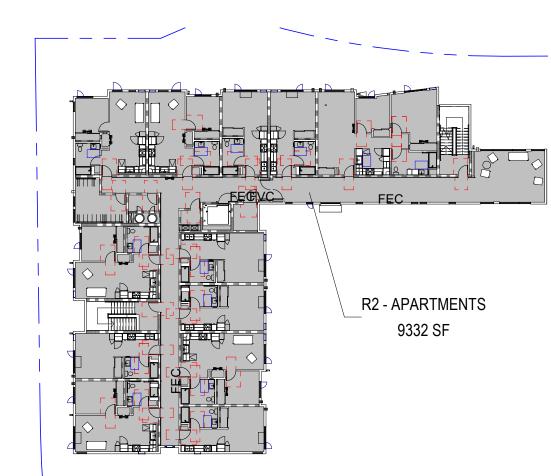
PSH 1 - LEVEL 2 OCCUPANCY PLAN 1" = 30'-0"



Building Area Legend

R2 - APARTMENTS

PSH 1 - LEVEL 3 OCCUPANCY PLAN



Building Area Legend

R2 - APARTMENTS

PSH 1 - LEVEL 4 OCCUPANCY PLAN

CODE ANALYSIS

1) Code excerpts provided are for the purposes of assisting plan check, and do not include all applicable code sections. 2) Refer also to City of Alameda Conditions of Approval for additional requirements / limitations.

APPLICABLE CODES - GENERAL 2019 CALIFORNIA BUILDING CODE 2019 CALIFORNIA MECHANICAL CODE 2019 CALIFORNIA PLUMBING CODE 2019 CALIFORNIA ELECTRICAL CODE

2019 CALIFORNIA FIRE CODE

2019 CALIFORNIA ENERGY CODE

APPLICABLE CODES - ACCESSIBILITY COMPLIANCE

2019 CALIFORNIA BUILDING CODE - CHAPTERS 11A for adaptable units and CHAPTER 11B for common spaces, and mobility & communication units. TCAC LARGE FAMILY STANDARDS - MOBILITY REQUIREMENTS.

DEVELOPMENT IS DEFINED AS "PUBLICLY FUNDED HOUSING"

15% of dwelling units will be mobility accessible complying with <u>11B-233.3.1.1</u> and defined in CBC 11B 809.2 through 11B 809.4 See plans for locations 10% of dwelling units will be HVI accessible complying with 11B-233.3.1.3 and defined in CBC 11B 809.5. See plans for locations. Remaining dwelling units will be adaptable per 11A, Division IV.

APPLICABLE CODES - SUSTAINABILITY

2019 CALIFORNIA GREEN BUILDING STANDARDS CODE - MANDATORY MEASURES

APPLICABLE CODES - FIRE PROTECTION

FULLY SPRINKLERED PER NFPA 13 (2016 CBC 903.3.1.1)

ACOUSTICAL PERFORMANCE:

Sound Transmission: Partitions between dwelling units: STC 50. Penetrations sealed and lined. Refer to wall details. Floors between units: IIC 50

Exterior noise: Acoustical Performance per 2019 CBC

Refer to Acoustical Report for additional Acoustical Requirements

CHAPTER 3 - USE OR OCCUPANCY

Occupancy classifications - refer to adjacent diagrams for classifications and areas. For occupancy separation, refer to Chapter 5 summary

CHAPTER 4 - SPECIAL REQUIREMENTS BASED ON OCCUPANCY

420.2 Separation Walls. Walls separating dwelling units in the same building, walls separating sleeping units in the same building and walls separating dwelling or sleeping units from other occupancies contiguous to them in the same building shall be constructed as fire partitions in accordance with Section 708.

420.3 Horizontal Separation. Floor assemblies separating dwelling units in the same buildings, floor assemblies separating sleeping units in the same buildings and floor assemblies separating dwelling units in other occupancies contiguous to them in the same building shall be constructed as horizontal assemblies in accordance with section 711.

420.5 Automatic Sprinkler System. Group R occupancies shall be equipped throughout with an automatic sprinkler system in accordance with Section 903.2.8.

420.6 Fire Alarm Systems and Smoke Alarms. Fire & smoke alarm systems and smoke alarms shall be provided in Group R-2 in accordance with Section 907.2.9.

CHAPTER 5 - GENERAL BUILDING LIMITATIONS

Construction Type: 4 stories V-A. Allowable number of Stories (CBC table 503):

Type V-A A-3 1

Occupancy Proposed Allowable Type V-A R-2 4 4(3 per CBC Table 503 + 1 with sprinkler increase * per CBC section 504.2)

*Sprinkler Increase in accordance with CBC Section 903.3.1.1 (NFPA 13 System)

Allowable Height:

60' per CBC table 504.3 + area increase * = 60' MAXIMUM HEIGHT

504.3 Roof Structures: Roof structures shall be unlimited in height if of noncombustible materials and shall not extend more than 20 feet above the allowable building height if of combustible materials (see Chapter 15 for additional requirements).

for "Mixed Occupancy" per CBC 506.2.4: Sum of ratios of of the actual area of each story divided by the allowable area of such stories shall not exceed 3

Function/Occupancy Const Type Actual Area Aa (see below) Actual/Aa Ratio V-A 2,293 s.f. 0.065 V-A 752 s.f. 11,500 s.f. 0.233 V-A 8,500 s.f. 36,500 s.f. Apts, Utility R-2** Apts, Utility R-2** V-A 9,312 s.f. 36,500 s.f. 0.255 Apts, Utility R-2** V-A 9,330 s.f. 36,500 s.f. Apts, Utility R-2** V-A 9,324 s.f. 36,500 s.f. 1.105

Max Ratio Sum of 1.105 less than 2 maximum allowed

**Accessory use as defined per CBC 303.1.2 (less than 50 occ or 750 SF), Classified as "R-2" Accessory Occupancy Allowable Area Increase Calculations

506.3 Frontage Increase

Not calculated as it is not required to meet allowable area

Equation 5-3: $A_a = [A_t + (NS \times I_f)]$

For R-2 Occupancy:

 $A_a = [36,000 + (12,000 \times 0)]$ $A_a = 36,000 \text{ S.F. per story}$

508.1 - Mixed Occupancy

Using provision "Separated occupancies" per 508.4 to separate residential and assembly occupancies. Areas of building individually complying with Chapter 5

Required separations per CBC table 508.4:

R-2 to B: 1 hour fire barrier or horizontal assembly R-2 to A-3: 1 hour fire barrier or horizontal assembly

508.2 - Accessory Occupancies: - Service Provider Office (Small assembly space per CBC 303.1.2.2)

Table 509 -Incidental Uses Room or Area Separation / Protection Boiler room over 15psi / 10hp 1 hour or auto fire ext system *** Laundry Rooms over 100 s.f. 1 hour or auto fire ext system *** *** Sprinkler provided.

509.4.1: Incidental use separation to be provided as fire barriers per CBC 707.3.7 Other Incidental Use Areas (misc code references) Room or Area Separation / Protection

Electrical Room 1 hour Elevator Mechanical Room 1 hour

NOTE: PHASE 2 ADDITION UNDER SEPARATE PERMIT. SEE PHASE 2 - FOR CODE ANALYSIS OF OVERALL BUILDING INCL. BOTH PHASES

508.1 - Mixed Occupancy Allowable building area: Each story allowable area such that the sum of ratios of the actual to allowable building area are less than 2 (see above) Using a combination of provisions for: "Accessory Occupancies" per 508.2 for small resident offices, conference rooms, utility spaces that are 10% of floor area. "Separated occupancies" per 508.4. For larger areas of building individually complying with Chapter 5 Required separations per CBC table 508.4:

*** Sprinkler provided.

S-2 to R-2: 1 hour fire barrier or horizontal assembly A-3 to R-2: 1 hour fire barrier or horizontal assembly

508.2 Accessory Occupancies:

- Management Office - Small amenity rooms (Small assembly space per CBC 303.1.2.2)

Table 509 - Incidental Uses Room or Area Separation / Protection Boiler room over 15psi / 10hp 1 hour or auto fire ext system *** Laundry Rooms over 100 s.f. 1 hour or auto fire ext system ***

509.4.1: Incidental use separation to be provided as fire barriers per CBC 707

Room or Area Separation / Protection Other Incidental Use Areas (misc code references) Main Switchgear Room Emergency Electrical Room 1 hour

Elevator Mechanical Room 1 hour

CHAPTER 6 - TYPES OF CONSTRUCTION

Table 601: Fire-Resistance Rating Requirements for Building Elements

Floor 1-4

Type V-A Structural Frame 1 hour Bearing Walls Interior Non Bearing Ext. Walls Table 602* Non Bearing Int. Walls Floor

Building Element

* Table 602: Fire rating of exterior walls - see plans for wall ratings. V-A Exterior walls dist 0 - 30' = 1 hour, over 30' = No Rating

CHAPTER 7 - FIRE RESISTANCE-RATED CONSTRUCTION 704.2.3: Columns, Beams, and other structural elements supporting bearing walls above shall be individually protected on all sides.

See structural drawings for location and architectural details for protection method. 705.2: Projections such as eave overhangs, balconies, cornices:

Not allowed less than 2' fire separation distance (from property line or center of R.O.W.)

24" allowable projection when 2'-5' fire separation distance. 40" allowable projection if 5' or greater fire separation distance.

705.2.2: Type VA: Projections can be made of any approved material.

705.2.3: Where protection of openings is required, one-hour construction or heavy timber required.

Table 705.8 - for sprinklered building with unprotected openings:

3'-5' 15% 5'-10' 25% 15'-20' 75% 20'+

705.8.5: Vertical Separation of Openings - not required where sprinkler provided

705.11: Parapet at exterior walls: Not required where greater than 5' from property as sprinklered building (exception #6). Otherwise, required to be 1-hour construction, 30" above roof surface, and have non-combustible faces for the upper 18".

706: Fire Walls: Fire Walls shall not have a resistance rating of not less than 2 hours (CBC Table 706.4). 708: Fire Partitions: shall have a fire-resistance rating of not less than 1 hour.

711.2.4.2: Where a horizontal assembly separates a single occupancy into different fire areas,

the assembly shall have a fire-resistance rating not less than 2hrs (CBC 707.3.10). 713.4: Shaft Enclosures: 2 hours where connecting four stories or more per 708.4. 2 hours where penetrating horizontal assembly between floors 1-2. 713.13: Trash chute openings shall not be located in corridors, doors shall be self-closing. Access openings for refuse chute shall be located in

a 1 hour rated compartment with 3/4 hour self closing door. 713.14.1: Elevator Lobbies: Enclosed elevator lobbies are not required:

Exception #1: Not required at level of discharge. Exception #3: where additional smoke doors are provided at hoistway opening. See plans and door schedules for smoke door information.

716: Opening Protectives:

Type of Assembly Required Assembly Rating Minimum Fire Door Rating Door vision panel size Sidelight rating Fire Barrier (occupancy separation) 60 minute 100 sq. in Fire Wall (area separation/ horizontal exit) 2 hours 90 minute 100 sg. in

Fire Partition (Corridor) 20 minute max tested 45 minute 1 hour Fire Partition (other) max tested 45 minute 45 minute

716.6: Fire Window Assembly Fire Protection Rating

Required Assembly Rating Minimum Fire Window Assembly Rating Fire Partition (Corridor) 1 hour 45 minute

CHAPTER 9 - FIRE PROTECTION SYSTEMS

903.3.1.1 Building shall be equipped throughout with an NFPA 13 sprinkler system

905.1 Standpipes: 905.3.1 Requires standpipes at every floor. Class 1 allowable per exception #1.

905.4 Standpipe locations (see plans for information):

1. Main stair landings, subject to local FD review. 2. Each side of horizontal exit: Exception: not required where within 100' of exit stairway hose connection.

3. Exit passageway (provided at exit stairways)

4. At roof areas less than 4:12, at stair to roof.

906: Portable Fire Extinguishers: 2A rated. Max travel distance 75' to extinguisher.

9.15: Carbon monoxide alarms does not apply to our building because there are no fuel-burning appliances in the dwelling units or attached garages.

CHAPTER 10 - MEANS OF EGRESS

Refer to egress diagrams on sheet G2.02 for means of egress information. Refer to door schedules for door hardware and door operation information.

1003.2: Egress ceiling height: 7'-6" minimum, except protruding objects per 1003.3.1, allowed to be 80" A.F.F. for maximum 50% floor area.

1004.5: Outdoor areas such as the 3rd floor terrace have been provided means of egress as required by chapter 10. For use by residents of the building only. This area considered Assembly UC - OLF 15 sf/occupant

1006.2.1: Common path of travel: Maximum for occupancies (with sprinkler system): R-2: 125', B/S: 100', A-3: 75'. 1007.1.1: Two Exits or exit access doorways:

Exception #2. Exit access separation distance: Minimum, 1/3 length of maximum diagonal for area served (see diagrams).

1009.2.1: Elevator required to be accessible means of egress at floors 4 & 5. Using exception #1: Sprinklers provided. Including horizontal exit at floors 4 & 5. 1009.4: Elevators: Exception #2. Elevators are not required to have access to area of refuge when building is equipped with automatic sprinkler system in accordance with Section 903.3.1.1.

1009.3: Stairways: Exception #2. Clear width of 48" between handrails not required in buildings equipped with automatic sprinkler system in accordance

Exception #5. Areas of refuge are not required where automatic sprinkler system provided in accordance with Section 903.3.1.1. 10011.12: Stair to roof: Required where roof less than 4:12 slope, more than four stories above grade.

1017: Exit access travel distance: by occupancy (sprinklered): Table 1017.2: R-2/A-3: 250', B: 300', S-2: 400' 1020: Corridors: Per Table 1020.1 Corridors shall be 1 hour rated when serving >10 occupants and be equipped with sprinkler system. 1020.4: Dead Ends: Exception #2 - Corridor Dead Ends shall not exceed 50 feet in group R-2 where building is equipped throughout with an automatic

sprinkler system in accordance with 903.3.1.1. 1026: Horizontal Exit: 2-hour fire barrier per 707, or horizontal assembly per 711. Extend vertically all floors unless 2-hour horizontal separation with no unprotected openings. Continuous barrier from wall-to-wall.

CHAPTER 11A/11B - HOUSING ACCESSIBILITY DEVELOPMENT IS DEFINED AS "PUBLICLY FUNDED HOUSING"

TCAC requirements for dwelling unit accessibility:

15% of dwelling units (7 total) will be "built-out" mobility accessible complying with 11B-233.3.1.1. See plans for locations 10% of dwelling units (5 total) will be "built-out" HVI accessible complying with 11B-233.3.1.3. See plans for locations. Remaining dwelling units will be adaptable per 11A, Division IV. Common areas will comply with 11B

11b-208.2: Resident Parking: Per Table 11b-208.2 - 57 parking spaces provided:3 Accessible stalls required. 3 accessible spaces provided. 108.2.4: Van Parking: 1 stalls required

North Housing, Block A

PAUL M

MCELWEE

PSH PHASE 1

500 MOSLEY AVENUE

ALAMEDA, CA 94501 JOB NO. DRAWN Author CHECKED Checker

JOB CAPTAIN

ISSUE DESCRIPTION 2 | 12/8/21 | SD SET 7 09/29/22 PERMIT SUBMITTAL

Approver

DRAWING TITLE PSH 1 - CODE ANALYSIS

SCALE As indicated

SHEET NOTES- EGRESS PLANS

- 90-MINUTE FIRE-RATED HORIZONTAL EXIT FOR EXCEPTION TO ELEVATOR AS ACCESSIBLE MEANS OF EGRESS REQUIREMENT PER CBC 1009.2.1 EXCEPTION 1. DOORS ON ELECTRO-MAGNETIC HOLD OPEN (EMHO), WHICH RELEASE UPON ACTIVATION OF FIRE ALARM. DOORS TO REMAIN
- 2-HOUR CONTINUOUS FIRE-RATED FIRE BARRIER PER CBC 707. SEE PLANS FOR WALL ASSEMBLY INFORMATION.
- TWO-WAY COMMUNICATION:

SYSTEM REQUIREMENTS, PER CBC 1009.8, VISIBLE COMMUNICATION METHOD, PER CBC 1009.8.1.1, AND DIRECTIONS PER CBC 1009.8.2.

- "REFUGE AREA" IS CALCULATED USING 3 SQ. FT. PER PERSON PER CBC 1026.4. THIRD FLOOR LOAD IS WORST CASE SCENARIO. SEE PLANS FOR CALCULATIONS.
- INSTRUCTIONS ON THE USE OF AREA OF REFUGE SHALL BE POSTED PER CBC 1009.11. SEE 12/A10.40 FOR EMERGENCY EVAC SIGN. SEE SHEETS A10.42 & A10.43 FOR SIGNAGE PLANS
- "WORST CASE" COMMON PATH OF EGRESS TRAVEL, NOT TO EXCEED 125'-0" PER CBC 1006.2.1.
- DEAD END CORRIDOR MAX. DISTANCE 50' 0" PER CBC 1020.4 **EXCEPTION 2**
- FIRE DEPARTMENT CONNECTION (FDC)
- STANDPIPE PER CBC 905.4
- PATH OF TRAVEL DISTANCE FROM STANDPIPE TO HORIZONTAL EXIT PER CBC 905.4 ITEM 2
- EXIT ACCESS TRAVEL DISTANCE BETWEEN POINTS ALONG EXIT PATH. TRAVEL DISTANCE MUST NOT EXCEED 250' PER CBC TABLE 1017.2
- EXIT SEPARATION SHALL BE NOT LESS THAN 1/3 DIAGONAL DIMENSION OF AREA SERVED PER CBC 1007.1.1 EXCEPTION 2
- DISTANCE TO ELEVATOR PER CBC 11B-206.2.3.2 PROVIDED SHALL BE WITHIN 200' OF TRAVEL OF EACH NEW STAIR.
- EXTERIOR AREAS FOR ASSISTED RESCUE PER CBC 1009.7
- SEE LANDSCAPE DRAWINGS FOR FIXED PLANTERS DEFINING AREA

ACCESSIBLE MEANS OF EGRESS

REFER 1ST FLOOR EGRESS DIAGRAM FOR CLARIFICATION. BUILDING IS EQUIPPED THROUGHOUT WITH AN NFPA 13 SPRINKLER SYSTEM.

ALL OCCUPIABLE SPACES CONNECT TO RATED CORRIDOR SYSTEM, WHERE ACCESSIBLE EXIT TO PUBLIC RIGHT OF WAY (PROW) HAVE BEEN PROVIDED DIRECTLY OR THROUGH RATED EXIT ENCLOSURE WHICH DISHARGES TO PROW. SEE SITE PLAN FOR CONTINUATION FROM BUILDING EXIT TO PROW

SECOND THROUGH TO FOURTH FLOORS

REFER 2ND - 4TH FLOOR EGRESS DIAGRAMS FOR CLARIFICATION.

BUILDING IS EQUIPPED THROUGHOUT WITH AN NFPA 13 SPRINKLER SYSTEM, EXEMPTING AREAS OF REFUGE FROM BEING REQUIRED IN RATED STAIR ENCLOSURES. A HORIZONTAL EXIT PROVIDED IN LIEU OF USING THE ELEVATOR AS AN ACCESSIBLE MEANS OF EGRESS. ALL OCCUPIABLE SPACES CONNECT TO RATED CORRIDOR SYSTEM, EXIT STAIR OR HORIZONTAL EXIT, WHERE EXIT TO PUBLIC RIGHT OF WAY IS PROVIDED ON THE FIRST FLOOR.

EMERGENCY WARNING SYSTEMS SHALL ACTIVATE A MEANS OF WARNING THE HEARING IMPAIRED. IN ACCORDANCE WITH NFPA 72 AS AMENDED IN CHAPTER 35. EMERGENCY WARNING SYSTEMS SHALL BE DESIGNED AND INSTALLED AS PART OF FIRE ALARM SYSTEM PER CBC 1009.12.

EGRESS PLAN LEGEND

PER CBC TABLE 1004.1.2

RESIDENTIAL -UNIT TYPE A 200 🔪 🗋

-FUNCTION OF SPACE -ROOM NAME OCCUPANT LOAD

OCCUPANT LOAD

-MIN. EGRESS WIDTH

OCCUPANT LOAD FACTOR

EGRESS STAIR 47" | WIDTH REQUIRED | 72" | WIDTH PROVIDED

REQ'D OCCUP. LOAD X 0.2 AT STAIRS PER CBC 1005.3 EXCEPTION 1 **EGRESS WIDTH** EGRESS COMPONENT PROVIDED MIN. EGRESS STAIR OCCUP. LOAD X WIDTH MUST BE 44"

0.15 AT ALL OTHER PER CBC 1009.1, MIN **COMPONENTS PER** WIDTH MUST BE 32" CBC 1005.3.2 **EXCEPTION 1**

EGRESS DOOR

PER CBC 1008.1.1

ACCESSIBLE PUBLIC **TOILET ROOM**

PATH OF TRAVEL

DISTANCE TO ELEVATOR

FIRE EXTINGUISHER 75 COVERAGE RADIUS

DRAWING TITLE PSH 1 - CODE **ANALYSIS EGRESS** DIAGRAM

PAUL M

OF CALIFOR

North Housing,

PSH PHASE 1

19009

Author

Checker

Approver

DESCRIPTION

500 MOSLEY AVENUE ALAMEDA, CA 94501

2 | 12/8/21 | SD SET

7 09/29/22 PERMIT SUBMITTAL

Block A

JOB NO.

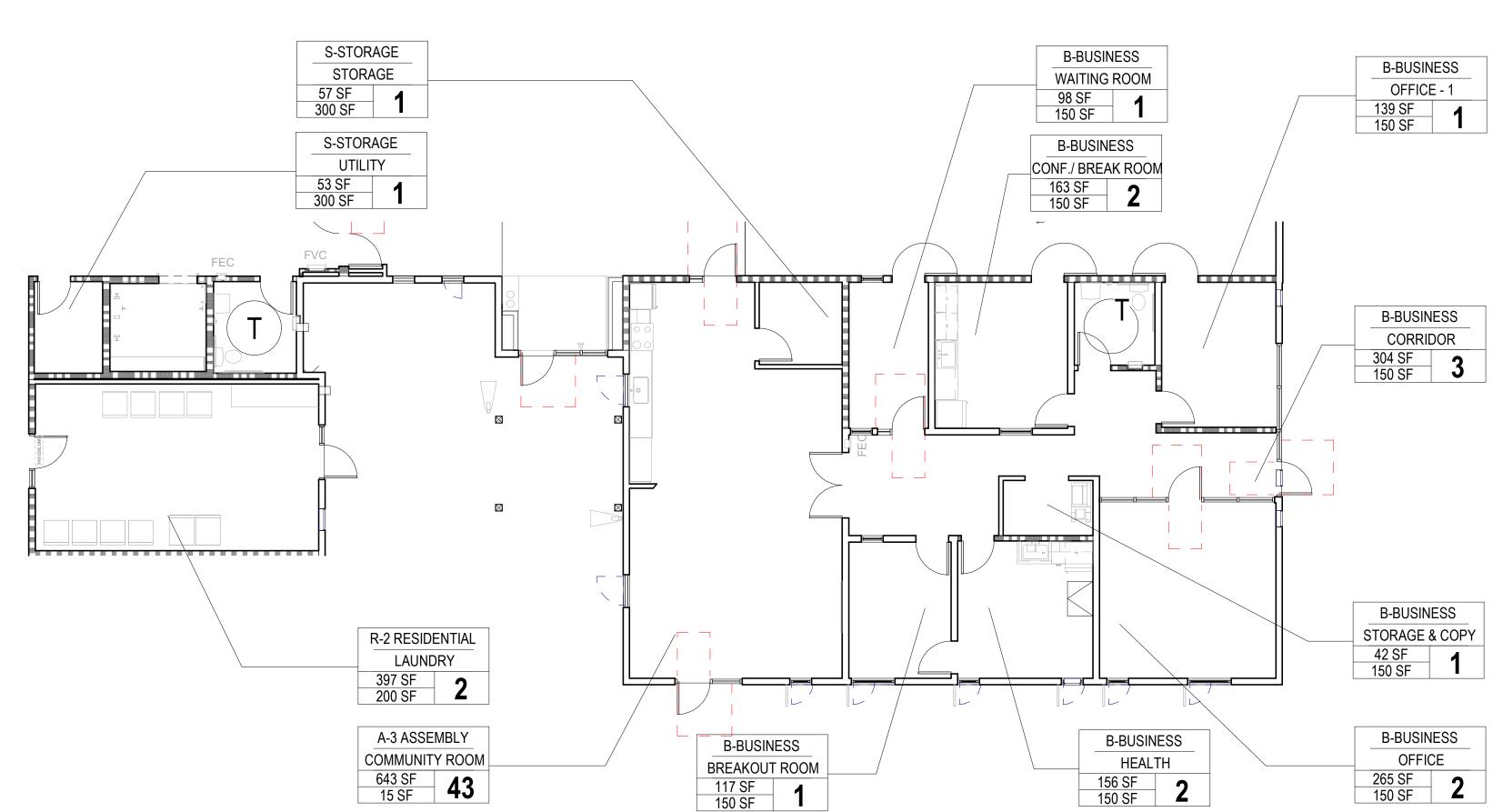
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ISSUE

CHECKED

JOB CAPTAIN

MCELWEE



PSH 1 - LEVEL 1 - ENLARGED EGRESS PLAN - LAUNDRY, ELEVATORS, COMMUNITY ROOM, AND SERVICE PROVIDER

OFFICES

48" WIDTH PROVIDED

R-2 RESIDENTIAL

UNIT TYPE SA

362 SF 200 SF **2**

R-2 RESIDENTIAL

574 SF 200 SF

UNIT TYPE 1A.1

SHEET NOTES- EGRESS PLANS

- 90-MINUTE FIRE-RATED HORIZONTAL EXIT FOR EXCEPTION TO ELEVATOR AS ACCESSIBLE MEANS OF EGRESS REQUIREMENT PER CBC 1009.2.1 EXCEPTION 1. DOORS ON ELECTRO-MAGNETIC HOLD OPEN (EMHO), WHICH RELEASE UPON ACTIVATION OF FIRE ALARM. DOORS TO REMAIN
- 2-HOUR CONTINUOUS FIRE-RATED FIRE BARRIER PER CBC 707. SEE PLANS FOR WALL ASSEMBLY INFORMATION.
- TWO-WAY COMMUNICATION: SYSTEM REQUIREMENTS, PER CBC 1009.8,

DIRECTIONS PER CBC 1009.8.2.

"REFUGE AREA" IS CALCULATED USING 3 SQ. FT. PER PERSON PER CBC 1026.4. THIRD FLOOR LOAD IS WORST CASE SCENARIO. SEE PLANS FOR CALCULATIONS.

VISIBLE COMMUNICATION METHOD, PER CBC 1009.8.1.1, AND

- INSTRUCTIONS ON THE USE OF AREA OF REFUGE SHALL BE POSTED PER CBC 1009.11. SEE 12/A10.40 FOR EMERGENCY EVAC SIGN. SEE SHEETS A10.42 & A10.43 FOR SIGNAGE PLANS
- "WORST CASE" COMMON PATH OF EGRESS TRAVEL, NOT TO EXCEED 125'-0" PER CBC 1006.2.1.
- DEAD END CORRIDOR MAX. DISTANCE 50' 0" PER CBC 1020.4 **EXCEPTION 2**
- FIRE DEPARTMENT CONNECTION (FDC)
- STANDPIPE PER CBC 905.4
- PATH OF TRAVEL DISTANCE FROM STANDPIPE TO HORIZONTAL EXIT PER CBC 905.4 ITEM 2
- EXIT ACCESS TRAVEL DISTANCE BETWEEN POINTS ALONG EXIT PATH. TRAVEL DISTANCE MUST NOT EXCEED 250' PER CBC TABLE 1017.2
- EXIT SEPARATION SHALL BE NOT LESS THAN 1/3 DIAGONAL DIMENSION OF AREA SERVED PER CBC 1007.1.1 EXCEPTION 2
- DISTANCE TO ELEVATOR PER CBC 11B-206.2.3.2 PROVIDED SHALL BE WITHIN 200' OF TRAVEL OF EACH NEW STAIR.
- EXTERIOR AREAS FOR ASSISTED RESCUE PER CBC 1009.7
- SEE LANDSCAPE DRAWINGS FOR FIXED PLANTERS DEFINING AREA

ACCESSIBLE MEANS OF EGRESS

REFER 1ST FLOOR EGRESS DIAGRAM FOR CLARIFICATION. BUILDING IS EQUIPPED THROUGHOUT WITH AN NFPA 13 SPRINKLER SYSTEM.

ALL OCCUPIABLE SPACES CONNECT TO RATED CORRIDOR SYSTEM, WHERE ACCESSIBLE EXIT TO PUBLIC RIGHT OF WAY (PROW) HAVE BEEN PROVIDED DIRECTLY OR THROUGH RATED EXIT ENCLOSURE WHICH DISHARGES TO PROW. SEE SITE PLAN FOR CONTINUATION FROM BUILDING EXIT TO PROW

SECOND THROUGH TO FOURTH FLOORS

REFER 2ND - 4TH FLOOR EGRESS DIAGRAMS FOR CLARIFICATION.

BUILDING IS EQUIPPED THROUGHOUT WITH AN NFPA 13 SPRINKLER SYSTEM, EXEMPTING AREAS OF REFUGE FROM BEING REQUIRED IN RATED STAIR ENCLOSURES. A HORIZONTAL EXIT PROVIDED IN LIEU OF USING THE ELEVATOR AS AN ACCESSIBLE MEANS OF EGRESS. ALL OCCUPIABLE SPACES CONNECT TO RATED CORRIDOR SYSTEM, EXIT STAIR OR HORIZONTAL EXIT, WHERE EXIT TO PUBLIC RIGHT OF WAY IS PROVIDED ON THE FIRST FLOOR.

EMERGENCY WARNING SYSTEMS SHALL ACTIVATE A MEANS OF WARNING THE HEARING IMPAIRED. IN ACCORDANCE WITH NFPA 72 AS AMENDED IN CHAPTER 35, EMERGENCY WARNING SYSTEMS SHALL BE DESIGNED AND INSTALLED AS PART OF FIRE ALARM SYSTEM PER CBC 1009.12.

DISTANCE TO ELEVATOR

FIRE EXTINGUISHER 75'

COVERAGE RADIUS

EGRESS PLAN LEGEND

PER CRC TABLE 1004 1 2

PER CBC TABLE 1004.1.2	
RESIDENTIAL — UNIT TYPE A — 400 SF 200 2 —	FUNCTION OF SPACE ROOM NAME OCCUPANT LOAD
	—AREA
	OCCUPANT LOAD FACTO
	OCCUPANT LOAD
O EGRESS STAIR 47" WIDTH REQUIRED 72" WIDTH PROVIDED EGRESS WIDTH PROVIDED MIN. EGRESS STAIR WIDTH MUST BE 44" PER CBC 1009.1, MIN EGRESS DOOR WIDTH MUST BE 32" PER CBC 1008.1.1	MIN. EGRESS WIDTH REQ'D OCCUP. LOAD X 0 AT STAIRS PER CBC 1005.3 EXCEPTION 1. EGRESS COMPONENT OCCUP. LOAD X 0.15 AT ALL OTHER EGRESS COMPONENTS PER CBC 1005.3.2 EXCEPTION 1.
	PATH OF TRAVEL
Т	ACCESSIBLE PUBLIC TOILET ROOM
***************************************	FIRE BARRIER

North Housing, Block A

GED ARCA

PAUL M

* P. I Ker

OF CALIFOR

MCELWEE

PSH PHASE 1

500 MOSLEY AVENUE ALAMEDA, CA 94501

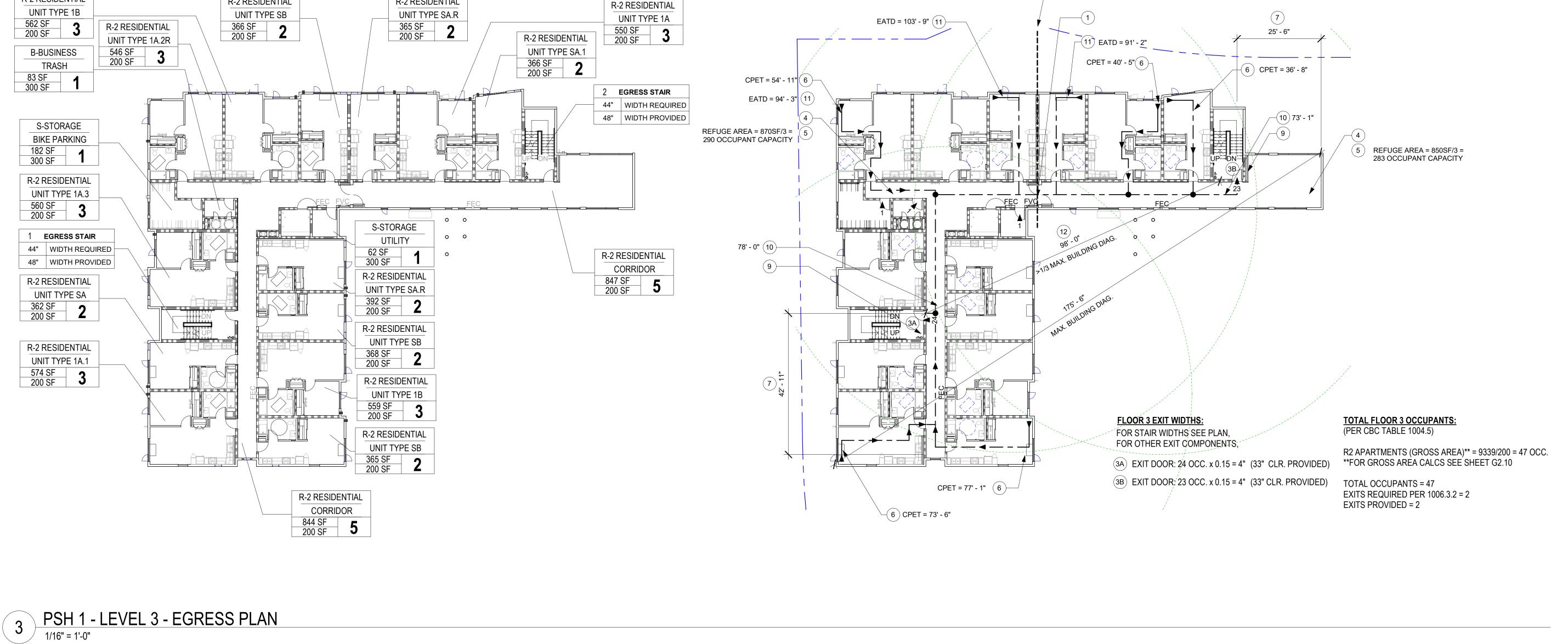
JOB NO. **DRAWN Author** CHECKED Checker

Approver

JOB CAPTAIN **ISSUE**

$\sqrt{}$	DATE	DESCRIPTION
7	09/29/22	PERMIT SUBMITTA

DRAWING TITLE PSH 1 - CODE **ANALYSIS EGRESS** DIAGRAM



1 PSH 1 - LEVEL 4 - EGRESS PLAN
1/16" = 1'-0"

SHEET NOTES- EGRESS PLANS

- 90-MINUTE FIRE-RATED HORIZONTAL EXIT FOR EXCEPTION TO ELEVATOR AS ACCESSIBLE MEANS OF EGRESS REQUIREMENT PER CBC 1009.2.1 EXCEPTION 1. DOORS ON ELECTRO-MAGNETIC HOLD OPEN (EMHO), WHICH RELEASE UPON ACTIVATION OF FIRE ALARM. DOORS TO REMAIN LINE OCKED.
- 2-HOUR CONTINUOUS FIRE-RATED FIRE BARRIER PER CBC 707. SEE PLANS FOR WALL ASSEMBLY INFORMATION.
- TWO-WAY COMMUNICATION:
 SYSTEM REQUIREMENTS, PER CBC 1009.8,
 VISIBLE COMMUNICATION METHOD, PER CBC 1009.8.1.1, AND

DIRECTIONS PER CBC 1009.8.2.

- "REFUGE AREA" IS CALCULATED USING 3 SQ. FT. PER PERSON PER CBC 1026.4. THIRD FLOOR LOAD IS WORST CASE SCENARIO. SEE PLANS FOR CALCULATIONS.
- INSTRUCTIONS ON THE USE OF AREA OF REFUGE SHALL BE POSTED PER CBC 1009.11. SEE 12/A10.40 FOR EMERGENCY EVAC SIGN. SEE SHEETS A10.42 & A10.43 FOR SIGNAGE PLANS
- (6) "WORST CASE" COMMON PATH OF EGRESS TRAVEL, NOT TO EXCEED 125'-0" PER CBC 1006.2.1.
- DEAD END CORRIDOR MAX. DISTANCE 50' 0" PER CBC 1020.4 EXCEPTION 2
- 8 FIRE DEPARTMENT CONNECTION (FDC)
- 9 STANDPIPE PER CBC 905.4
- PATH OF TRAVEL DISTANCE FROM STANDPIPE TO HORIZONTAL EXIT PER CBC 905.4 ITEM 2
- EXIT ACCESS TRAVEL DISTANCE BETWEEN POINTS ALONG EXIT PATH. TRAVEL DISTANCE MUST NOT EXCEED 250' PER CBC TABLE 1017.2
- EXIT SEPARATION SHALL BE NOT LESS THAN 1/3 DIAGONAL DIMENSION OF AREA SERVED PER CBC 1007.1.1 EXCEPTION 2
- DISTANCE TO ELEVATOR PER CBC 11B-206.2.3.2 PROVIDED SHALL BE WITHIN 200' OF TRAVEL OF EACH NEW STAIR.
- (14) EXTERIOR AREAS FOR ASSISTED RESCUE PER CBC 1009.7
- SEE LANDSCAPE DRAWINGS FOR FIXED PLANTERS DEFINING AREA

ACCESSIBLE MEANS OF EGRESS

<u>FIRST FLOOR</u> REFER 1ST FI

TOTAL OCCUPANTS = 47

EXITS PROVIDED = 2

EXITS REQUIRED PER 1006.3.2 = 2

(4B) EXIT DOOR: 23 OCC. x 0.15 = 4" (33" CLR. PROVIDED)

REFER 1ST FLOOR EGRESS DIAGRAM FOR CLARIFICATION.
BUILDING IS EQUIPPED THROUGHOUT WITH AN NFPA 13 SPRINKLER SYSTEM.

ALL OCCUPIABLE SPACES CONNECT TO RATED CORRIDOR SYSTEM, WHERE ACCESSIBLE EXIT TO PUBLIC RIGHT OF WAY (PROW) HAVE BEEN PROVIDED DIRECTLY OR THROUGH RATED EXIT ENCLOSURE WHICH DISHARGES TO PROW. SEE SITE PLAN FOR CONTINUATION FROM BUILDING EXIT TO PROW

SECOND THROUGH TO FOURTH FLOORS

REFER 2ND - 4TH FLOOR EGRESS DIAGRAMS FOR CLARIFICATION.

BUILDING IS EQUIPPED THROUGHOUT WITH AN NFPA 13 SPRINKLER SYSTEM, EXEMPTING AREAS OF REFUGE FROM BEING REQUIRED IN RATED STAIR ENCLOSURES. A HORIZONTAL EXIT PROVIDED IN LIEU OF USING THE ELEVATOR AS AN ACCESSIBLE MEANS OF EGRESS. ALL OCCUPIABLE SPACES CONNECT TO RATED CORRIDOR SYSTEM, EXIT STAIR OR HORIZONTAL EXIT, WHERE EXIT TO PUBLIC RIGHT OF WAY IS PROVIDED ON THE FIRST FLOOR.

EMERGENCY WARNING SYSTEMS SHALL ACTIVATE A MEANS OF WARNING THE HEARING IMPAIRED. IN ACCORDANCE WITH NFPA 72 AS AMENDED IN CHAPTER 35, EMERGENCY WARNING SYSTEMS SHALL BE DESIGNED AND INSTALLED AS PART OF FIRE ALARM SYSTEM PER CBC 1009.12.

EGRESS PLAN LEGEND

PER CBC TABLE 1004.1.2

PER CBC TABLE 1004.1.2	
RESIDENTIAL - UNIT TYPE A - 400 SF 200 \ 2	FUNCTION OF SPACEROOM NAMEOCCUPANT LOAD
200	—AREA
	OCCUPANT LOAD FACTOR
	OOOOI ANT LOAD I AOTON
	OCCUPANT LOAD
0 EGRESS STAIR 47" WIDTH REQUIRED 72" WIDTH PROVIDED	MIN. EGRESS WIDTH REQ'D OCCUP. LOAD X 0.2
72 WIDTH PROVIDED	AT STAIRS PER CBC 1005.3 EXCEPTION 1.
EGRESS WIDTH PROVIDED	EGRESS COMPONENT
MIN. EGRESS STAIR WIDTH MUST BE 44" PER CBC 1009.1, MIN EGRESS DOOR WIDTH MUST BE 32" PER CBC 1008.1.1	OCCUP. LOAD X 0.15 AT ALL OTHER EGRESS COMPONENTS PER CBC 1005.3.2 EXCEPTION 1.
→ - → - →	PATH OF TRAVEL
Т	ACCESSIBLE PUBLIC TOILET ROOM
•=======	FIRE BARRIER
	DISTANCE TO ELEVATOR
	FIRE EXTINGUISHER 75' COVERAGE RADIUS

North Housing, Block A

PAUL M

1 × P3.1 × CC-

C-28734 CF CALIFORN

MCELWEE

PSH PHASE 1

500 MOSLEY AVENUE

ALAMEDA, CA 94501

JOB NO. 19009

DRAWN Author

CHECKED Checker

JOB CAPTAIN ISSUE

DATE DESCRIPTION
7 09/29/22 PERMIT SUBMITTAL

Approver

PSH 1 - CODE ANALYSIS EGRESS DIAGRAM

SCALE As indicated

G3.12

DESCRIPTION

DRAWING TITLE PSH 1 - GPR SCORECARD

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MULTIFAMILY Certification Level Targeted: The GreenPoint Rated checklist tracks green features incorporated into the home. GreenPoint Rated is administered by Build It Green, a non-profit whose mission is to promote healthy, energy and resource efficient buildings. Compliance Pathway Targeted: Option 2: All Electric C The minimum requirements of GreenPoint Rated are: verification of 50 or more points; Earn the following minimum points per category: Commuity (2) Energy (25), Indoor Air Quality/Health (6), Resources (6), and Water (6); and meet the prerequisites T24 Compliance Targeted: depending on State. For California: CALGreen Mandatory, E5.2, H6.1, J5.1, J6, O1, O7. Outside California: ICC 700 Mandatory Measures, E5.2, H6.1, J5.1, O1, O7. ■ Points Targeted The criteria for the green building practices listed below are described in the GreenPoint Rated New Home Rating Manual v8.2. For more information please visit www.builditgreen.org/greenpointrated Build It Green is not a code enforcement agency. A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater and submitted through Build It New Home Multifamily Version 8.2 ameda North Housing Block A, PSH 1 Yes CALGreen (REQUIRED) No A1. Construction Footprint A2. Job Site Construction Waste Diversion A2.1 70% C&D Waste Diversion (Including Alternative Daily Cover) A2.2 Recycling Rates from Third-Party Verified Mixed-Use Waste Facility A3. Recycled Content Base Material A4. Heat Island Effect Reduction (Non-Roof) TBD A5. Construction Environmental Quality Management Plan Including Flush-Out A6. Stormwater Control: Prescriptive Path A6.1 Permeable Paving Material A6.2 Filtration and/or Bio-Retention Features A6.3 Non-Leaching Roofing Materials A6.4 Smart Stormwater Street Design
A7. Stormwater Control: Performance Path B1. Fly Ash and/or Slag in Concrete B2. Radon-Resistant Construction (Required for EPA Radon Zone 1) B3. Foundation Drainage System No B4. Moisture Controlled Crawlspace **B5. Structural Pest Controls** B5.1 Termite Shields and Separated Exterior Wood-to-Concrete Connections B5.2 Plant Trunks, Bases, or Stems at Least 36 Inches from the Foundation

Draft GreenPoint Rated New Home Multi Family Version 6.0

1 1

lameda North Housing Block A, PSH 1 Enter the landscape area percentage. Points capped at 3 for less than 15%. C1. Plants Grouped by Water Needs (Hydrozoning) C2. Three Inches of Mulch in Planting Beds C3. Resource Efficient Landscapes C3.1 No Invasive Species According to Cal-IPC C3.2 Plants Chosen and Located to Grow to Natural Size C3.3 Drought Tolerant, Native, Mediterranean Species, or Other Appropriate Species C4. Minimal Turf in Landscape C4.1 No Turf on Slopes Exceeding 10% and No Overhead Sprinklers Installed in Areas Less Than Eight Feet Wide C4.2 Turf on a Small Percentage of Landscaped Area C5. Trees to Moderate Building Temperature C6. High-Efficiency Irrigation System C6.1 System Uses Only Low-Flow Drip, Bubblers or Sprinklers C7. One Inch of Compost in the Top Six to Twelve Inches of Soil C8. Rainwater Harvesting System
C9. Recycled Wastewater Irrigation System C10. Submeter or Dedicated Meter for Landscape Irrigation ≤0.5 Eto C11. Landscape Meets Water Budget C12. Environmentally Preferable Materials for Site C12.1 Environmentally Preferable Materials for 70% of Non-Plant Landscape Elements and Fencing C12.2 Play Structures and Surfaces Have an Average Recycled Content ≥20% C13. Reduced Light Pollution C14. Large Stature Tree(s)
C15. Third Party Landscape Program Certification C16. Maintenance Contract with Certified Professional C17. Community Garden D. STRUCTURAL FRAME AND BUILDING ENVELOPE D1. Optimal Value Engineering
D1.1 Joists, Rafters, and Studs at 24 Inches on Center D1.2 Non-Load Bearing Door and Window Headers Sized for Load D1.3 Advanced Framing Measures D2. Construction Material Efficiencies __ D3. Engineered Lumber D3.1 Engineered Beams and Headers
D3.2 OSB for Subfloor D3.3 OSB for Wall and Roof Sheathing No D4. Insulated Headers
D5. FSC-Certified Wood
D5.1 Dimensional Lumber, Studs, and Timber

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ameda North Housing Block A, PSH 1 TBD J1. Third-Party Verification of Quality of Insulation Installation J2. Supply and Return Air Flow Testing J3. Mechanical Ventilation Testing and Low Leakage J4. All Electric or Combustion Appliance Safety Testing J5. Building Energy Performance Option 2: All Electric J5.1 Home Outperforms Title 24 J5.2 Non-Residential Spaces Outperform Title 24 J6. Title 24 Prepared and Signed by a CABEC Certified Energy Analyst J7. Participation in Utility Program with Third-Party Plan Review J8. ENERGY STAR® for Homes J9. EPA Indoor airPlus Certification
J10. Blower Door Testing J11. Compartmentalization of Units _ K1. Entryways Designed to Reduce Tracked-In Contaminants K1.2 Entryways to Buildiings K2. Low-VOC Interior Wall and Ceiling Paints K2.1 Zero-VOC Interior Wall and Ceiling Paints (< 5 gpl) K3. Low-VOC Caulks and Adhesives __K4. Environmentally Preferable Materials for Interior Finish K4.1 Cabinets 2 ≥50% K4.2 Interior Trim 2 ≥50% K4.3 Shelving 2 ≥50% 2 K4.4 Doors 1 K4.5 Countertops K5. Formaldehyde Emissions in Interior Finish Exceed CARB K5.1 Doors 2 K5.2 Cabinets and Countertops 2 K5.3 Interior Trim and Shelving K6. Products That Comply With the Health Product Declaration Open Standard 2 2 1 2 1 1 No K7. Indoor Air Formaldehyde Level Less Than 27 Parts Per Billion K8. Comprehensive Inclusion of Low Emitting Finishes
K9. Durable Cabinets K10. At Least 25% of Interior Furniture Has Environmentally Preferable Attributes L1. Environmentally Preferable Flooring

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lameda North Housing Block A, PSH 1 O5. Home System Monitors
O5.1. Home Energy Monitoring Systems
O5.2. Home Water System Monitors O6. Green Building Education O6.1 Marketing Green Building O6.2 Green Building Signage O7. Green Appraisal Addendum O8. Detailed Durability Plan and Third-Party Verification of Plan Implementation O9. Residents Are Offered Free or Discounted Transit Passes O10. Vandalism Deterrence Practices and Vandalism Management Plan O11. Smokefree Housing O12. Integrated Pest Management Plan P1. Acoustics: Noise and Vibration Control Enter the number of Tier 1 practices Enter the number of Tier 2 practices P2. Mixed-Use Design Strategies P2.1 Tenant Improvement Requirements for Build-Outs P2.2 Commercial Loading Area Separated for Residential Area P2.3 Separate Mechanical and Plumbing Systems P3.1 Design Phase P3.2 Construction Phase P4. Building Enclosure Testing TBD _____ Enter Innovation 1 description here. Enter up to four points at right. Enter Innovation 2 description here. Enter up to four points at right. Enter Innovation 3 description here. Enter up to four points at right. Enter Innovation 4 description here. Enter up to four points at right.
 Total Available Points in Specific Categories
 405
 47
 136
 73
 91
 58

 Minimum Points Required in Specific Categories
 50
 2
 25
 6
 6
 6

 Total Points Targeted
 196.3
 18.0
 95.3
 27.0
 31.0
 25.0

Draft GreenPoint Rated New Home Multi Family Version 6.0

H6. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality H6.1 Meet ASHRAE Standard 62.2-2016 Ventilation Residential Standards H6.2 Advanced Ventilation Standards H6.3 Outdoor Air is Filtered and Tempered H7. Effective Range Design and Installation H7.1 Effective Range Hood Ducting and Design H7.2 Automatic Range Hood Control H8. High Efficiency HVAC Filter (MERV 16+) No H9. Advanced Refrigerants 0.0% I1. Onsite Renewable Generation (Solar PV, Solar Thermal, and Wind)

12. Net Zero Energy Home I2.1 Near Zero Energy Home 12.2 Low Carbon Home No 13. Energy Storage
No 14. Solar Hot Water Systems to Preheat Domestic Hot Water ≥60% of common area | I5. Photovoltaic System for Multifamily Projects J. BUILDING PERFORMANCE AND TESTING Draft GreenPoint Rated New Home Multi Family Version 6.0

Yes O1. GreenPoint Rated Checklist in Blueprints

Yes O2. Pre-Construction Kickoff Meeting with Rater and Subcontractors TBD O3. Orientation and Training to Occupants—Conduct Educational Walkthroughs

O4. Builder's or Developer's Management Staff are Certified Green Building

ameda North Housing Block A, PSH 1

G2.4 Urinals with Flush Rate of ≤ 0.1 gpf
G3. Pre-Plumbing for Graywater System

No G5. Thermostatic Shower Valve or Auto-Diversion Tub Spout No G6. Submeter Water for Tenants

G4. Operational Graywater System

H1. Sealed Combustion Units

H3. Effective Ductwork

Yes H3.1 Duct Mastic on Duct Joints and Seams H3.2 Pressure Balance the Ductwork System

H1.1 Sealed Combustion Furnace

H4. ENERGY STAR® Bathroom Fans

H5. Advanced Practices for Cooling

H1.2 Sealed Combustion Water Heater

H2. High Performing Zoned Hydronic Radiant Heating System

H4.1 ENERGY STAR® Bathroom Fans Per HVI Standards

No H5.2 Operable Windows and Skylights Located to Induce Cross Ventilation in At

H5.1 ENERGY STAR® Ceiling Fans in Living Areas and Bedrooms

H. HEATING, VENTILATION, AND AIR CONDITIONING

G2.1 WaterSense Bathroom Facuets ≤ 1.0 gpm

Less Than 500 Grams ≤ 1.28 gpf OR ≤ 1.1 gpf

G2.1 WaterSense Showerheads ≤ 1.8 gpm with Matching Compensation Valve

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lameda North Housing Block A, PSH 1 Enter the number of Tier 2 services N3.2 Connection to Pedestrian Pathways N3.3 Traffic Calming Strategies N3.4 Sidewalks Buffered from Roadways and 5-8 Feet Wide N3.5 Bicycle Storage for Residents N3.6 Bicycle Storage for Non-Residents 1 space per unit N3.7 Reduced Parking Capacity N4. Outdoor Gathering Places N4.1 Public or Semi-Public Outdoor Gathering Places for Residents N4.2 Public Outdoor Gathering Places with Direct Access to Tier 1 Community N5. Social Interaction N5.1 Residence Entries with Views to Callers NS.2 Entrances Visible from Street and/or Other Front Doors NS.3 Porches Oriented to Street and Public Space N6. Passive Solar Design N6.1 Heating Load N6.2 Cooling Load N7. Adaptable Building N7.1 Universal Design Principles in Units N7.2 Full-Function Independent Rental Unit N8. Resiliency N8.1 Climate Impact Assessment N8.2 Strategies to Address Assessment Findings N9. Social Equity N9.1 Diverse Workforce N9.2 Community Location N10.1 Dedicated Units for Households Making 80% of AMI or Less N10.2 Units with Multiple Bedrooms for Households Making 80% of AMI or Less N10.3 At Least 20% of Units at 120% AMI or Less are For Sale N11. Mixed-Use Developments
N11.1 Live/Work Units Include a Dedicated Commercial Entrance N11.2 At Least 2% of Development Floor Space Supports Mixed Use N11.3 Half of the Non-Residential Floor Space is Dedicated to Community Service

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Y R R R R

lameda North Housing Block A, PSH 1

D6.1 At Least 90% of Floors
D6.2 At Least 90% of Exterior Walls

D10. Structural Pest and Rot Controls

Materials Other Than Wood

Utility Rooms, and Basements)

E2. Flashing Installation Third-Party Verified

E5.2 Roofing Warranty for Shingle Roofing

E4. Durable and Non-Combustible Cladding Materials

F3. Insulation That Does Not Contain Fire Retardants

E5.1 Durable and Fire Resistant Roofing Materials or Assembly

F1. Insulation with 30% Post-Consumer or 60% Post-Industrial Recycled Content

F2. Insulation that Meets the CDPH Standard Method—Residential for Low Emissions

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2 2

E1. Environmentally Preferable Decking

E3. Rain Screen Wall System

E6. Vegetated Roof

F1.2 Ceilings

F2.2 Ceilings

F3.2 Ceilings

F1.1 Walls and Floors

F2.1 Walls and Floors

F3.1 Cavity Walls and Floors

F3.3 Interior and Exterior Insulation

G1.1 Insulated Hot Water Pipes

G2. Install Water-Efficient Fixtures

lameda North Housing Block A, PSH 1

M2. Efficient Clothes Washing and Drying

M3. Size-Efficient ENERGY STAR® Refrigerator

M4. Permanent Centers for Waste Reduction Strategies

M6. Electric Vehicle Charging Stations and Infrastructure

M5.2 Lighting System Designed to IESNA Footcandle Standards or Designed

N3.1 Pedestrian Access to Services Within 1/2 Mile of Community Services

M2.1. CEE-Rated Clothes Washer

M2.2 ENERGY STAR® Dryer

M2.3 Solar Dryer/ Laundry Lines

M4.1 Built-In Recycling Center

M4.2 Built-In Composting Center

M5.1 High-Efficacy Lighting

by Lighting Consultant

N1.2 Designated Brownfield Site

N1.5 Home Size Efficiency

N1.3 Conserve Resources by Increasing Density

Enter the area of the home, in square feet

N1.4 Cluster Homes for Land Preservation

Enter the number of bedrooms

N2.1 Within 1 Mile of a Major Transit Stop

N3. Pedestrian and Bicycle Access

N2. Home(s)/Development Located Near Transit

Enter the number of Tier 1 services

M5. Lighting Efficiency

M7. Central Laundry

M8. Gearless Elevator

__ N1. Smart Development

Yes ____ N2.2. Within 1/2 mile of a Major Transit Stop

N1.1 Infill Site

Yes L3. Durable Flooring
No L4. Thermal Mass Flooring

TBD M1. ENERGY STAR® Dishwasher

APPLIANCES AND LIGHTING

N. COMMUNITY

G1. Efficient Distribution of Domestic Hot Water

31.2 WaterSense Volume Limit for Hot Water Distribution

G1.3 Increased Efficiency in Hot Water Distribution

E5. Durable Roofing Materials

___ D9. Reduced Pollution Entering the Home from the Garage

D10.1 All Wood Located At Least 12 Inches Above the Soil

D10.2 Wood Framing Treated With Borates or Factory-Impregnated, or Wall

D11. Moisture-Resistant Materials in Wet Areas (such as Kitchen, Bathrooms,

D6.3 At Least 90% of Roofs

D7. Energy Heels on Roof Trusses

D8. Overhangs and Gutters

Yes D9.1 Detached Garage
No D9.2 Mitigation Strategies for Attached Garage

No D5.2 Panel Products
D6. Solid Wall Systems

Yes

Yes

E. EXTERIOR

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L2. Low-Emitting Flooring Meets CDPH 2010 Standard Method—Residential Draft GreenPoint Rated New Home Multi Family Version 6.0

1 1

Mosley Ave and Lakehurst Circle Alameda 94501 Calculation Date/Time: 14:24, Mon, May 16, 2022 Project Address: Input File Name: PSH Building 5-12-22.cibd19x C3. ENERGY USE SUMMARY Standard Design Site Proposed Design Site Margin Standard Design Site Proposed Design Site **Energy Component** (MWh) (MWh) Space Heating -28.2 172.2 11.8 Space Cooling 7.2 4.6 11.8 25.2 -13.4 Indoor Fans Heat Rejection Pumps & Misc. 0.0 911.6 Domestic Hot Water 1.8 62.6 -60.8 911.6 12.5 12.5 0.0 Indoor Lighting Compliance Total 37.9 135.7 -97.8 1,083.8 0.0 1083.8 143.9 143.9 0.0 0.5 Receptacle Process 93.8 93.8 0.0 116.6 116.6 0.0 Other Ltg 49.5 49.5 **Process Motors** 0.5 TOTAL 423.4 -97.8 1,200.9 117.1

NRCC-PRF-01-E

D. EXCEPTIONAL CONDITIONS

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32.35 (27.2%)

32.4 (10.5%)

Compliance Margin (TDV)¹

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Slab Type = UnheatedSlabOnGrade

Insulation Orientation = None

Insulation R-Value = R0

Single Ply Roofing - 1/4 in.

Gypsum Board - 1/2 in.

Vapor permeable felt - 1/8 in.

Plvwood - 5/8 in.

Vood framed roof, 16in. OC, 11.25in.

Gypsum Board - 5/8 in.

Gypsum Board - 5/8 in.

Plywood - 1/2 in.

Wood framed wall, 16in. OC, 3.5in.

Gypsum Board - 5/8 in.

Linoleum/cork tile - 1/4 in. Gypsum Board - 5/8 in.

Gypsum Board - 5/8 in.

Plywood - 3/4 in.

Nood framed floor, 16in. OC, 7.25in.,

Gypsum Board - 5/8 in. Gypsum Board - 5/8 in.

3

Status¹

Ν

Extruded Polystyrene - XPS - 2 in

The aged solar reflectance and aged thermal emittance must be listed in the Cool Roof Rating Council database of certified products. For projects where initial reflectance is used, the initial reflectance must be listed, and the aged reflectance is calculated by the software program and used in the compliance model.

This project uses the Simplified Geometry Performance Modeling Approach which is not capable of modeling daylighting controls and assumes the prescriptive Secondary Daylit Control requirements are met. PRESCRIPTIVE COMPLIANCE documentation (form NRCC-LTI-02-E) for the requirements of section 140.6(d) Automatic Daylighting Controls in Secondary Daylit Zones is

E. HERS VERIFICATION

The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below.

Residential ventilation airflow

Windows

Building-level Verifications:

Project Address:

Residential kitchen hood rated by HVI

Mosley Ave and Lakehurst Circle Alameda 94501

FixedWindow

N/A

VerticalFenestration

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance

Report Version: NRCC-PRF-01-E-12092021-6844 Report Generated at: 2022-05-16 14:29:05

0.36

0.25

0.50 N

PSH Building 5-12-22.cibd19x Input File Name: G5. FENESTRATION ASSEMBLY SUMMARY Fenestration Assembly Name / Tag | Fenestration Type / Product Type / | U-factor | SHGC | VT | 등 or I.D. Frame Type VerticalFenestration 0.41 0.26 0.50 NFRC Rated Storefront -1 CurtainWall Manufactured VerticalFenestration

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Manufactured

0.45 0.23 0.50 N NFRC Rated 139 Glass Door Manufactured GlazedDoor 1 Newly installed fenestration shall have a certified NFRC Label Certificate or use the CEC default tables found in Table 110.6-A and Table 110.6-B. Center of Glass (COG) values are for the glass-only, determined by the manufacturer, and are shown for ease

NFRC Rated

² Status: N - New, A – Altered, E – Existing

1	2	3	4	5	6	7	8	9	10	11	12
				Heatin	g			Cooling			
Equipment Name	Equipment Type	Qty	Total Heating Output (kBtu/h)	Supp Heat Output (kBtuh)	Efficiency Unit	Efficiency	Total Cooling Output (kBtu/h)	Efficiency Unit	Efficiency	Economizer Type (if present)	Status ¹
HP1-5	SZHP (Split1Phase)	1	54	0	HSPF	8.200	48	SEER/EER	14.000/8.300	NoEconomizer	N
HP1-3	SZHP (Split3Phase)	1	20	0	HSPF	8.20	18	SEER/EER	14.00/12.20	NoEconomizer	N
HP1-4	SZHP (Split1Phase)	1	35	0	HSPF	8.200	29	SEER/EER	16.000/10.500	NoEconomizer	N
HP1-6	SZHP (Split1Phase)	1	42	0	HSPF	8.200	35	SEER/EER	14.000/8.600	NoEconomizer	N
HP1-7	SZHP (Split3Phase)	1	20	0	HSPF	8.20	18	SEER/EER	16.70/13.00	NoEconomizer	N
HP1-8	SZHP (Split3Phase)	1	20	0	HSPF	8.20	18	SEER/EER	16.70/13.00	NoEconomizer	N
HP1-9	SZHP (Split3Phase)	1	20	0	HSPF	8.20	18	SEER/EER	16.70/13.00	NoEconomizer	N
HP1-10	SZHP (Split3Phase)	1	20	0	HSPF	8.20	18	SEER/EER	16.70/13.00	NoEconomizer	N

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-12092021-6844

PSH Building

PSH Building 5-12-22.cibd19x

Mosley Ave and Lakehurst Circle Alameda 94501

Project Address:

Input File Name:

H2. FAN SYSTEMS SUMMARY

Name or Item Tag | Qty

RHP-1 1st Floor 1

Bed PSH

RHP-3 2nd/3rd

2nd/3rd Floor

RHP-1 1Bed 4th

RHP-3 4th Floor 6

Floor PSH1

RHP-2 2Bed 4th

Floor PSH1

RHP-1 1st Floor

1Bed PSH2

RHP-3 1st Floor

PSH2

RHP-3 2nd Floor

Floor PSH2

RHP-1 1Bed 3rd

RHP-3 3rd Floor

PSH2

RHP-1 1Bed 4th

RHP-3 4th Floor

PSH2

Floor PSH2

RHP-1 1Bed 2nd | 5

Control

ConstantVolume

ConstantVolume

ConstantVolume

ConstantVolume

ConstantVolume

ConstantVolume

ConstantVolume

ConstantVolume

bhp ConstantVolume NA

ConstantVolume

ConstantVolume

ConstantVolume

ConstantVolume NA

ConstantVolume NA

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CFM | Modeling Method |

NA

8 9 10 11 12 13 14

Return Fan

Power

NA

NA

NA ı

NA I NA

NA NA

Report Generated at: 2022-05-16 14:29:05

Power

NA

NA

NA

NA

NA

NA

DATE DESCRIPTION 2 | 12/8/21 | SD SET

7 09/29/22 PERMIT SUBMITTAL

North Housing,

PSH PHASE 1

500 MOSLEY AVENUE

ALAMEDA, CA 94501

JOB NO.

DRAWN

ISSUE

CHECKED

JOB CAPTAIN

Block A

DRAWING TITLE PSH 1 - TITLE 24

REPORT

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A. GENERAL INFORMATION 1 Project Location (city) 8 Standards Version **2** CA Zip Code **9** Compliance Software (version) EnergyPro 8.3 **3** Climate Zone **10** Weather File OAKLAND 724930 CZ2010.epw 4 Total Conditioned Floor Area in Scope 11 Building Orientation (deg) 12 Permitted Scope of Work 5 Total Unconditioned Floor Area NewComplete 6 Total # of Stories (Habitable Above Grade) 13 Building Type(s) High-Rise Residential 7 Total # of dwelling units

Table Instructions: Table B shows which building components are included in the performance calculation. If indicated as not included, the project must show compliance prescriptively if within permit application. Building Components Complying via Performance Building Components Complying Prescriptively ☐ Performance The following building components are ONLY eligible for prescriptive overed Process: Commercial ompliance and should be documented on the NRCC form listed if within Envelope (see Table G) ☐ Not Included on the NRCC-PRF-E). Performance Indoor Lighting (Unconditioned)§140.6 | NRCC-LTI-E Mechanical (see Table H) Not Included NRCC-LTO-E Not Included Outdoor Lighting §140.7 Performance Sign Lighting §140.8 Domestic Hot Water (see Table I) Not Included lectrical power systems, commissioning, solar ready, elevator and scalator requirements are mandatory and should on the NRCC form Lighting (Indoor Conditioned, see listed if applicable (i.e. compliance will not be shown on the NRCC-PRF-E.) Electrical Power Distribution S110.11 NRCC-ELC-E l Not Included ommissioning S120.8 NRCC-CXR-E Solar Thermal Water Heating (see

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Solar Ready S110.10

Report Generated at: 2022-05-16 14:29:05

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CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance

G1. ENVELOPE GENERAL INFORMATION (conditioned spaces only) Window to Wall Ratio (%) Opaque Surfaces & Orientation Total Gross Surface Area (ft²) Total Fenestration Area (ft²) North-Facing¹ 8,435 ft² 2,297 ft² 7,160 ft² 1,642 ft² 22.9% East-Facing² 5,217 ft² South-Facing³ 10.7% West-Facing⁴ 7,315 ft² 1,501 ft² 28,127 ft² 5,996 ft² 21.3% 13,732 ft² 00.0%

¹ North-Facing is oriented to within 45 degrees of true north, including 45°00'00" east of north (NE), but excluding 45°00'00" west of north (NW). ² East-Facing is oriented to within 45 degrees of true east, including 45°00'00" south of east (SE), but excluding 45°00'00" north of east (NE). ³ South-Facing is oriented to within 45 degrees of true south, including 45°00'00" west of south (SW), but excluding 45°00'00" east of south (SE). ⁴ West-Facing is oriented to within 45 degrees of true west, including 45°00'00" north of due west (NW), but excluding 45°00'00" south of west (SW).

G2. CRRC ROOFING PRODUCT SUMMARY 1 3 5 Assembly Name Aged Solar Reflectance Thermal Emittance SRI R-30+R1017 0.63 0.75 Not Provided Low-Slope

•	2	3	4	5	6	7	8	9
Surface Name	Surface Type	Area (ft²)	Framing Type	Cavity R-Value	Continuous R-Value	Units	Value	Description of Assembly Layers
R-21+R5 Wall8	ExteriorWall	38867	Wood	21	5	U-Factor	0.048	Stucco - 7/8 in. Vapor permeable felt - 1/8 in. Extruded Polystyrene - XPS - 1 in. R5.00 Wood framed wall, 16in. OC, 5.5in., R-21 Gypsum Board - 5/8 in.

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-12092021-6844 Report Generated at: 2022-05-16 14:29:05

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Project Name:

RHP-3 2nd Floor PSH2

RHP-1 1Bed 2nd Floor

PSH2

RHP-1 1Bed 3rd Floor

RHP-3 3rd Floor PSH2

PTHP (NA)

MiniSplitHP

(Split1Phase)

MiniSplitHP

(Split1Phase)

PTHP (NA)

PSH Building

Mosley Ave and Lakehurst Circle Alameda 94501

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nput File Name:	PSH Building 5-12-22.cibo	d19x									
11. DRY SYSTEM EQUI	PMENT (furnaces, air h	andling u	ınits. heat pum	ps. VRF. econo	mizers etc.)						
1	2	3	4	5	6	7	8	9	10	11	12
				Heatin	g			Cooling			
Equipment Name	Equipment Type	Qty	Total Heating Output (kBtu/h)	Supp Heat Output (kBtuh)	Efficiency Unit	Efficiency	Total Cooling Output (kBtu/h)	Efficiency Unit	Efficiency	Economizer Type (if present)	Status ¹
HP1-1	SZHP (Split1Phase)	1	42	0	HSPF	8.200	35	SEER/EER	14.000/8.600	NoEconomizer	N
HP1-2	SZHP (Split1Phase)	1	42	0	HSPF	8.200	35	SEER/EER	14.000/8.600	NoEconomizer	N
HP2-1	SZHP (Split1Phase)	1	54	0	HSPF	8.200	48	SEER/EER	14.000/8.300	NoEconomizer	N
RHP-3 1st Floor PSH1	PTHP (NA)	4	15	14	СОР	3.1	13	EER	10.2	NA	N
RHP-1 1st Floor 1 Bed PSH	MiniSplitHP (Split1Phase)	3	19	0	HSPF	10.700	18	SEER/EER	18.900 / 12.500	NA	N
RHP-3 2nd/3rd Floor	PTHP (NA)	14	15	14	СОР	3.1	13	EER	10.2	NA	N
RHP-1 1Bed 2nd/3rd Floor	MiniSplitHP (Split1Phase)	12	19	0	HSPF	10.700	18	SEER/EER	18.900 / 12.500	NA	N
RHP-1 1Bed 4th Floor PSH1	MiniSplitHP (Split1Phase)	5	19	0	HSPF	10.700	18	SEER/EER	18.900 / 12.500	NA	N
RHP-3 4th Floor	PTHP (NA)	6	15	14	СОР	3.1	13	EER	10.2	NA	N
RHP-2 2Bed 4th Floor PSH1	MiniSplitHP (Split1Phase)	1	24	0	HSPF	12.500	24	SEER/EER	18.000 / 12.700	NA	N
MC1-1	MiniSplitHP (Split3Phase)	1	20	0	HSPF	8.20	18	SEER/EER	17.00 / 11.90	NA	N
RHP-1 1st Floor 1Bed PSH2	MiniSplitHP (Split1Phase)	3	19	0	HSPF	10.700	18	SEER/EER	18.900 / 12.500	NA	N
RHP-3 1st Floor PSH2	PTHP (NA)	6	15	14	СОР	3.1	13	EER	10.2	NA	N
		 	1		1	1	1	1		i	$\overline{}$

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COP

HSPF

HSPF

14 COP 3.1

3.1

10.700

10.700

13

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Assembly Name

Metal Door45

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Project Address:

Input File Name:

Space Heating

Indoor Fans

Heat Rejection

Pumps & Misc.

Indoor Lighting

rocess Motors

Project Address:

Input File Name:

G3. OPAQUE SURFACE ASSEMBLY SUMMAR

Surface Name

Slab On Grade15

R-30+R1017

Interior Wall Type E33

Interior Floor78

¹ Status: N - New, A – Altered, E – Existing

G4. OPAQUE DOOR SUMMARY

Oomestic Hot Water

Mosley Ave and Lakehurst Circle Alameda 94501

C1. COMPLIANCE RESULTS FOR PERFORMANCE COMPONENTS (Annual TDV Energy Use, kBtu/ft ²-yr)

 $^{ t L}$ Notes: The number in parenthesis following the Compliance Margin in column 4. represents the Percent Better than Standard.

¹ Notes: This table is used to document compliance with programs OTHER THAN Title 24 Part 6, if applicable.

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-12092021-6844

Mosley Ave and Lakehurst Circle Alameda 94501

InteriorWall

PSH Building 5-12-22.cibd19x

PSH Building 5-12-22.cibd19x

Energy Component

|ENERGY STANDARDS COMPLIANCE TOTAL

Miscellaneous Energy Component

C2. RESULTS FOR 'ABOVE CODE' QUALIFICATIONS¹

COMPLIANCE TOTAL PLUS MISCELLANEOUS COMPONENTS

☐ This project is pursuing CalGreen Tier 1

Report Version: NRCC-PRF-01-E-12092021-6844

Overall U-factor

0.700

NRCC-PRF-01-E

COMPLIES

Standard Design (TDV)

Standard Design (TDV)

NRCC-PRF-01-E

30

13

19

NA

17894

2785

47066

Wood

Wood

Wood

Page 2 of 22

Proposed Design (TDV)

☐ This project is pursuing CalGreen Tier 2

0.32

276.55

Proposed Design (TDV)

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Calculation Date/Time: 14:24, Mon, May 16, 2022

10 U-Factor 0.025

U-Factor

NA U-Factor 0.045

0.085

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Report Generated at: 2022-05-16 14:29:05

1 2 3 4 5 6 7 8 9 10 11 12 13 14 Design OA Name or Item Tag | Qty | Power Units CFM | Modeling Method | Power NA NA 635 BrakeHorsePower 0.401 bhp ConstantVolume NA 882 BrakeHorsePower 0.401 bhp ConstantVolume NA NA NA NA 1 21 635 BrakeHorsePower 0.055 bhp ConstantVolume NA NA NA NA NA NA NA HP1-7 635 BrakeHorsePower 0.055 bhp ConstantVolume NA bhp | ConstantVolume | NA | 1130 | BrakeHorsePower | 0.401 | bhp | ConstantVolume | NA | ConstantVolume NA

NRCC-PRF-01-E Project Name: PSH Building Page 8 of 22 Calculation Date/Time: 14:24, Mon, May 16, 2022 Project Address: Mosley Ave and Lakehurst Circle Alameda 94501 PSH Building 5-12-22.cibd19x

Input File Name: H1. DRY SYSTEM EQUIPMENT (furnaces, air handling units, heat pumps, VRF, economizers etc.) 5 | 6 | 7 | 8 | 9 | 10 | 11 Cooling Economizer Type (if Qty Total Heating Supp Heat **Equipment Type** Cooling Efficiency Unit Efficiency **Equipment Name** Output present) Output (kBtu/h) (kBtuh) (kBtu/h) RHP-1 1Bed 4th Floor MiniSplitHP 18.900 / 10.700 SEER/EER (Split1Phase) 12.500 RHP-3 4th Floor PSH2 PTHP (NA) EER 10.2 NA 13 MiniSplitHP HSPF 8.20 18 SEER/EER 17.00 / 11.90 MC2-1 (Split3Phase) ¹ Status: N - New, A – Altered, E – Existing

131 1130 BrakeHorsePower 0.401 bhp ConstantVolume NA NA NA NA NA NA NA NA bhp ConstantVolume NA 390 BrakeHorsePower 0.023 bhp

NA NA

Report Generated at: 2022-05-16 14:29:05

10.2

12.500

18.900 /

12.500

10.2

NA

NA

NA

NA

EER

SEER/EER

SEER/EER

EER

Report Generated at: 2022-05-16 14:29:05

635 BrakeHorsePower 0.049 CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-12092021-6844

5 6 7

0.053

0.053

0.053

0.053

0.053

0.023

bhp

bhp

bhp

bhp

bhp

CFM | Modeling Method | Power

390 BrakeHorsePower 0.023

713 BrakeHorsePower 0.053

390 BrakeHorsePower 0.023

1045 BrakeHorsePower 0.079

500 BrakeHorsePower 0.049

390 BrakeHorsePower 0.023

390 BrakeHorsePower 0.023

713 BrakeHorsePower 0.053

390 BrakeHorsePower 0.023

713 BrakeHorsePower

713 BrakeHorsePower

713 BrakeHorsePower

713 BrakeHorsePower

390 BrakeHorsePower

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RHP-3 1st Floor

NA

NA

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Project Name: PSH Building NRCC-PRF-01-E Page 11 of 22 Project Address: Mosley Ave and Lakehurst Circle Alameda 94501 Calculation Date/Time: 14:24, Mon, May 16, 2022 Input File Name: PSH Building 5-12-22.cibd19x H7. NONRESIDENTIAL VENTILATION

Assembly - Lobbies

General - Unoccupied

Lodging - Multipurpose assembly

3 4 5 6 **Mechanical Ventilation** DCV or Occupant Sensor Zone Name # of Supply OA Exhaust Conditioned Area Controls, or Both **Ventilation Function** people CFM 21.40 321 1-Community Room Lodging - Multipurpose assembly 642 NA 7-MGMT Office Office - Office space 1.85 56 370 NA 12-1st Floor Corridor Residential - Common corridors 4.28 128 855 NA 8.70 131 16-Conference 1420 General - Conference/meeting NA 261 0.69 17-Office 1440 Office - Office space 18-Health/Breakout Rm Office - Office space 1.35 41 NA 271 19-1st Floor Corridor Residential - Common corridors 1.52 46 304 NA 21-Office 1450 Office - Office space 11.33 170 22-Conference Room General - Conference/meeting NA

43-Utility Rm Zone	General - Unoccupied	0.	.07	0	0	48	NA
H8. HIGH-RISE RESIDENTIAL DWELLII	NG UNIT AND HOTEL/MOTEL VENTILATION						
1	2	3	4	5	6	7	8
	N	/lechanical	Ventilatio	n		•	
Zone Name		# hotel	# of	Supply OA	Exhaust	Conditioned Area	DCV or Occupant Sensor Controls, or Both
	Ventilation Function	rooms	bedroo ms	CFM	CFM	(sf)	Controls, or Both
24-1st Floor Studio PSH1	NA	0	4	200	200	1478	NA
25-1st Floor 1Bed	NA	0	3	240	240	1642	NA
26-2nd/3rd Floor Studio PSH1	NA	0	7	350	350	2551	NA
27-2nd/3rd Floor 1bed PSH1	NA	0	6	480	480	3321	NA
28-4th Floor 1bed PSH1	NA	0	5	400	400	2772	NA

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Rated Capacity

19.00 18.00 713

19.00 18.00

15.00 | 13.00

19.00 18.00

15.00 13.00

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390

713

713

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Heating Cooling Design Min. Min. Ratio Power Power Units Cycles VSD

0.160 W/cfm

0.023 bhp

0.160 W/cfm

0.150 W/cfm

NA NA 0.053 bhp

0.150

0.053

0.150

0.053

0.023

NA NA 0.160 W/cfm

NA

NA

NA

NA

NA

Calculation Date/Time: 14:24, Mon, May 16, 2022

| 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13

Airflow (cfm)

16.97 255

0.07 0

31.17 468

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713

80

Rated Capacity

(kBtuh)

Heating Cooling

15.00 13.00

19.00 18.00

NA

NRCC-PRF-01-E

hotel rooms bedroo CFM CFM

0 6 300

CFM

300

100

240

300

480

350

480

350

Mechanical Ventilation

Page 12 of 22

CFM

300

300

300

480

350

480

350

Min. Min. Ratio Power

NA

NA

| 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13

NA

NA

NA

Airflow (cfm)

Conditioned Area

2187

1689

2227

2232

3361

2597

NA 0.160 W/cfm

0.053

Calculation Date/Time: 14:24, Mon, May 16, 2022

3 4 5 6 7

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0.150 W/cfm

DCV or Occupant Sensor

Controls, or Both

NA

NA

NA

NA

NA

NA

NA

NA

NA

Cycles

 \boxtimes

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Project Name:

Project Address: Input File Name:

Occupancy Type ¹

NA

NA

NA

509

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Project Name:

Project Address:

Input File Name:

Zone Name

29-4th Floor Studio PSH1

30-4th Floor 2bed PSH1

35-1st Floor 1Bed PSH2

36-1st Floor Studio PSH2

37-2nd Floor Studio PSH2

38-2nd Floor 1bed PSH2

39-3rd Floor 1bed PSH2

40-3rd Floor Studio PSH2

41-4th Floor 1bed PSH2

42-4th Floor Studio PSH2

System ID

RHP-3 1st Floor PSH1

PSH1-EXH

RHP-1 1st Floor 1 Bed

PSH

H9. ZONAL SYSTEM AND TERMINAL UNIT SUMMARY

25-1st Floor Studio 24-1st Floor Studio

26-1st Floor 1Bed-EXH 25-1st Floor 1Bed

Zone Name

24-1st Floor Studio

PSH1

25-1st Floor 1Bed

PSH Building

PSH Building 5-12-22.cibd19x

H8. HIGH-RISE RESIDENTIAL DWELLING UNIT AND HOTEL/MOTEL VENTILATION

Mosley Ave and Lakehurst Circle Alameda 94501

Ventilation Function

NA

NA

NA

NA

NA

NA

NA

System Type

Balanced

MiniSplitHP

Project Name:	PSH Building					NRCC-PRF-01-E						
Project Address:	Mosley Ave and Lakehu	ırst Circle Alameda 945	501			Calculation Date	/Time:	14:24, Mon, Ma	y 16, 2022			_
Input File Name:	PSH Building 5-12-22.ci								_			
H9. ZONAL SYSTEM A	AND TERMINAL UNIT SU	JMMARY		,								_
1	2	3	4	5	6	7	8	9	10	11	12	
System ID	Zone Name	System Type	Ot:		Capacity tuh)	A	irflow (cfr	m)	Fan			
	Zone Name	System Type	Qty	Heating	Cooling	Design	Min.	Min. Ratio	Power	Power Units	Cycles	
1-Community Room-Trm	1-Community Room	Uncontrolled	1	NA	NA	1400	NA	0.00	0.401	bhp	NA	
7-MGMT Office-Trm	7-MGMT Office	Uncontrolled	1	NA	NA	635	NA	0.00	0.401	bhp	NA	
12-1st Floor Corridor-Trm	12-1st Floor Corridor	Uncontrolled	1	NA	NA	882	NA	0.00	0.401	bhp	NA	
16-Conference 1420-Trm	16-Conference 1420	Uncontrolled	1	NA	NA	1130	NA	0.00	0.401	bhp	NA	-
17-Office 1440-Trm	17-Office 1440	Uncontrolled	1	NA	NA	635	NA	0.00	0.055	bhp	NA	_
18-Health/Breakout Rm-Trm	18-Health/Breakout Rm	Uncontrolled	1	NA	NA	635	NA	0.00	0.055	bhp	NA	-
19-1st Floor Corridor-Trm	19-1st Floor Corridor	Uncontrolled	1	NA	NA	635	NA	0.00	0.055	bhp	NA	
21-Office 1450-Trm	21-Office 1450	Uncontrolled	1	NA	NA	635	NA	0.00	0.055	bhp	NA	
22-Conference Room-Trm	22-Conference Room	Uncontrolled	1	NA	NA	1130	NA	0.00	0.401	bhp	NA	
23-Lobby-Trm	23-Lobby	Uncontrolled	1	NA	NA	1130	NA	0.00	0.401	bhp	NA	-
32-Community Room 1330-Trm	32-Community Room 1330	Uncontrolled	1	NA	NA	1400	NA	0.00	0.401	bhp	NA	

H10. EVAPORATIVE COOLER SUMMARY This Section Does Not Apply

H11. HEAT RECOVERY SUMMARY This Section Does Not Apply

PSH Building

K1. INDOOR CONDITIONED LIGHTING GENERAL INFO

Building Totals:

PSH Building 5-12-22.cibd19x

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Lighting Control Credits

(Watts)

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Area Category Footnotes

(Watts)

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Tailored Method (Watts)

Additional (Custom) Allowance

ISSUE

JOB NO.

DRAWN

CHECKED

DATE DESCRIPTION 7 09/29/22 PERMIT SUBMITTAL

JOB CAPTAIN Approver

North Housing,

PSH PHASE 1

500 MOSLEY AVENUE

ALAMEDA, CA 94501

Block A

¹ See Table 140.6-C ² See NRCC-LTI-01-E for unconditioned spaces ³Lighting information for existing spaces modeled is not included in the table

Mosley Ave and Lakehurst Circle Alameda 94501

Conditioned Floor Area ² (ft²)

K4. INDOOR CONDITIONED LIGHT	ING MANDATORY LIGHTING CONTROLS					
Building Level Controls						
	1				2	
	Mandatory Demand Response §110.12(c)			Shut-Off Con	trols §130.1(c)	
	Required			Req	uired	
Area Level Controls (includes all li	ghting controls installed in conditioned space to meet r	nandatory requireme	nts per §130.1)			
4	5	6	7	8	9	10
Area Description	Area Category Primary Function Area	Area Controls 130.1(a)	Multi-Level Controls 130.1(b)	Shut-Off Controls 130.1(c)	Primary Daylighting 130.1(d)	Secondary Daylighting 140.5(d)

Installed Lighting Power

3,734

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Project Name: PSH Building NRCC-PRF-01-E Page 10 of 22 Project Address: Mosley Ave and Lakehurst Circle Alameda 94501 Calculation Date/Time: 14:24, Mon, May 16, 2022

Input File Name: PSH Building 5-12-22.cibd19x H2. FAN SYSTEMS SUMMARY 8 | 9 | 10 | 11 | 12 | 13 | 14 1 2 3 4 5 | 6 | 7 | Supply Fan Return Fan Power CFM CFM Modeling Method | CFM | Modeling Method | Power ¹ Status: N - New, A - Altered, E - Existing

H3. EXHAUST FAN SUMMARY Power Per Flow Total Static Pressure (in. H₂O) Zone Name CFM Motor BHP System ID (W/cfm) Restroom26 0.100 Status: N - New, A — Altered, E — Existing

H4. Wet System Equipment(boilers,chillers,cooling towers,etc.)

H5. PUMPS

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This Section Does Not Apply

This Section Does Not Apply

H6. SYSTEM SPECIAL FEATURES 3 Window Interlocks per System Name **Equipment Type** Other Special Features and Controls DHW PSH11 - SHW Service Hot Water, Primary Only Fixed Temperature Control DHW PSH2283 - SHW Service Hot Water, Primary Only

tes: This table includes controls related to the performance path only. For projects using the prescriptive path, mandatory and prescriptive controls requirements are documented on the NRCC-MCH-E.

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Project Name:

Project Address:

System ID

PSH2-EXH

RHP-3 2nd Floor PSH2

PSH2-EXH

PSH2 39-2nd Floor 1bed

PSH2-EXH

RHP-1 1Bed 3rd Floor

PSH2-EXH

RHP-3 3rd Floor PSH2

41-3rd Floor Studio

PSH2-EXH

PSH2

42-4th Floor 1bed

PSH2-EXH

RHP-3 4th Floor PSH2

PSH2-EXH

Project Name:

PSH2 40-3rd Floor 1bed PSH Building

Input File Name: PSH Building 5-12-22.cibd19x

37-1st Floor Studio 36-1st Floor Studio

38-2nd Floor Studio 37-2nd Floor Studio

RHP-1 1Bed 2nd Floor | 38-2nd Floor 1bed

RHP-1 1Bed 4th Floor | 41-4th Floor 1bed

43-4th Floor Studio 42-4th Floor Studio

H9. ZONAL SYSTEM AND TERMINAL UNIT SUMMARY

Zone Name

37-2nd Floor Studio

PSH2

38-2nd Floor 1bed

PSH2

39-3rd Floor 1bed

PSH2

39-3rd Floor 1bed

PSH2

40-3rd Floor Studio

40-3rd Floor Studio

41-4th Floor 1bed

42-4th Floor Studio

PSH2

43-Utility Rm Zone

Mosley Ave and Lakehurst Circle Alameda 94501

System Type

VentilationOnly

PTHP

VentilationOnly

Balanced

MiniSplitHP

VentilationOnly

Balanced

MiniSplitHP

VentilationOnly

Balanced

PTHP

VentilationOnly

Balanced

MiniSplitHP

VentilationOnly

Balanced

PTHP

VentilationOnly

Balanced

23-Lobby

31-Utility Rm Zone

32-Community Room 1330

Project Name:	PSH Building					NRCC-PRF-01-E		Page 13 of 22				
Project Address:	Mosley Ave and Lakehu	urst Circle Alameda 945	01			Calculation Date/	Time:	14:24, Mon, Ma	y 16, 2022			
Input File Name:	PSH Building 5-12-22.c	ibd19x										
H9. ZONAL SYSTEM A	AND TERMINAL UNIT S	UMMARY										
1	2	3	4	5	6	7	8	9	10	11	12	13
System ID	Zone Name	System Type	Qty	1	Capacity tuh)	Ai	rflow (cfn	n)		Fa	an	
System ID	Zone Name	зузтетт туре	Q Q L	Heating	Cooling	Design	Min.	Min. Ratio	Power	Power Units	Cycles	VSD
RHP-3 2nd/3rd Floor	26-2nd/3rd Floor Studio PSH1	PTHP	14	15.00	13.00	390	NA	NA	0.023	bhp	×	
27-2nd/3rd Floor Studio PSH1-EXH	26-2nd/3rd Floor Studio PSH1	VentilationOnly Balanced	14	NA	NA	50	NA	NA	0.160	W/cfm		
RHP-1 1Bed 2nd/3rd Floor	27-2nd/3rd Floor 1bed PSH1	MiniSplitHP	12	19.00	18.00	713	NA	NA	0.053	bhp	×	
28-2nd/3rd Floor 1bed PSH1-EXH	27-2nd/3rd Floor 1bed PSH1	VentilationOnly Balanced	12	NA	NA	80	NA	NA	0.150	W/cfm		
RHP-1 1Bed 4th Floor PSH1	28-4th Floor 1bed PSH1	MiniSplitHP	5	19.00	18.00	713	NA	NA	0.053	bhp	×	
29-4th Floor 1bed PSH1-EXH	28-4th Floor 1bed PSH1	VentilationOnly Balanced	5	NA	NA	80	NA	NA	0.150	W/cfm		
RHP-3 4th Floor	29-4th Floor Studio PSH1	PTHP	6	15.00	13.00	390	NA	NA	0.023	bhp	×	
30-4th Floor Studio PSH1-EXH	29-4th Floor Studio PSH1	VentilationOnly Balanced	6	NA	NA	50	NA	NA	0.160	W/cfm		
RHP-2 2Bed 4th Floor PSH1	30-4th Floor 2bed PSH1	MiniSplitHP	1	24.00	24.00	1045	NA	NA	0.079	bhp	×	
31-4th Floor 2bed PSH1-EXH	30-4th Floor 2bed PSH1	VentilationOnly Balanced	1	NA	NA	100	NA	NA	0.150	W/cfm		
MC1-1	31-Utility Rm Zone	MiniSplitHP	1	20.00	18.00	500	NA	NA	0.049	bhp		
RHP-1 1st Floor 1Bed PSH2	35-1st Floor 1Bed PSH2	MiniSplitHP	3	19.00	18.00	713	NA	NA	0.053	bhp	\boxtimes	
36-1st Floor 1Bed PSH2-EXH	35-1st Floor 1Bed PSH2	VentilationOnly Balanced	3	NA	NA	80	NA	NA	0.150	W/cfm		
RHP-3 1st Floor PSH2	36-1st Floor Studio	РТНР	6	15.00	13.00	390	NA	NA	0.023	bhp	M	П

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Project Name:	PSH Building	NRCC-PRF-01-E	Page 16 of 22
Project Address:	Mosley Ave and Lakehurst Circle Alameda 94501	Calculation Date/Time:	14:24, Mon, May 16, 2022
Input File Name:	PSH Building 5-12-22.cibd19x		
11. WATER HEATER EC	DUIPMENT SUMMARY		

I1. WATER HEA	TER EQUIPM	ENT SUMMARY	1										
1	2	3	4	5	6	7	8	9	10	11	12	13	14
Name	Heater Element Type	Tank Type	Qty	Tank Vol (gal)	Rated Input	Rated Input Unit	Efficiency	Efficiency Unit	Tank Insulation R-value (Int/Ext)	Standby Loss Fraction	1st Hour Rating or Flow Rate (gal)	Heat Pump Type	Tank Location of Ambient Condition
Instantaneous Electric2	Electricity	Instantaneous	1	1.00	2.3	kW	0.98	UEF	NA	NA	8	NA	NA
Instantaneous Electric2 2	Electricity	Instantaneous	1	1.00	2.3	kW	0.98	UEF	NA	NA	8	NA	NA

MULTI-FAMILY V	WATER HEATING SYSTI	EM DETAIL	1					
1	2	3	4	5	6	7	8	9
System Name	Configuration	Туре	Qty in System	Multi-Family Distribution Type	Dwelling Unit Distribution Type	Water Heater Name	Solar Heating System	Compact Distribution
MF0-CHPWH	"Domestic Hot Water (DHW)"	Central	8	No Control (continuous pumping)	Standard	MF0-CHPWH - heater	NA	NA
MF1-CHPWH	"Domestic Hot Water (DHW)"	Central	8	No Control (continuous pumping)	Standard	MF1-CHPWH - heater	NA	NA

WATER HEATER I	EQUIPMENT SUMMARY	- CHPWH					
1	2	3	4	5	6	7	8
Name	Brand/Model	Number of Compressors	Primary Tank Volume (gal)	Tank Count	Tank R-value	Tank Location	Air Source
MF0-CHPWH	Sanden GS3-45HPA-US (4kW cap @ 40F)	8	570	1	20	Unconditioned Zone	Unconditioned Zor
MF1-CHPWH	Sanden GS3-45HPA-US (4kW cap @ 40F)	8	570	1	20	Unconditioned Zone	Unconditioned Zor

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PSH Building

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NRCC-PRF-01-E

MiniSplitHP | 1 | 20.00 | 18.00 | 635 | NA | NA | 0.049 | bhp | | | |

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Project Address:	Mosley Ave and Lakeh	urst Circle Alameda 9450)1	Calculation Date,	/Time:	14:24, Mon, Ma	ay 16, 2022	
nput File Name:	PSH Building 5-12-22.c	ibd19x						
4. WATER HEATER EC	QUIPMENT SUMMARY	- CHPWH LOOP TANK						
1	2	3	4	5		6	7	8
Tank Type	Brand/Model	Count	Tank Volume (gal)	Tank Count	Tan	ık R-value	Tank Location	Air Source
Electric Resistance	NA	1	285	1		20	Unconditioned Zone	NA
Electric Resistance	NA	1	285	1		20	Unconditioned Zone	NA

15. RECIRCULATION LOOPS					
1	2	3	4	5	6
Water Heating System Name	Number of Recirculation Loops	Loop Insulation Thickness (in)	Recirculation Loop Location	Recirculation Pump Power	Recirculation Pump Power Units
MF0-CHPWH	1	1.5	Conditioned	298	Watts
MF1-CHPWH	1	1.5	Conditioned	298	Watts

1	2	3	4	5	6
		Installed Lighting Dower	Lighting Control Credits	Additional (Cus	tom) Allowance
Occupancy Type ¹	Conditioned Floor Area ² (ft ²)	Installed Lighting Power (Watts)	(Watts)	Area Category Footnotes (Watts)	Tailored Method (Watts)
Office Area (<250 square feet)	772	540	0	0	0
Corridor Area	1,159	695	0	0	0
Convention, Conference, Multipurpose and Meeting Area	2,178	1,852	0	0	0
Office Area (>250 square feet)	271	176	0	0	0
Main Entry Lobby	509	433	0	0	0
High-Rise Residential Living Spaces	41,616		0	0	0
Electrical, Mechanical, Telephone Rooms	96	38	0	0	0

Report Generated at: 2022-05-16 14:29:05 CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-12092021-6844

Report Generated at: 2022-05-16 14:29:05

DRAWING TITLE PSH 1 - TITLE 24 REPORT

Project Name:	PSH Building	NRCC-PRF-01-E	Page 19 of 22
Project Address:	Mosley Ave and Lakehurst Circle Alameda 94501	Calculation Date/Time:	14:24, Mon, May 16, 2022
Input File Name:	PSH Building 5-12-22.cibd19x		
L. DECLARATION OF R	REQUIRED CERTIFICATES OF INSTALLATION		
compliance. These do https://www.energy.c	ections shall be made by Documentation Author to indicate which Ce cuments bust be retained and provided to the building inspector duri ca.gov/title24/2019standards/2019_compliance_documents/Nonresi	ng construction and can be	
Building Component		Form/ little	
Envelope	NRCI-ENV-01-E - Must be submitted for all buildings		
Mechanical	NRCI-MCH-01-E - Must be submitted for all buildings		
Dlumbing	NRCI-PLB-01-E - Must be submitted for all buildings		
Plumbing	NRCI-PLB-02-E - Must be submitted for high-rise residential and hotel/ mo	el central hot water distributi	on systems to be recognized for compliance
Indoor Lighting	NRCI-LTI-01-E - Must be submitted for all buildings		

Project Name:	PSH Building	NRCC-PRF-01-E	Page 20 of 22
Project Address:	Mosley Ave and Lakehurst Circle Alameda 94501	Calculation Date/Time:	14:24, Mon, May 16, 2022
Input File Name:	PSH Building 5-12-22.cibd19x		
M. DECLARATION OF	REQUIRED CERTIFICATES OF ACCEPTANCE		
compliance. These do	ections shall be made by Documentation Author to indicate which Cecuments must be provided to the building inspector during construct more information visit:https://www.energy.ca.gov/title24/2019stan	on and must be completed	through an Acceptance Test Technician Certification
Building Component		Form/Title	
Envelope	NRCA-ENV-02-F - NRFC label verification for fenestration		
Indoor Lighting	NRCA-LTI-02-A - Occupancy Sensors and Automatic Time Switch Controls		
maoor Eighting	NRCA-LTI-04-A - Demand Responsive Lighting Controls		
	NRCA-MCH-02-A Outdoor Air must be submitted for all newly installed HV	AC units. Note: MCH02-A can l	pe performed in conjunction with MCH-07-A Supply Fan VFD
	Acceptance (if applicable) since testing activities overlap		
Machanical	Acceptance (if applicable) since testing activities overlap NRCA-MCH-03-A Constant Volume Single Zone HVAC		
Mechanical			
Mechanical	NRCA-MCH-03-A Constant Volume Single Zone HVAC	Units Acceptance	

Project Name:	PSH Building	NRCC-PRF-01-E	Page 21 of 22
Project Address:	Mosley Ave and Lakehurst Circle Alameda 94501	Calculation Date/Time:	14:24, Mon, May 16, 2022
Input File Name:	PSH Building 5-12-22.cibd19x		
N. DECLARATION O	F REQUIRED CERTIFICATES OF VERIFICATION		
N. DECLARATION OF	F REQUIRED CERTIFICATES OF VERIFICATION		
compliance. These a	elections shall be made by Documentation Author to indicate documents bust be retained and provided to the building inspe	ector during construction and can be	found online at:
compliance. These a	•	ector during construction and can be	found online at:
compliance. These a	locuments bust be retained and provided to the building inspersed.ca.gov/title24/2019standards/2019_compliance_document	ector during construction and can be	found online at:
compliance. These a https://www.energy	locuments bust be retained and provided to the building inspersed.ca.gov/title24/2019standards/2019_compliance_document	ector during construction and can be s/Nonresidential_Documents/NRCV/	found online at:



CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-12092021-6844

Report Generated at: 2022-05-16 14:29:05

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CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-12092021-6844

Report Generated at: 2022-05-16 14:29:05

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-12092021-6844

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Project Name:	PSH Building	NRCC-PRF-01-E	Page 22 of 22		
Project Address:	Mosley Ave and Lakehurst Circle Alameda 94501	Calculation Date/Time	: 14:24, Mon, May 16, 2022		
Input File Name:	PSH Building 5-12-22.cibd19x				
	AUTHOR'S DECLARATION STATEMENT ate of Compliance documentation is accurate and complete.	000	Monday		
Documentation Auth	or Name: Hayley Monahan	(Cay Cay Cay	Signature:		
Company: EnergySoft	:	Signature:			
Address: 1025 5th Sti	reet, Suite A	Signature Date: 2022-05-16			
City/State/Zip: Novat	o CA 94945	CEA/ HERS Certification Identifi	cation (if applicable):		
Phone: 415-301-0163					
RESPONSIBLE PERS	ON'S DECLARATION STATEMENT				
plans and specification 5. I will ensure that a co	reatures or system design features identified on this Certificate of Compliance as submitted to the enforcement agency for approval with this building permit a completed signed copy of this Certificate of Compliance shall be made available and that a completed signed copy of this Certificate of Compliance is required to be Designer Name:	application. with the building permit(s) issued for the	building, and made available to the enforcement agency for all applicable		
Company: HKIT Archi	tects	– Signature.			
Address: 538 Ninth St. Suite 240		Date Signed:			
City/State/Zip: Oakla	nd CA 94607				
Phone: 510-625-9800		Title:	License #:		
Responsible Lighting	Designer Name:	Signatura			
Company:		Signature:			
Address:	ddress: Date Signed:				
City/State/Zip:					
Phone:		Title: License #:			
Responsible Mechanical Designer Name: - specify -		Signatura	Signature:		
Company:		Jigilatule.			
Address:		Date Signed:	Date Signed:		
City/State/Zip:					
Phone:		Title:	License #:		

CA Building Energy Efficiency Standards- 2019 Nonresidential Compliance Report Version: NRCC-PRF-01-E-12092021-6844 Report Generated at: 2022-05-16 14:29:05 North Housing, Block A

PSH PHASE 1

500 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO. Author DRAWN Checker CHECKED

JOB CAPTAIN Approver ISSUE

△ DATE DESCRIPTION7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE PSH 1 - TITLE 24 REPORT

SCALE

GENERAL NOTES - SITE PLAN

A. ARCHITECTURAL DATUM 0'-0" EQUALS +6.90' ABOVE SEE LEVEL. REFER TO CIVIL GRADING PLAN.

B. FOR PAVING LAYOUT, FENCING, LANDSCAPING, IRRIGATION, SITE FURNISHINGS AND LANDSCAPE LIGHTING, S.L.D.

C. FOR ON-SITE AND OFF-SITE DEMOLITION, SITE UTILITIES, EASEMENTS, VEHICLE PAVING, AND STRIPING, PARKING AREA SIGNAGE, GRADING AND STREET IMPROVEMENTS S.C.D.

D. FOR SITE LIGHTING S.E.D. AND S.L.D.

E. COORDINATE ALL DIGGING WITH EXISTING UTILITIES.

F. PAINT ALL EXPOSED UTILITIES, SUCH AS BACKFLOW PREVENTERS, METERS, TRANSFORMERS, ETC. TO EXTENT PERMISSIBLE BY LOCAL UTILIES. COLOR TO BE SELECTED BY ARCHITECT.

G. FOR DEMOLITION PLAN, S.C.D. FOR TREE PROTECTION PLAN, S.L.D.

H. SEE JOINT TRENCH DESIGN DRAWINGS FOR DRY UTILITY LAYOUT.

LEGEND

FOR ADDITIONAL ARCH SYMBOLS, SEE GENERAL SHEETS

PROPERTY LINE

SETBACK

LADDER PAD

	KEYNOTES
2.01	PROPERTY LINE (BLUE, DOUBLE-DASHED LINE)
2.02	SETBACK LINE
12.96	SHORT-TERM BICYCLE PARKING, S.L.D.
21.05	FIRE DEPARTMENT CONNECTION, S.FP.D.
22.25	AT-GRADE FLOW-THROUGH PLANTER, S.C.D., S.L.D.
22.26	RAISED FLOW-THROUGH PLANTER, S.C.D., S.L.D.
22.27	AT-GRADE BIORETENTION BASIN, S.C.D., S.L.D.
33.01	TRANSFORMER, SEE DRY UTILITY & CIVIL DWGS
34.60	PARKING LOT
34.61	EMERGENCY VEHICLE ACCESS
34.62	ACCESSIBLE PATH OF TRAVEL



CONSTRUCTION

North Housing, Block A

Alameda, CA 94501

JOB NO. 19009

DRAWN Author

CHECKED Checker

JOB CAPTAIN Approver

JOB CAPTA

 DATE
 DESCRIPTION

 1
 08/27/21
 ENTITLEMENT SET

 2
 12/8/21
 SD SET

 3
 12/13/21
 ENTITLEMENT RESUBMITTAL #1

 5
 03/22/22
 100% DD SET

 7
 09/29/22
 PERMIT SUBMITTAL

DRAWING TITLE
SITE PLAN

TRUE NORTH

SCALE As indicated

SCALE As indicated

PSH 1 - 1ST FLOOR

COPYRIGHT © 2020 HKIT ARCHITECTS

DRAWING TITLE

PLAN





North Housing,

PSH PHASE 1

Checker

1 08/27/21 ENTITLEMENT SET

7 09/29/22 PERMIT SUBMITTAL

3 | 12/13/21 | ENTITLEMENT

5 03/22/22 100% DD SET 6 08/22/22 50% CD SET

2 | 12/8/21 | SD SET

DESCRIPTION

RESUBMITTAL #1

500 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO.

DRAWN

ISSUE

CHECKED

JOB CAPTAIN

Block A

North Housing, Block A

Alameda, CA 94501

JOB NO. 1900

DRAWN Auth

CHECKED Checker

JOB CAPTAIN Approver

ISSUE

 ✓
 DATE
 DESCRIPTION

 2
 12/8/21
 SD SET

 5
 03/22/22
 100% DD SET

 6
 08/22/22
 50% CD SET

 7
 09/29/22
 PERMIT SUBMITTAL

DRAWING TITLE
PSH 1 - 1ST FLOOR
SLAB PLAN

SCALE 1/8" = 1'-0"

A2.11S

GENERAL NOTES - FLOOR PLAN

A. FOR WALL TYPES, SEE A8.00 AND A9.00 SHEETS. SEE ALSO ENLARGED PLANS.

B. DIMENSIONS ARE TO FACE OF STUD. DIMENSIONS TO WINDOWS ARE C.L. DIMENSIONS. DIMENSIONS TO DOORS ARE TO C.L, TYPICAL DIMENSIOSN AT DOOR JAMB IS 4" U.O.N.

C. CLOSETS ARE 2'-0" CLEAR DEPTH MIN. U.O.N.

D. SEE ENLARGED PLANS FOR ADDITIONAL INFORMATION.

E. SEE DOOR, WINDOW, LOUVER, STOREFRONT, AND FINISH SCHEDULES FOR

F. FOR TYPICAL UNIT PLANS, SEE A4.X SERIES ARCHITECTURAL ENLARGED PLANS.

CONCRETE CURBS AT WALLS, PITS, DRAINS, PENETRATIONS AND SLAB DEPRESSIONS.

H. SAFETY GLAZING MUST BE PROVIDED AT HAZARDOUS LOCATIONS PER CBC 2406.4, INCLUDING, BUT NOT LIMITED TO, GLAZING WITHIN 18 INCHES OF A

JFWEERISPLOASNOLAEGE MRIDOR DUE TO INCREASED

MIN. PULL SIDE @ INTERIOR 2'-0" AT EXTERIOR DOOR MIN. PUSH SIDE

UNIT IDENTIFICATION LEGEND

UNIT#

	RETNOTES
2.01	PROPERTY LINE (BLUE, DOUBLE-DASHED LINE)
3.22	MECHANICAL, PLUMBING, OR ELECTRICAL SHAFT PENETRATION, S.M.D., S.E.D., VERIFY SIZE, CONFIGURATIONS & DETAILS, S.S.D.
5.05	DOWNSPOUT, DIRECT TO WATER TREATMENT AREA, S.C.D.
5.31	ROOF EDGE SCUPPER AND DOWNSPOUT, SEE 6/A8.30
6.05	WOOD HANDRAIL, SEE 17/A9.40
8.02	ELEVATOR SMOKE DOOR(S) ON EMHO
8.55	HORIZONTAL EXIT DOOR(S) ON EMHO
12.90	LONG-TERM BIKE STORAGE RACK, DERO ULTRA SPACE SAVER SQUARED

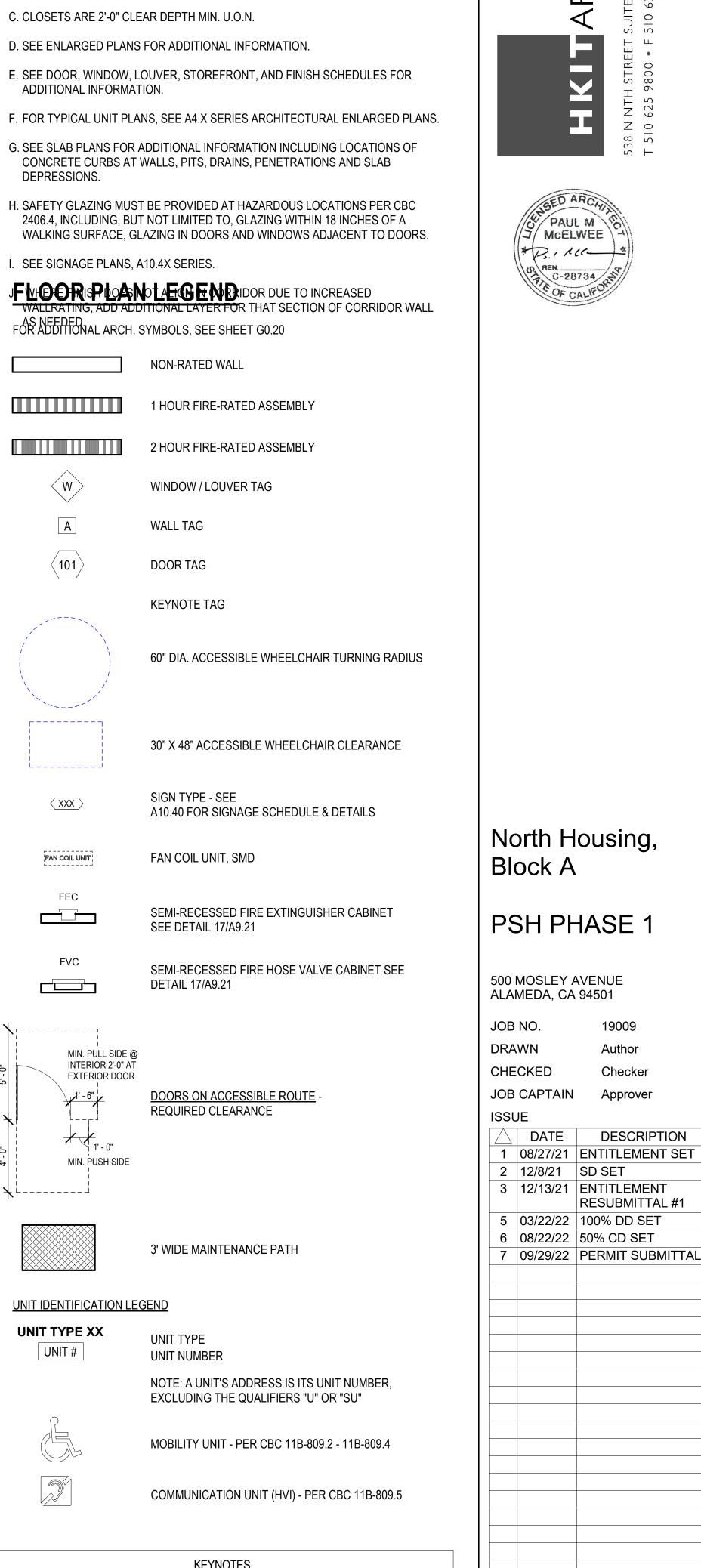
14.92 TRASH CHUTE, COORD. OPENINGS W/ MFR, SEE TRASH DRAWINGS, SEE XX

21.03 STANDPIPE, EXACT LAYOUT TO BE COORDINATED. S.FP.D.

DRAWING TITLE PSH 1 - 2ND FLOOR

SCALE As indicated

PLAN





GENERAL NOTES - FLOOR PLAN

- A. FOR WALL TYPES, SEE A8.00 AND A9.00 SHEETS. SEE ALSO ENLARGED PLANS.
- B. DIMENSIONS ARE TO FACE OF STUD. DIMENSIONS TO WINDOWS ARE C.L. DIMENSIONS. DIMENSIONS TO DOORS ARE TO C.L, TYPICAL DIMENSIOSN AT DOOR JAMB IS 4" U.O.N.

C. CLOSETS ARE 2'-0" CLEAR DEPTH MIN. U.O.N.

D. SEE ENLARGED PLANS FOR ADDITIONAL INFORMATION.

- E. SEE DOOR, WINDOW, LOUVER, STOREFRONT, AND FINISH SCHEDULES FOR ADDITIONAL INFORMATION.
- F. FOR TYPICAL UNIT PLANS, SEE A4.X SERIES ARCHITECTURAL ENLARGED PLANS.
- G. SEE SLAB PLANS FOR ADDITIONAL INFORMATION INCLUDING LOCATIONS OF CONCRETE CURBS AT WALLS, PITS, DRAINS, PENETRATIONS AND SLAB DEPRESSIONS.
- H. SAFETY GLAZING MUST BE PROVIDED AT HAZARDOUS LOCATIONS PER CBC 2406.4, INCLUDING, BUT NOT LIMITED TO, GLAZING WITHIN 18 INCHES OF A WALKING SURFACE, GLAZING IN DOORS AND WINDOWS ADJACENT TO DOORS.

I. SEE SIGNAGE PLANS, A10.4X SERIES.

JFWEERISPLOASNOLAEGE MRIDOR DUE TO INCREASED

AS NEEDED. FOR ADDITIONAL ARCH. SYMBOLS, SEE SHEET G0.20

NON-RATED WALL

1 HOUR FIRE-RATED ASSEMBLY

2 HOUR FIRE-RATED ASSEMBLY

WINDOW / LOUVER TAG

WALL TAG DOOR TAG

KEYNOTE TAG

60" DIA. ACCESSIBLE WHEELCHAIR TURNING RADIUS

30" X 48" ACCESSIBLE WHEELCHAIR CLEARANCE

SIGN TYPE - SEE A10.40 FOR SIGNAGE SCHEDULE & DETAILS

SEE DETAIL 17/A9.21

FAN COIL UNIT, SMD FAN COIL UNIT

 $\langle XXX \rangle$

SEMI-RECESSED FIRE EXTINGUISHER CABINET

SEMI-RECESSED FIRE HOSE VALVE CABINET SEE

DETAIL 17/A9.21

MIN. PULL SIDE @ INTERIOR 2'-0" AT EXTERIOR DOOR <u>DOORS ON ACCESSIBLE ROUTE</u> -REQUIRED CLEARANCE MIN. PUSH SIDE

3' WIDE MAINTENANCE PATH

UNIT IDENTIFICATION LEGEND

UNIT TYPE XX UNIT TYPE UNIT# **UNIT NUMBER**

> NOTE: A UNIT'S ADDRESS IS ITS UNIT NUMBER, EXCLUDING THE QUALIFIERS "U" OR "SU"

MOBILITY UNIT - PER CBC 11B-809.2 - 11B-809.4

COMMUNICATION UNIT (HVI) - PER CBC 11B-809.5

KEYNOTES 2.01 PROPERTY LINE (BLUE, DOUBLE-DASHED LINE)

- 3.22 MECHANICAL, PLUMBING, OR ELECTRICAL SHAFT PENETRATION, S.M.D., S.E.D., VERIFY SIZE, CONFIGURATIONS & DETAILS, S.S.D.
- 5.05 DOWNSPOUT, DIRECT TO WATER TREATMENT AREA, S.C.D.
- 6.05 WOOD HANDRAIL, SEE 17/A9.40
- 8.02 ELEVATOR SMOKE DOOR(S) ON EMHO
- 8.55 HORIZONTAL EXIT DOOR(S) ON EMHO
- 12.90 LONG-TERM BIKE STORAGE RACK, DERO ULTRA SPACE SAVER SQUARED

14.92 TRASH CHUTE, COORD. OPENINGS W/ MFR, SEE TRASH DRAWINGS, SEE XX 21.03 STANDPIPE, EXACT LAYOUT TO BE COORDINATED. S.FP.D.

SCALE As indicated

DRAWING TITLE

PLAN

PSH 1 - 3RD FLOOR

Author

Checker

Approver

RESUBMITTAL #1

GENERAL NOTES - FLOOR PLAN

- A. FOR WALL TYPES, SEE A8.00 AND A9.00 SHEETS. SEE ALSO ENLARGED PLANS.
- B. DIMENSIONS ARE TO FACE OF STUD. DIMENSIONS TO WINDOWS ARE C.L. DIMENSIONS. DIMENSIONS TO DOORS ARE TO C.L, TYPICAL DIMENSIOSN AT DOOR JAMB IS 4" U.O.N.

C. CLOSETS ARE 2'-0" CLEAR DEPTH MIN. U.O.N.

D. SEE ENLARGED PLANS FOR ADDITIONAL INFORMATION.

- E. SEE DOOR, WINDOW, LOUVER, STOREFRONT, AND FINISH SCHEDULES FOR ADDITIONAL INFORMATION.
- F. FOR TYPICAL UNIT PLANS, SEE A4.X SERIES ARCHITECTURAL ENLARGED PLANS.
- G. SEE SLAB PLANS FOR ADDITIONAL INFORMATION INCLUDING LOCATIONS OF CONCRETE CURBS AT WALLS, PITS, DRAINS, PENETRATIONS AND SLAB DEPRESSIONS.
- H. SAFETY GLAZING MUST BE PROVIDED AT HAZARDOUS LOCATIONS PER CBC 2406.4, INCLUDING, BUT NOT LIMITED TO, GLAZING WITHIN 18 INCHES OF A WALKING SURFACE, GLAZING IN DOORS AND WINDOWS ADJACENT TO DOORS.

I. SEE SIGNAGE PLANS, A10.4X SERIES.

JFWEERISPLOASNOLAEGE MRIDOR DUE TO INCREASED WALERATING, ADD ADDITIONAL LAYER FOR THAT SECTION OF CORRIDOR WALL

AS NEEDED. FOR ADDITIONAL ARCH. SYMBOLS, SEE SHEET G0.20

NON-RATED WALL

1 HOUR FIRE-RATED ASSEMBLY

2 HOUR FIRE-RATED ASSEMBLY

WINDOW / LOUVER TAG

WALL TAG

KEYNOTE TAG

DOOR TAG

60" DIA. ACCESSIBLE WHEELCHAIR TURNING RADIUS

30" X 48" ACCESSIBLE WHEELCHAIR CLEARANCE

SIGN TYPE - SEE A10.40 FOR SIGNAGE SCHEDULE & DETAILS

FAN COIL UNIT, SMD FAN COIL UNIT

SEMI-RECESSED FIRE EXTINGUISHER CABINET SEE DETAIL 17/A9.21

> SEMI-RECESSED FIRE HOSE VALVE CABINET SEE **DETAIL 17/A9.21**

MIN. PULL SIDE @ INTERIOR 2'-0" AT EXTERIOR DOOR <u>DOORS ON ACCESSIBLE ROUTE</u> - REQUIRED CLEARANCE

MIN. PUSH SIDE

UNIT IDENTIFICATION LEGEND UNIT TYPE XX

 $\langle XXX \rangle$

UNIT TYPE UNIT# **UNIT NUMBER**

> NOTE: A UNIT'S ADDRESS IS ITS UNIT NUMBER, EXCLUDING THE QUALIFIERS "U" OR "SU"

MOBILITY UNIT - PER CBC 11B-809.2 - 11B-809.4

3' WIDE MAINTENANCE PATH

COMMUNICATION UNIT (HVI) - PER CBC 11B-809.5

KEYNOTES 2.01 PROPERTY LINE (BLUE, DOUBLE-DASHED LINE) 3.22 MECHANICAL, PLUMBING, OR ELECTRICAL SHAFT PENETRATION, S.M.D., S.E.D., VERIFY SIZE, CONFIGURATIONS & DETAILS, S.S.D.

5.05 DOWNSPOUT, DIRECT TO WATER TREATMENT AREA, S.C.D.

6.05 WOOD HANDRAIL, SEE 17/A9.40

8.02 ELEVATOR SMOKE DOOR(S) ON EMHO

8.55 HORIZONTAL EXIT DOOR(S) ON EMHO 12.90 LONG-TERM BIKE STORAGE RACK, DERO ULTRA SPACE SAVER SQUARED

14.92 TRASH CHUTE, COORD. OPENINGS W/ MFR, SEE TRASH DRAWINGS, SEE XX

21.03 STANDPIPE, EXACT LAYOUT TO BE COORDINATED. S.FP.D.

North Housing, Block A

O PAUL M MCELWEE

PSH PHASE 1

500 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO. DRAWN Author

CHECKED Checker JOB CAPTAIN Approver

ISSUE DESCRIPTION 1 08/27/21 ENTITLEMENT SET 2 12/8/21 SD SET

3 12/13/21 ENTITLEMENT RESUBMITTAL #1 5 | 03/22/22 | 100% DD SET 6 08/22/22 50% CD SET

7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE PSH 1 - 4TH FLOOR PLAN

SCALE As indicated



A. FOR WALL TYPES, SEE A8.00 AND A9.00 SHEETS. SEE ALSO ENLARGED PLANS.

B. DIMENSIONS ARE TO FACE OF STUD. DIMENSIONS TO WINDOWS ARE C.L. DIMENSIONS. DIMENSIONS TO DOORS ARE TO C.L, TYPICAL DIMENSIOSN AT DOOR JAMB IS 4" U.O.N.

C. CLOSETS ARE 2'-0" CLEAR DEPTH MIN. U.O.N.

D. SEE ENLARGED PLANS FOR ADDITIONAL INFORMATION.

E. SEE DOOR, WINDOW, LOUVER, STOREFRONT, AND FINISH SCHEDULES FOR ADDITIONAL INFORMATION.

F. FOR TYPICAL UNIT PLANS, SEE A4.X SERIES ARCHITECTURAL ENLARGED PLANS.

G. SEE SLAB PLANS FOR ADDITIONAL INFORMATION INCLUDING LOCATIONS OF CONCRETE CURBS AT WALLS, PITS, DRAINS, PENETRATIONS AND SLAB DEPRESSIONS.

H. SAFETY GLAZING MUST BE PROVIDED AT HAZARDOUS LOCATIONS PER CBC 2406.4, INCLUDING, BUT NOT LIMITED TO, GLAZING WITHIN 18 INCHES OF A WALKING SURFACE, GLAZING IN DOORS AND WINDOWS ADJACENT TO DOORS.

I. SEE SIGNAGE PLANS, A10.4X SERIES.

J. WHERE FINISH DOES NOT ALIGN IN CORRIDOR DUE TO INCREASED WALLRATING, ADD ADDITIONAL LAYER FOR THAT SECTION OF CORRIDOR WALL AS NEEDED.

FLOOR PLAN LEGEND

FOR ADDITIONAL ARCH. SYMBOLS, SEE SHEET G0.20

NON-RATED WALL

1 HOUR FIRE-RATED ASSEMBLY 2 HOUR FIRE-RATED ASSEMBLY

WALL TAG

WINDOW / LOUVER TAG

DOOR TAG

60" DIA. ACCESSIBLE WHEELCHAIR TURNING RADIUS

KEYNOTE TAG

30" X 48" ACCESSIBLE WHEELCHAIR CLEARANCE

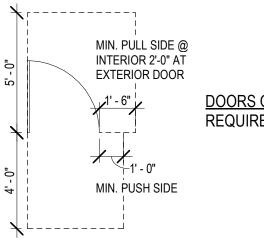
FAN COIL UNIT, SMD FAN COIL UNIT

 $\langle XXX \rangle$

FEC SEMI-RECESSED FIRE EXTINGUISHER CABINET SEE DETAIL 17/A9.21

> SEMI-RECESSED FIRE HOSE VALVE CABINET SEE **DETAIL 17/A9.21**

A10.40 FOR SIGNAGE SCHEDULE & DETAILS



DOORS ON ACCESSIBLE ROUTE -REQUIRED CLEARANCE

3' WIDE MAINTENANCE PATH

UNIT TYPE

UNIT NUMBER

UNIT IDENTIFICATION LEGEND

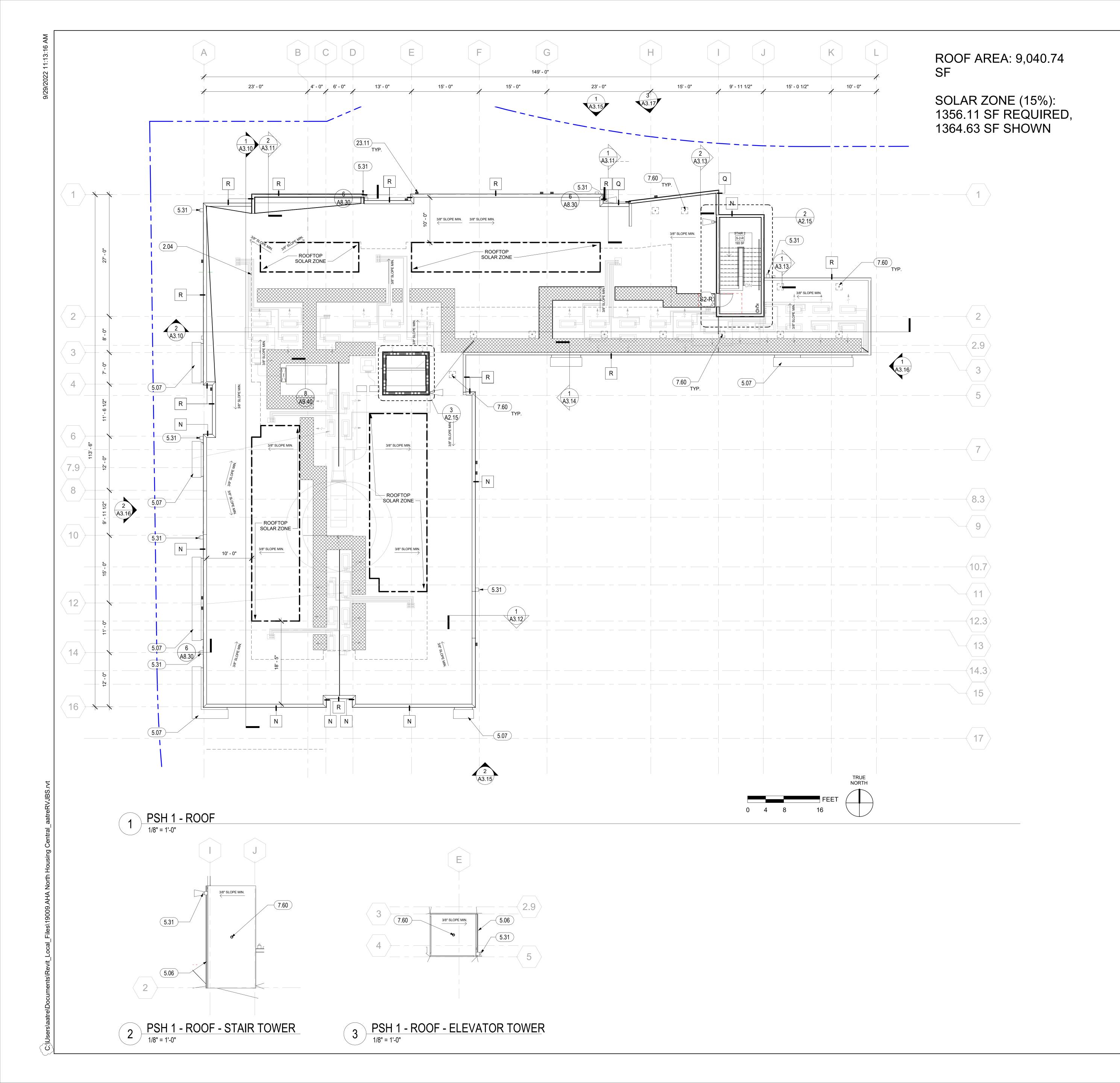
UNIT TYPE XX UNIT#

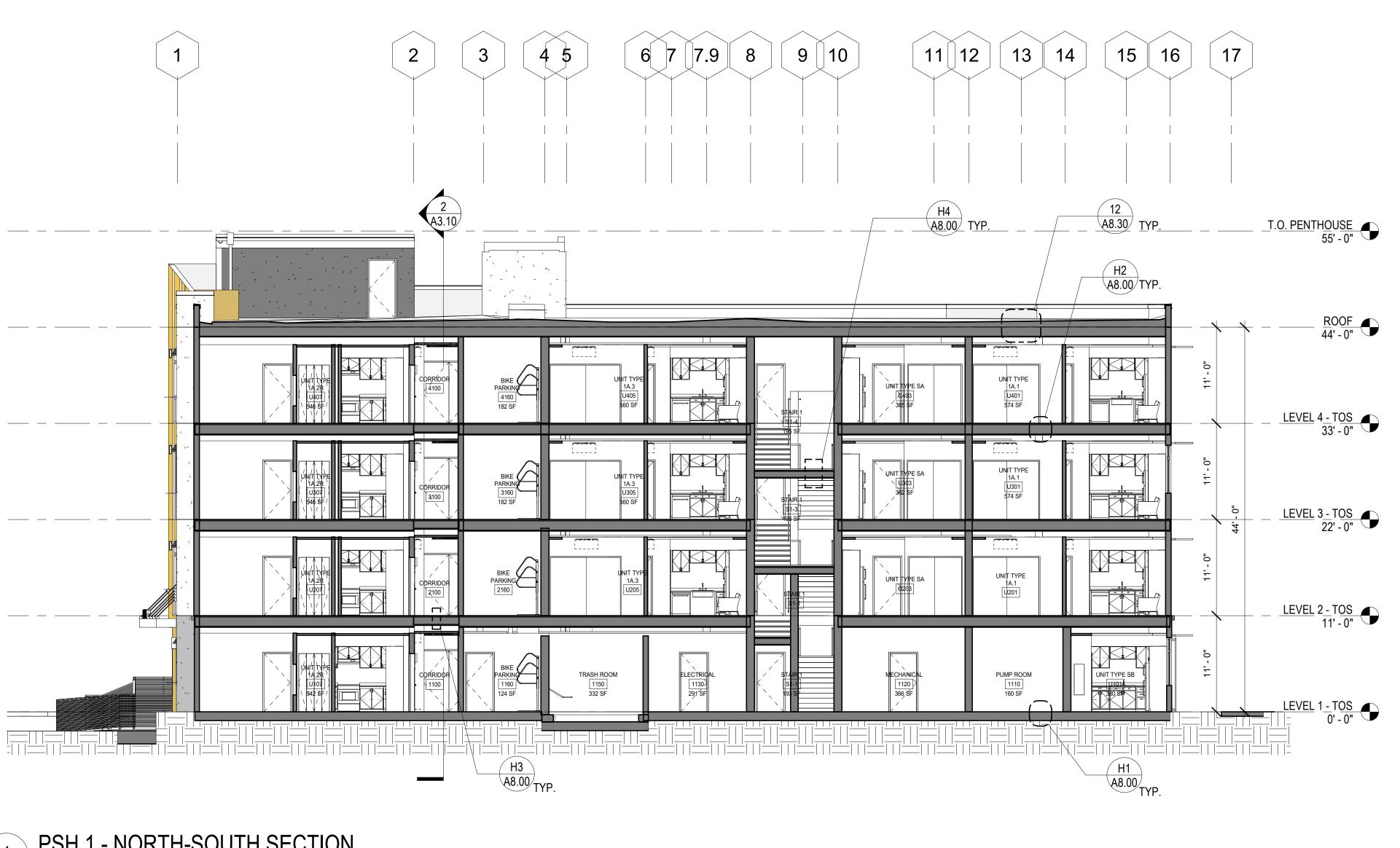
> NOTE: A UNIT'S ADDRESS IS ITS UNIT NUMBER, EXCLUDING THE QUALIFIERS "U" OR "SU"



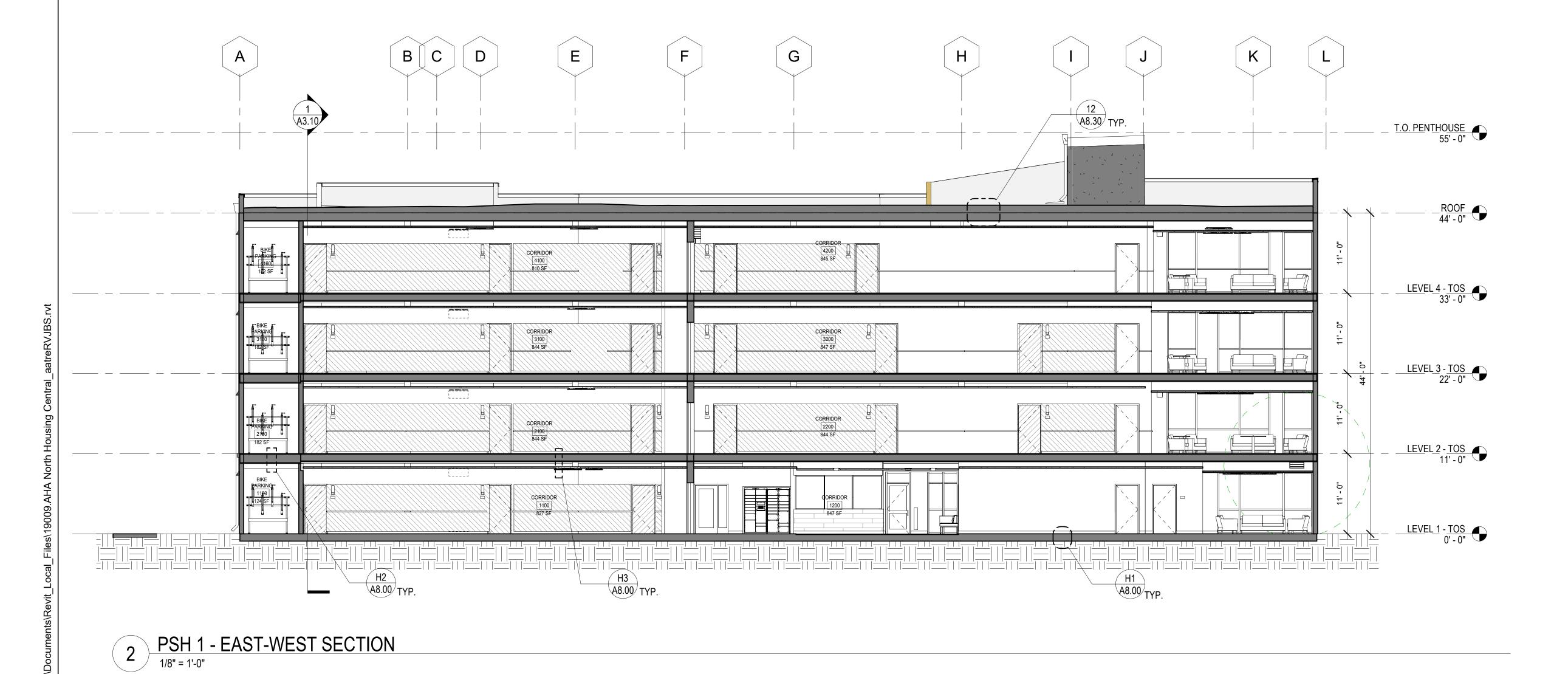
COMMUNICATION UNIT (HVI) - PER CBC 11B-809.5

	KEYNOTES
2.04	10' SAFETY SETBACK FROM PARAPET
5.06	ROOF GUTTER, SEE 14/A8.30
5.31	ROOF EDGE SCUPPER AND DOWNSPOUT, SEE 6/A8.30
7.60	ROOF MOUNTED TIE BACK ANCHOR, S.S.D. & EBM DRAWINGS. PROVIDE PIPE FLASHING PER X/XX
23.11	9" X 9" OSA VENT CAP W/ 10' RADIUS CLEARANCE. SILL HEIGHT OF 7'-9" U.O.N SUCH THAT TOP OF VENT CAP ALIGNS WITH ADJACENT DOORS / WINDOWS. PAINT TO MATCH ADJACENT WALL





1 PSH 1 - NORTH-SOUTH SECTION
1/8" = 1'-0"



North Housing, Block A

PSH PHASE 1

500 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO. 19009
DRAWN Author
CHECKED Checker

JOB CAPTAIN Approver ISSUE

DATE DESCRIPTION

1 08/27/21 ENTITLEMENT SET

2 12/8/21 SD SET

3 12/13/21 ENTITLEMENT
RESUBMITTAL #1

5 03/22/22 100% DD SET

6 08/22/22 50% CD SET 7 09/29/22 PERMIT SUBMITTAL

PSH 1 - BUILDING SECTIONS

SCALE 1/8" = 1

A3.10



North Housing,

PSH PHASE 1

500 MOSLEY AVENUE ALAMEDA, CA 94501

Author

Checker

Approver

DATE DESCRIPTION 2 12/8/21 SD SET

5 03/22/22 100% DD SET

6 08/22/22 50% CD SET

7 09/29/22 PERMIT SUBMITTAL

SCALE As indicated

North Housing,

PSH PHASE 1

500 MOSLEY AVENUE ALAMEDA, CA 94501

5 03/22/22 100% DD SET

FC-11 BRAND: TBD COLOR: KELLY MOORE FIBER CEMENT PANEL (FC-12)
BRAND: TBD
COLOR: KELLY MOORE

FIBER CEMENT PANEL (FC-14) FC-14) BRAND: TBD COLOR: COLOR: KELLY MOORE "KETTLEMAN"

"SWEET TEA"

LEGEND - EXTERIOR ELEVATION

COLOR: KELLY MOORE

COLOR: KELLY MOORE

COLOR: KELLY MOORE

CEMENT PLASTER (CP-14):

FIBER CEMENT PANEL (FC-11)

COLOR: KELLY MOORE

"ROWDY ORANGE"

"PEBBLE BEACH"

CP-13 CEMENT PLASTER (CP-13): BRAND: TBD

"KETTLEMAN"

"ORCA WHITE"

CP-14 BRAND: TBD

"ROWDY ORANGE"

CEMENT PLASTER (CP-11)
BRAND: TBD

CP-12 CEMENT PLASTER (CP-12): BRAND: TBD

GENERAL NOTES - WALL SECTION

A. SEE SHEETS A7.33 & A7.34 FOR ELEVATOR CONTROL ROOM LAYOUT, DETAILED HOISTWAY PLAN AND SECTION, AND BALANCE

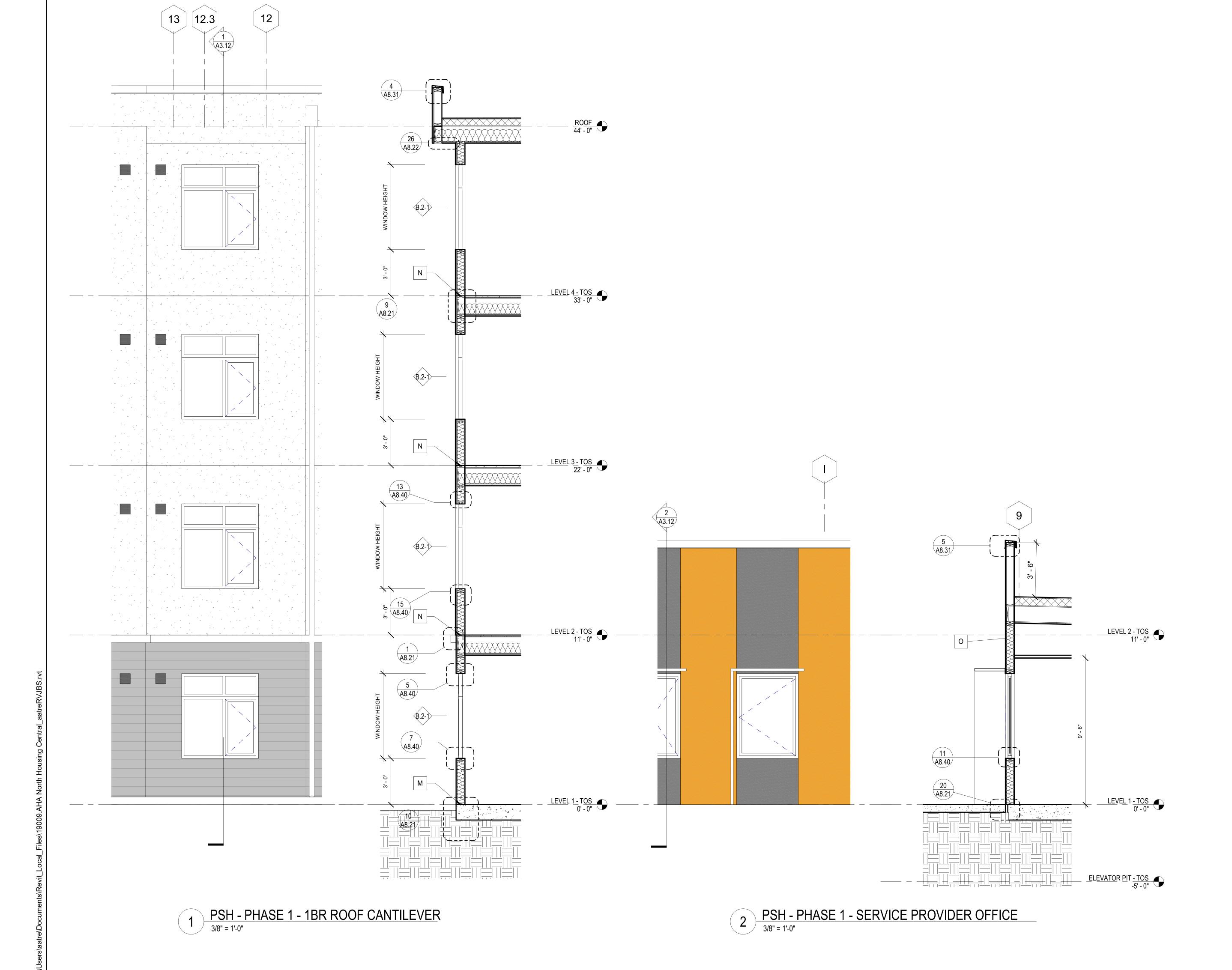
FIBER CEMENT PANEL (FC-15)
BRAND: TBD
COLOR: KELLY MOORE "ORCA

FC-16 FIBER CEMENT PANEL (FC-16)
BRAND: TBD
COLOR: KELLY MOORE "WALNUT GROVE"

FIBER CEMENT PANEL (FC-17)
BRAND: TBD COLOR: KELLY MOORE "ARMADILLO EGG"

FIBER CEMENT SIDING (FC-13)
FCL-20 BRAND: TBD COLOR: KELLY MOORE "PEBBLE BEACH"

ALUMINUM PANEL ROOF
2" STANDING SEAM AT 16" O.C.
AEP SPAN DESIGN SPAN METAL ROOFING
COLOR: ZINC GRAY



Block A

JOB NO.

DRAWN Author CHECKED Checker JOB CAPTAIN Approver

ISSUE DATE DESCRIPTION 2 12/8/21 SD SET

6 08/22/22 50% CD SET 7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE PSH 1 - WALL SECTIONS

SCALE As indicated



North Housing, Block A

PSH PHASE 1

500 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO.

DRAWN Author CHECKED Checker Approver

ISSUE

DATE DESCRIPTION 2 12/8/21 SD SET 5 03/22/22 100% DD SET

6 08/22/22 50% CD SET 7 09/29/22 PERMIT SUBMITTAL

PSH 1 - WALL SECTIONS

SCALE As indicated

North Housing, Block A

PSH PHASE 1

500 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO.

Author CHECKED Checker

JOB CAPTAIN

DESCRIPTION 5 03/22/22 100% DD SET 6 08/22/22 50% CD SET

Approver

7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE PSH 1 - WALL

SECTIONS

SCALE As indicated

PAUL M MCELWEE

538 NINTH STREET SUITE 240 • OAKLAND
T 510 625 9800 • F 510 625 9801 • WWW

North Housing, Block A

PSH PHASE 1

500 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO. 19009
DRAWN Author
CHECKED Checker
JOB CAPTAIN Approver

JOB CAPTAIN Approver

ISSUE

DATE DESCRIPTION
2 12/8/21 SD SET

3 12/13/21 ENTITLEMENT RESUBMITTAL #1 5 03/22/22 100% DD SET 6 08/22/22 50% CD SET 7 09/29/22 PERMIT SUBMITTAL

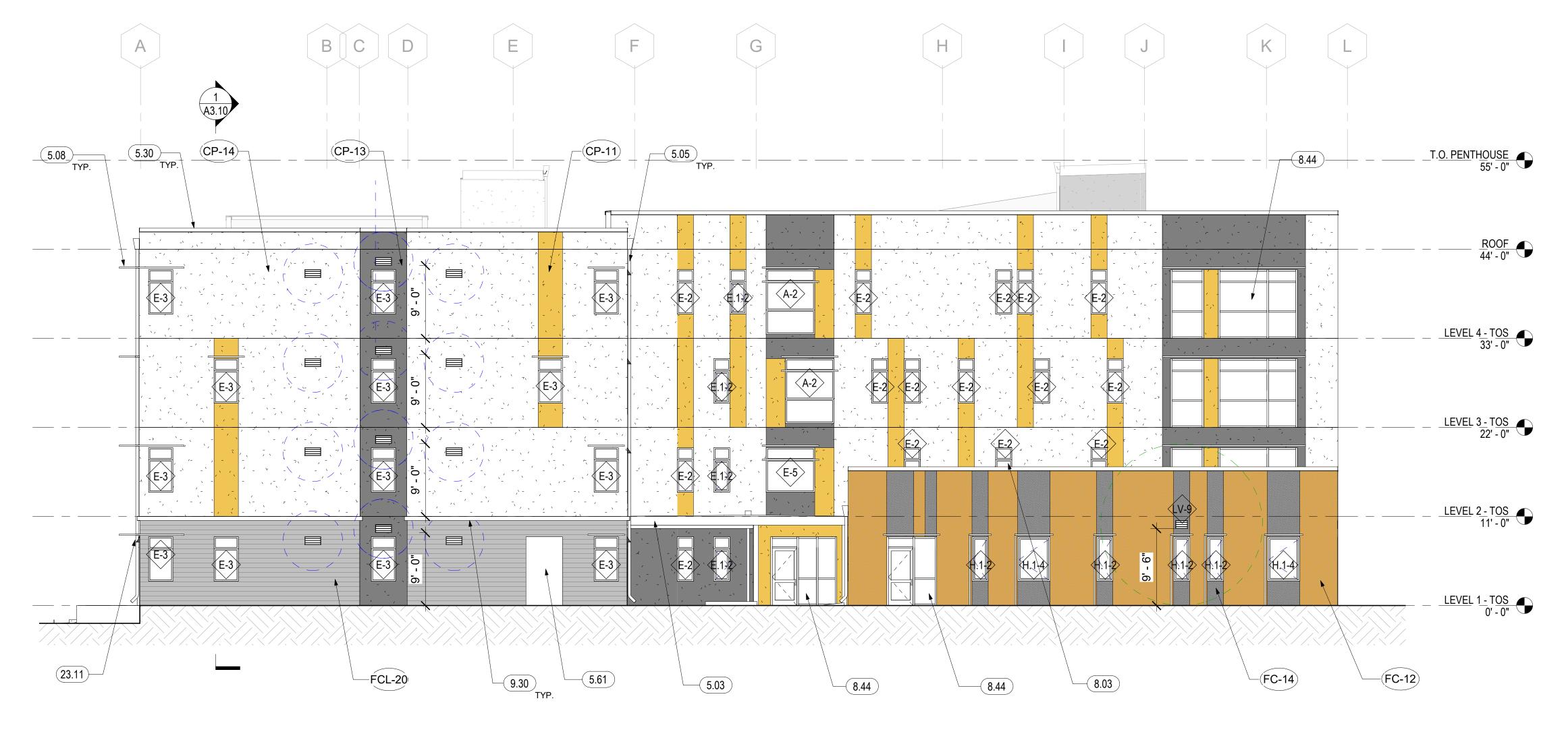
DRAWING TITLE
PSH 1 - EXTERIOR
ELEVATIONS

SCALE As indicated

A3.15
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1 PSH 1 - NORTH ELEVATION
1/8" = 1'-0"



PSH 1 - SOUTH ELEVATION

1/8" = 1'-0"

GENERAL NOTES

A. SEE SHEET A10.16 FOR WINDOW, LOUVER, & STOREFRONT SCHEDULE.

B. AT BUILDING INS/OUTS, FINISH MATERIAL TURNS CORNER AND TERMINATES AT INSIDE CORNER.

C. FOR INSTANCES WHERE VENTS/WINDOWS/DOWNSPOUTS ARE LOCATED ON WALLS NOT VISIBLE ON EXTERIOR ELEVATIONS, SEE FLOOR PLANS AND SHEET A3.48 FOR BALANCE OF INFORMATION.

D. LOUVERS ARE TYPE LV-6 U.O.N. SEE RCPS ON A6 SERIES FOR BALANCE OF INFORMATION. PAINT LOUVERS TO MATCH ADJACENT WALLS.

KEYNOTES

5.03 METAL ROOF CANOPY, SEE A8.11, S.S.D.

5.05 DOWNSPOUT, DIRECT TO WATER TREATMENT AREA, S.C.D.

5.08 ALUMINUM SUNSHADE, SEE A8.11, A8.12, A8.13

5.10 6" LETTER, SEE 7/A9.91

5.30 METAL PARAPET COPING, PAINT TO MATCH WALL, SEE X/XX

5.61 VERTICAL TRELLIS WITH LASER-CUT PATTERN, SEE XX/XX

5.62 12" TALL CANOPY SIGNAGE, SEE DETAIL 4/A9.91

8.03 90 DEGREE OPEN WINDOW, FOR MAINTENANCE ACCESS

8.44 ALUMINUM STOREFRONT, SEE WINDOW & STOREFRONT SCHEDULE

9.30 BELLY BAND, SEE 1/A8.21

23.07 8" X 8" EXHAUST VENT CAP W/ 3" RADIUS CLEARANCE. SILL HEIGHT OF 7'-10" U.O.N. SUCH THAT TOP OF VENT CAP ALIGNS WITH ADJACENT DOORS / WINDOWS. PAINT TO MATCH ADJACENT WALL

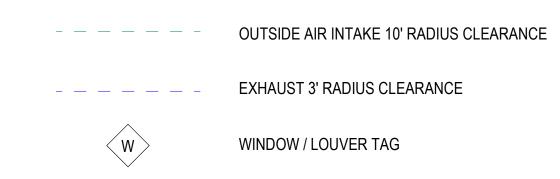
23.11 9" X 9" OSA VENT CAP W/ 10" RADIUS CLEARANCE. SILL HEIGHT OF 7'-9" U.O.N SUCH THAT TOP OF VENT CAP ALIGNS WITH ADJACENT DOORS / WINDOWS. PAINT TO MATCH ADJACENT WALL

26.72 EXTERIOR BUILDING LIGHT, S.E.D., MOUNTED AT 5'-11" A.F.F. SO TOP OF LIGHT IS ALIGNED WITH TOP OF ADJACENT WINDOWS.

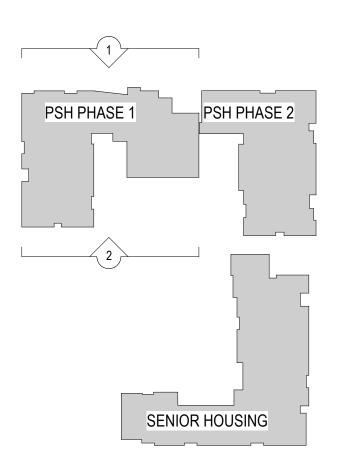
ELEVATION MATERIAL LEGEND

(CP-11)	CEMENT PLASTER (CP-11) BRAND: TBD COLOR: KELLY MOORE "ROWDY ORANGE"	(FC-11)	FIBER CEMENT PANEL (FC-11) BRAND: TBD COLOR: KELLY MOORE "ROWDY ORANGE"	(FC-16)	FIBER CEMENT PANEL (FC-16) BRAND: TBD COLOR: KELLY MOORE "WALNUT GROVE"
(CP-12)	CEMENT PLASTER (CP-12): BRAND: TBD COLOR: KELLY MOORE "PEBBLE BEACH"	FC-12	FIBER CEMENT PANEL (FC-12) BRAND: TBD COLOR: KELLY MOORE "SWEET TEA"	FC-17	FIBER CEMENT PANEL (FC-17) BRAND: TBD COLOR: KELLY MOORE "ARMADILLO EGG"
(CP-13)	CEMENT PLASTER (CP-13): BRAND: TBD COLOR: KELLY MOORE "KETTLEMAN"	FC-14)	FIBER CEMENT PANEL (FC-14) BRAND: TBD COLOR: COLOR: KELLY MOORE "KETTLEMAN"	FCL-20	FIBER CEMENT SIDING (FC-13) BRAND: TBD COLOR: KELLY MOORE "PEBBLE BEACH"
(CP-14)	CEMENT PLASTER (CP-14): BRAND: TBD COLOR: KELLY MOORE "ORCA WHITE"	FC-15	FIBER CEMENT PANEL (FC-15) BRAND: TBD COLOR: KELLY MOORE "ORCA WHITE"		

ELEVATION LEGEND



KEY PLAN



GENERAL NOTES

A. SEE SHEET A10.16 FOR WINDOW, LOUVER, & STOREFRONT SCHEDULE.

B. AT BUILDING INS/OUTS, FINISH MATERIAL TURNS CORNER AND TERMINATES AT INSIDE CORNER.

PLANS AND SHEET A3.48 FOR BALANCE OF INFORMATION.

D. LOUVERS ARE TYPE LV-6 U.O.N. SEE RCPS ON A6 SERIES FOR BALANCE OF INFORMATION. PAINT LOUVERS TO MATCH ADJACENT WALLS.

	KEYNOTES
5.02	METAL GUARDRAIL, S.L.D.
5.03	METAL ROOF CANOPY, SEE A8.11, S.S.D.
5.05	DOWNSPOUT, DIRECT TO WATER TREATMENT AREA, S.C.D.
5.08	ALUMINUM SUNSHADE, SEE A8.11, A8.12, A8.13
5.30	METAL PARAPET COPING, PAINT TO MATCH WALL, SEE X/XX
8.31	GARAGE DOOR, SEE DOOR SCHEDULE
8.44	ALUMINUM STOREFRONT, SEE WINDOW & STOREFRONT SCHEDULE
9.30	BELLY BAND, SEE 1/A8.21
23.08	MECHANICAL LOUVER, S.M.D., PAINT TO MATCH ADJACENT WALL
23.11	9" X 9" OSA VENT CAP W/ 10' RADIUS CLEARANCE. SILL HEIGHT OF 7'-9" U.O.N SUCH THAT TOP OF VENT CAP ALIGNS WITH ADJACENT DOORS / WINDOWS. PAINT TO MATCH ADJACENT WALL

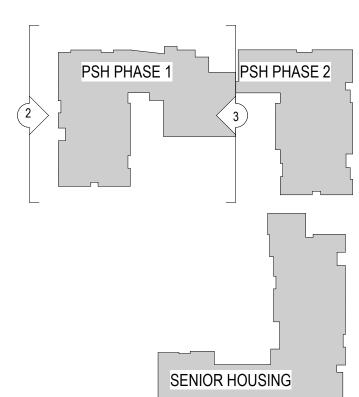
ELEVATION MATERIAL LEGEND

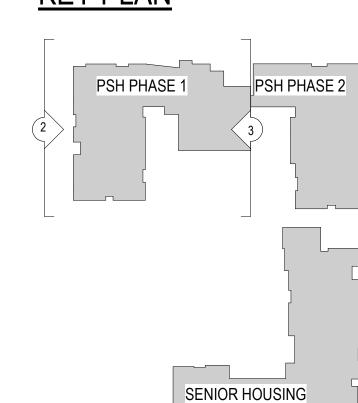
(CP-11)	CEMENT PLASTER (CP-11) BRAND: TBD COLOR: KELLY MOORE "ROWDY ORANGE"	FC-11)	FIBER CEMENT PANEL (FC-11) BRAND: TBD COLOR: KELLY MOORE "ROWDY ORANGE"	(FC-16)	FIBER CEMENT PANEL (FC-16) BRAND: TBD COLOR: KELLY MOORE "WALNUT GROVE"
(CP-12)	CEMENT PLASTER (CP-12): BRAND: TBD COLOR: KELLY MOORE "PEBBLE BEACH"	FC-12	FIBER CEMENT PANEL (FC-12) BRAND: TBD COLOR: KELLY MOORE "SWEET TEA"	FC-17	FIBER CEMENT PANEL (FC-17) BRAND: TBD COLOR: KELLY MOORE "ARMADILLO EGG"
(CP-13)	CEMENT PLASTER (CP-13): BRAND: TBD COLOR: KELLY MOORE "KETTLEMAN"	FC-14)	FIBER CEMENT PANEL (FC-14) BRAND: TBD COLOR: COLOR: KELLY MOORE "KETTLEMAN"	FCL-20	FIBER CEMENT SIDING (FC-13 BRAND: TBD COLOR: KELLY MOORE "PEBBLE BEACH"
(CP-14)	CEMENT PLASTER (CP-14): BRAND: TBD COLOR: KELLY MOORE "ORCA WHITE"	FC-15	FIBER CEMENT PANEL (FC-15) BRAND: TBD COLOR: KELLY MOORE "ORCA WHITE"		

ELEVATION LEGEND

	OUTSIDE AIR INTAKE 10' RADIUS CLEARANCE
	EXHAUST 3' RADIUS CLEARANCE
⟨w⟩	WINDOW / LOUVER TAG

KEY PLAN





PSH PHASE 1

Block A

North Housing,

500 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO. Author DRAWN Checker CHECKED JOB CAPTAIN Approver ISSUE

DATE DESCRIPTION 2 12/8/21 SD SET 3 12/13/21 ENTITLEMENT RESUBMITTAL #1 5 03/22/22 100% DD SET 6 08/22/22 50% CD SET 7 09/29/22 PERMIT SUBMITTAL

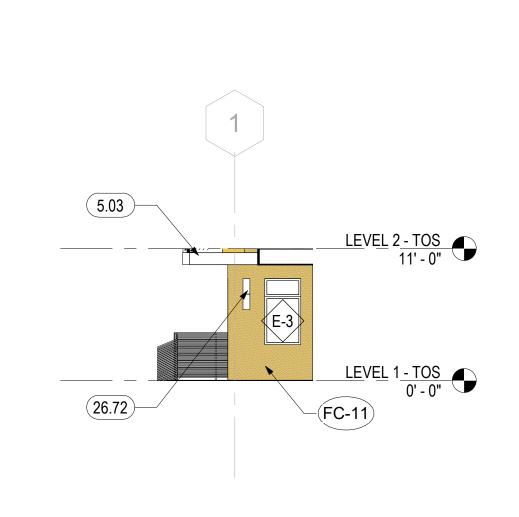
DRAWING TITLE PSH 1 - EXTERIOR **ELEVATIONS**





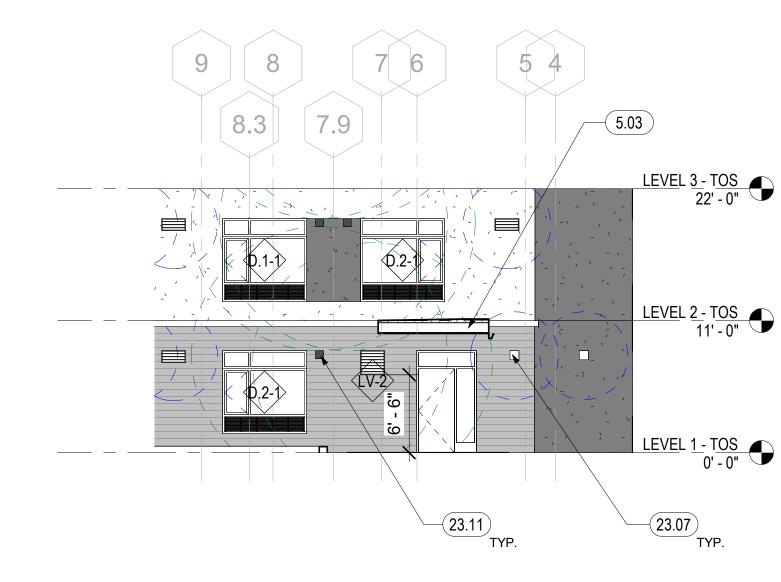
2 PSH 1 - WEST ELEVATION

1/8" = 1'-0"



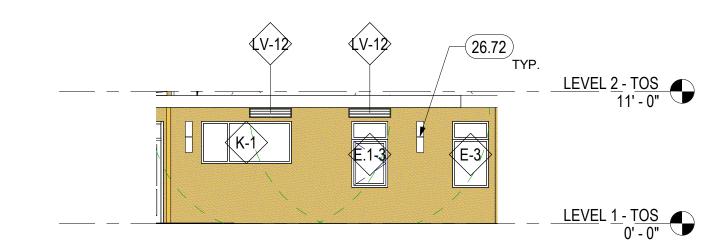
PSH 1 - GL 1/H

1/8" = 1'-0"



PSH 1 - EAST ELEVATION AT GL G 2 <u>Foi.</u>
1/8" = 1'-0"

3 PSH 1 - ANGLED WALL ABOVE LOBBY 1/8" = 1'-0"



GENERAL NOTES

A. SEE SHEET A10.16 FOR WINDOW, LOUVER, & STOREFRONT SCHEDULE.

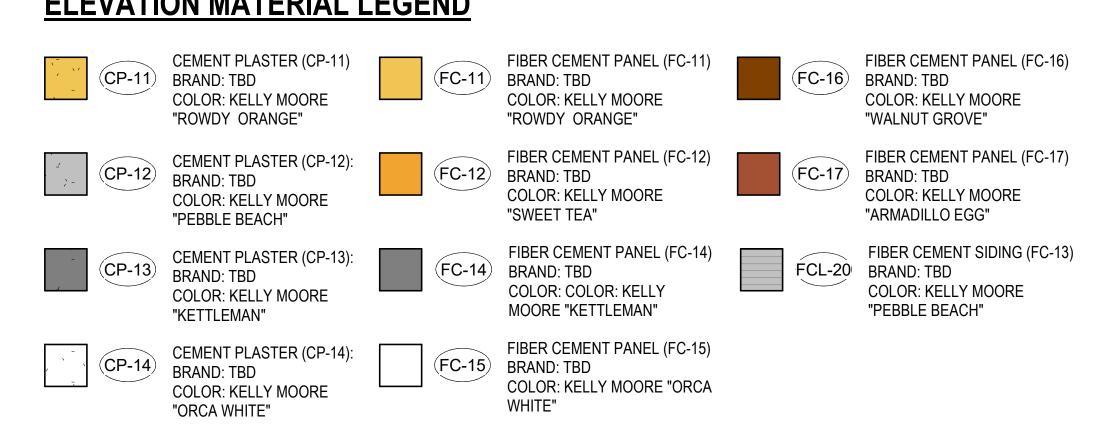
B. AT BUILDING INS/OUTS, FINISH MATERIAL TURNS CORNER AND TERMINATES AT INSIDE CORNER.

C. FOR INSTANCES WHERE VENTS/WINDOWS/DOWNSPOUTS ARE LOCATED ON WALLS NOT VISIBLE ON EXTERIOR ELEVATIONS, SEE FLOOR PLANS AND SHEET A3.48 FOR BALANCE OF INFORMATION.

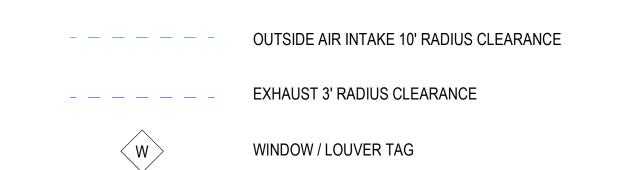
D. LOUVERS ARE TYPE LV-6 U.O.N. SEE RCPS ON A6 SERIES FOR BALANCE OF INFORMATION. PAINT LOUVERS TO MATCH ADJACENT WALLS.

KEYNOTES METAL ROOF CANOPY, SEE A8.11, S.S.D. 8" X 8" EXHAUST VENT CAP W/ 3' RADIUS CLEARANCE. SILL HEIGHT OF 7'-10" U.O.N. SUCH THAT TOP OF VENT CAP ALIGNS WITH ADJACENT DOORS / WINDOWS. PAINT TO MATCH ADJACENT WALL 9" X 9" OSA VENT CAP W/ 10' RADIUS CLEARANCE. SILL HEIGHT OF 7'-9" U.O.N SUCH THAT TOP OF VENT CAP ALIGNS WITH ADJACENT DOORS / WINDOWS. PAINT TO MATCH ADJACENT WALL EXTERIOR BUILDING LIGHT, S.E.D., MOUNTED AT 5'-11" A.F.F. SO TOP OF LIGHT IS ALIGNED WITH TOP OF ADJACENT WINDOWS.

ELEVATION MATERIAL LEGEND



ELEVATION LEGEND



North Housing, Block A

PAUL M MCELWEE

PSH PHASE 1

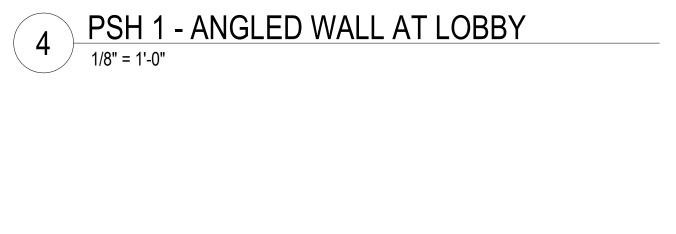
500 MOSLEY AVENUE ALAMEDA, CA 94501 JOB NO. Author DRAWN Checker CHECKED JOB CAPTAIN Approver

ISSUE DESCRIPTION 6 08/22/22 50% CD SET 7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE PSH 1 - BUILDING **ELEVATIONS**

PSH PHASE 1 PSH PHASE 2

SENIOR HOUSING

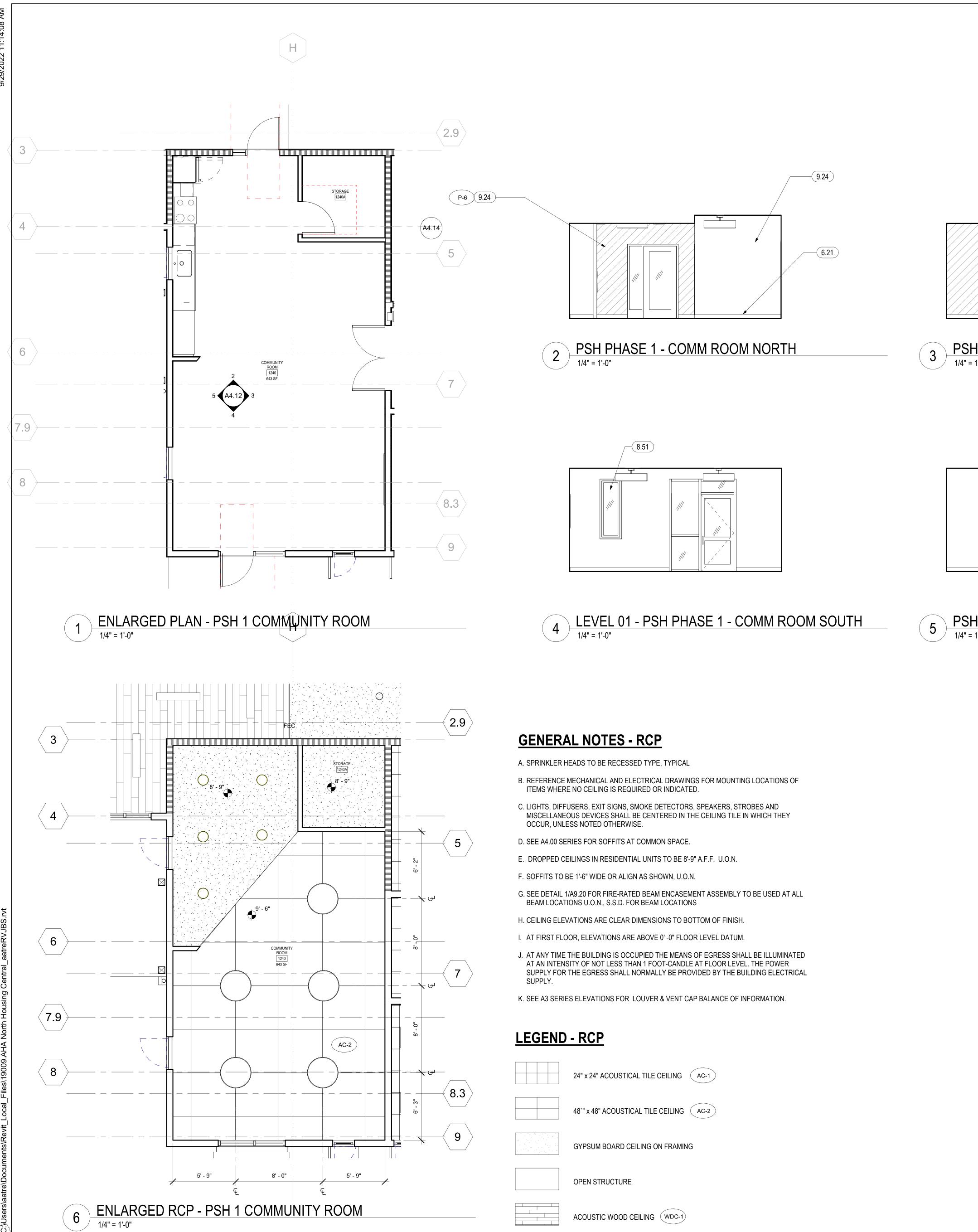




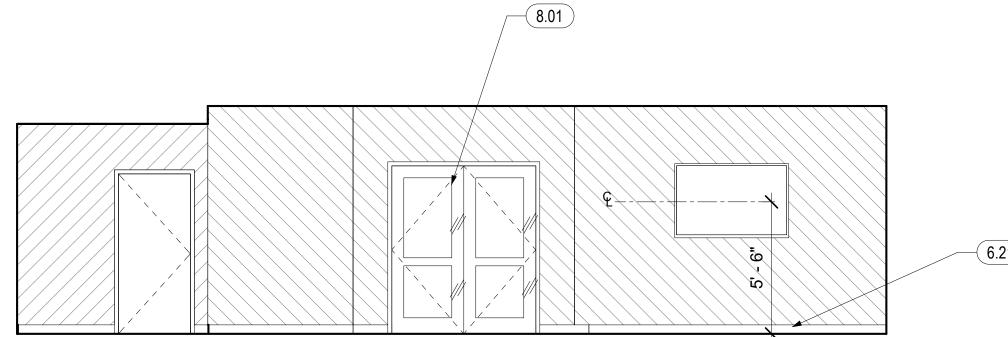
ENLARGED RCP - PSH 1 LOBBY

1/4" = 1'-0"

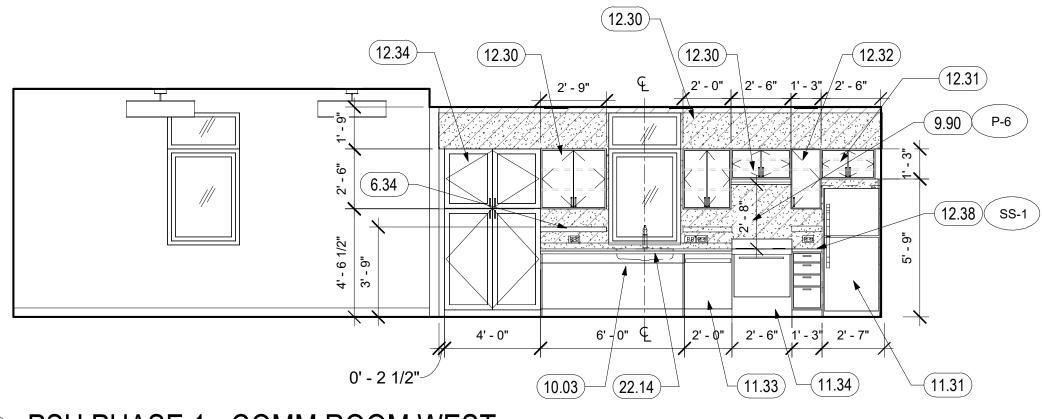
SCALE As indicated



ACOUSTIC WOOD CEILING WDC-1



3 PSH PHASE 1 - COMM ROOM EAST



5 PSH PHASE 1 - COMM ROOM WEST

1/4" = 1'-0"

GENERAL NOTES - INTERIOR ELEVATIONS PSH PHASE 1

KEYNOTES

6.21 WALL BASE, SEE SCHEDULE AND SPECS

8.01 DOOR. SEE DOOR SCHEDULE

11.33 24" DISHWASHER, SEE SPEC

FINISH PER SPEC

FINISH PER SPEC

SCHEDULE

WHERE SHOWN

9.24 GYP. BOARD - PAINT TYP

6.34 6" DEEP SHELF W/ CONCEALED BRACKET, SEE

8.51 EXTERIOR WINDOW - SEE WINDOW SCHEDULE

9.90 ACCENT PAINT WALL, SEE FINISH SCHEDULE 10.03 CLEAR KNEE SPACE INSIDE (SINK BOX) CABINET,

CABINETS, SEE DETAIL 26/A9.60

PROVIDE PLYWOOD APRON/PIPE INSULATION. FACES

TO BE SOLID WOOD PANEL FINISH TO MATCH

11.31 REFRIGERATOR, SEE SPEC. CONTINUE FLOORING AND WALL BASE INTO APPLIANCE SPACE.

CONTROLS ON THE FRONT PANEL, SEE SPEC. 12.30 MFR. 12" DEEP DOUBLE DOOR UPPER CABINET W/ (2) HEIGHT ADJ. SHELVES - FINISH PER SPEC

| 12.31 | MFR. 24" DEEP DOUBLE DOOR UPPER CABINET -

12.32 MFR. 12" DEEP SINGLE DOOR UPPER CABINET -

12.34 24" DEEP DOUBLE DOOR PANTRY CABINET WITH (5) HEIGHT ADJ. SHELVES AND LOCKS, SEE FIN.

12.38 | SOLID SURFACE COUNTERTOP, 4"H BACKSPLASH

22.14 SINK WITH GARBAGE DISPOSAL, S.P.D.

11.34 30" FREE STANDING ELECTRIC RANGE, WITH

A. SEE SHEETS A7.33 & A7.34 FOR ELEVATOR CONTROL ROOM LAYOUT, DETAILED HOISTWAY PLAN AND SECTION, AND BALANCE



North Housing, Block A

500 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO.

DRAWN CHECKED Checker

JOB CAPTAIN

ISSUE DESCRIPTION

2 12/8/21 SD SET 5 03/22/22 100% DD SET

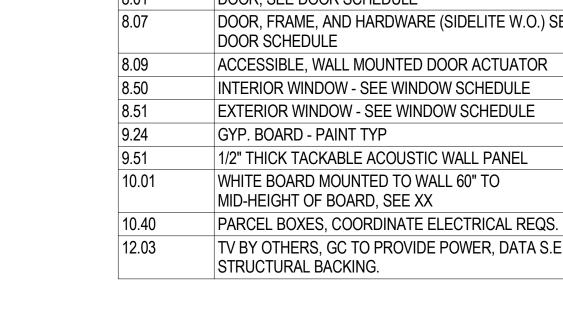
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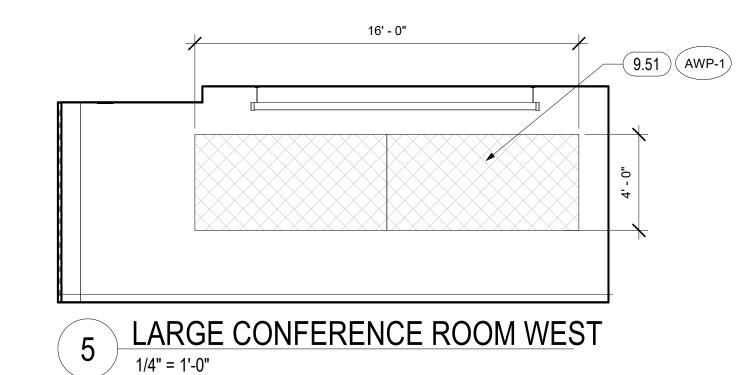
7 09/29/22 PERMIT SUBMITTAL

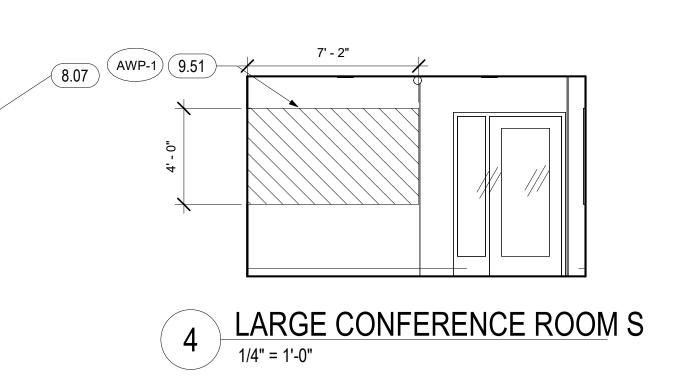
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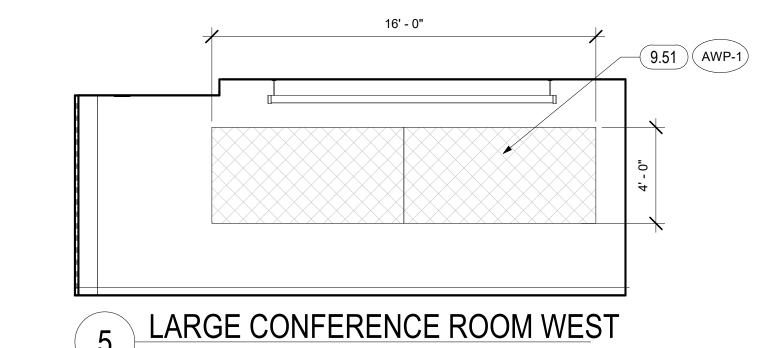
PSH 1 - ENLARGED **COMMUNITY ROOM** PLAN & INT. **ELEVATIONS**

SCALE As indicated



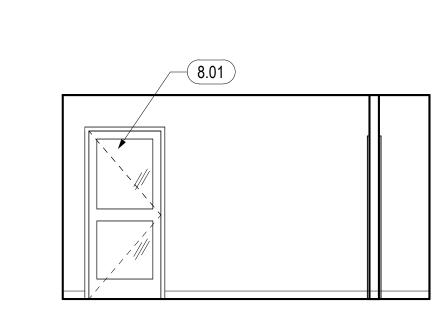


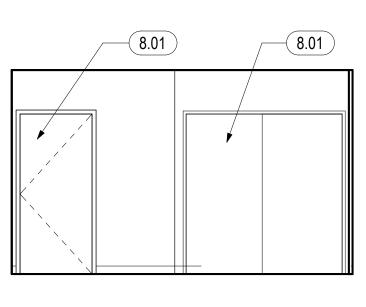


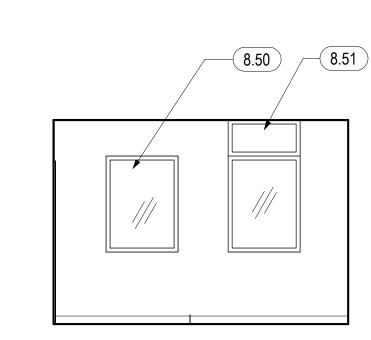




2 LARGE CONFERENCE ROOM N
1/4" = 1'-0"









8.09

6.21

8.51



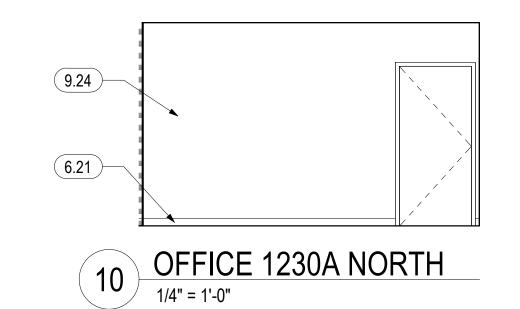
8' - 0"

3 LARGE CONFERENCE ROOM E
1/4" = 1'-0"

6.21

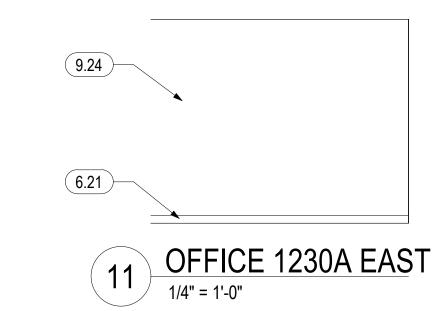
MGMT OFFICE SOUTH
1/4" = 1'-0"

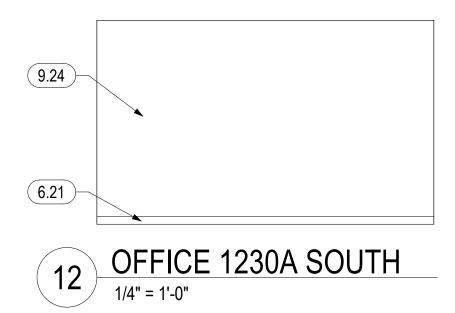
MGMT OFFICE WEST

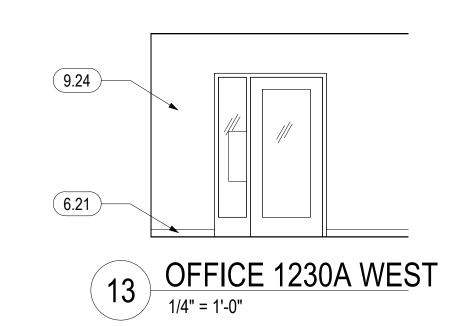


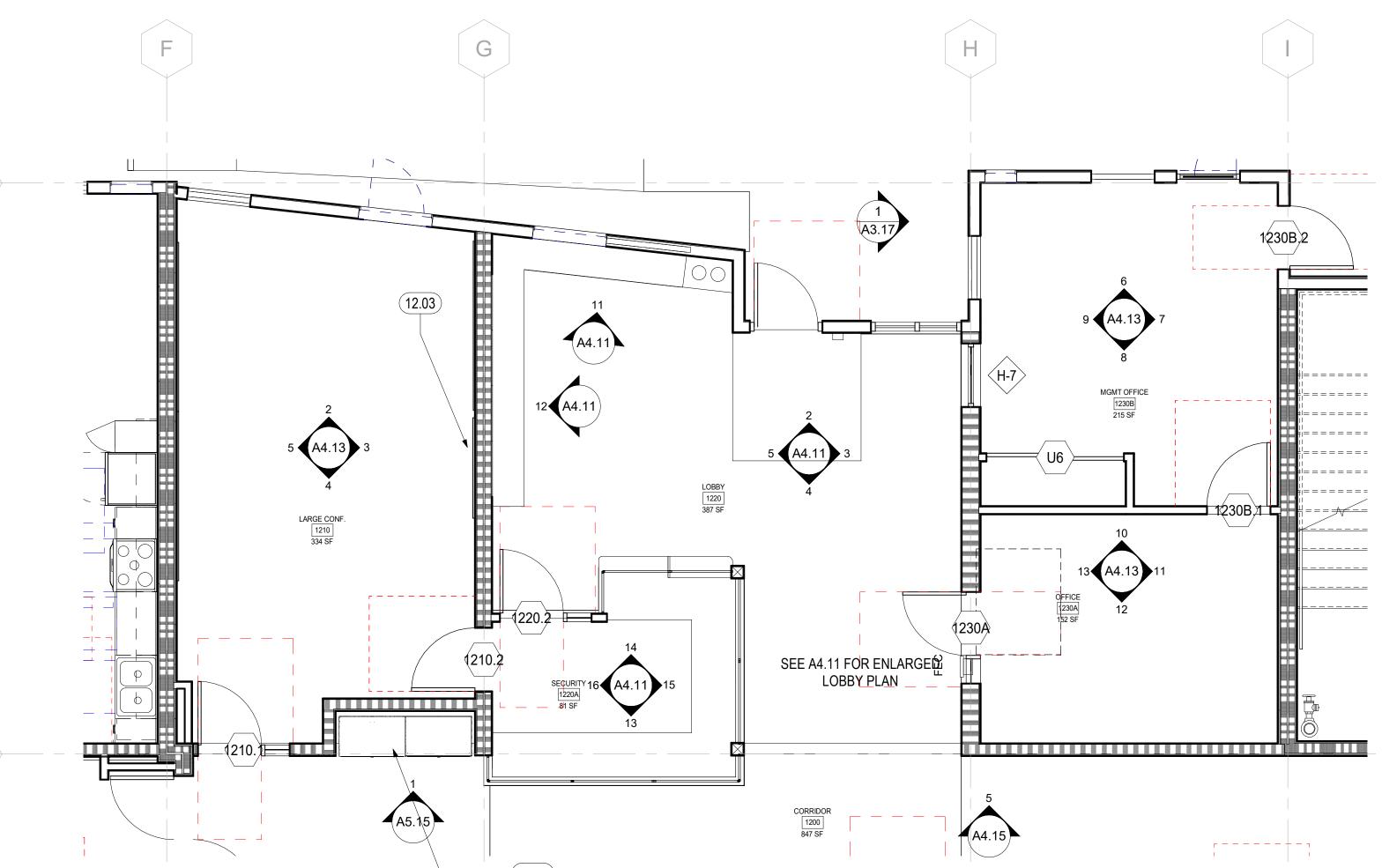
ENLARGED PLAN - PSH 1 OFFICE SUITE

1/4" = 1'-0"











North Housing, Block A

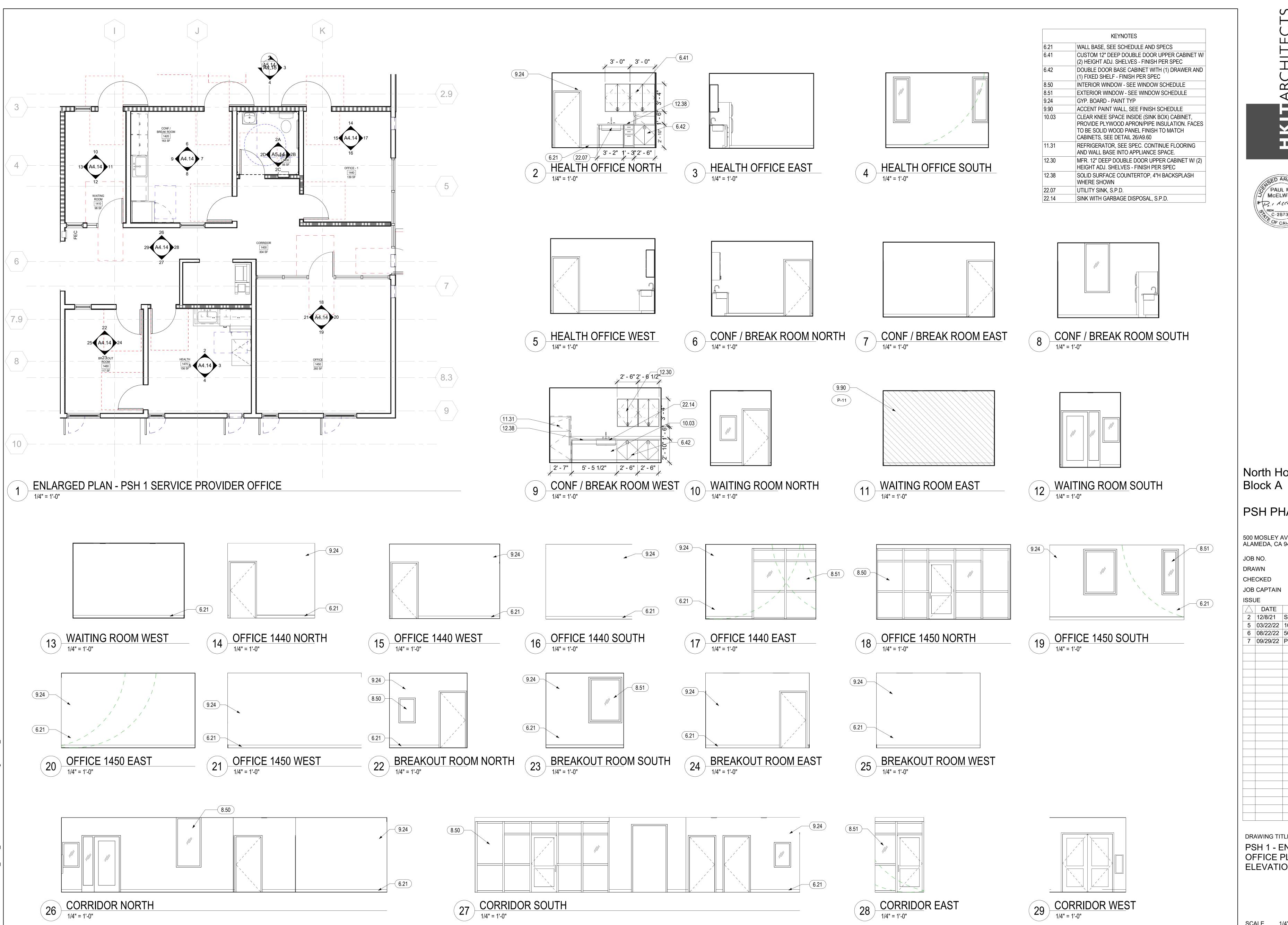
PSH PHASE 1

500 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO. Author DRAWN CHECKED Checker JOB CAPTAIN

JOB	CAPTAIN	Approver
ISSL	JE	
	DATE	DESCRIPTION
2	12/8/21	SD SET
5	03/22/22	100% DD SET
6	08/22/22	50% CD SET
7	09/29/22	PERMIT SUBMITT
1		

DRAWING TITLE PSH 1 - ENLARGED OFFICE PLAN & INT. **ELEVATIONS**



PAUL M MCELWEE

North Housing, Block A

PSH PHASE 1

500 MOSLEY AVENUE ALAMEDA, CA 94501

CHECKED Checker

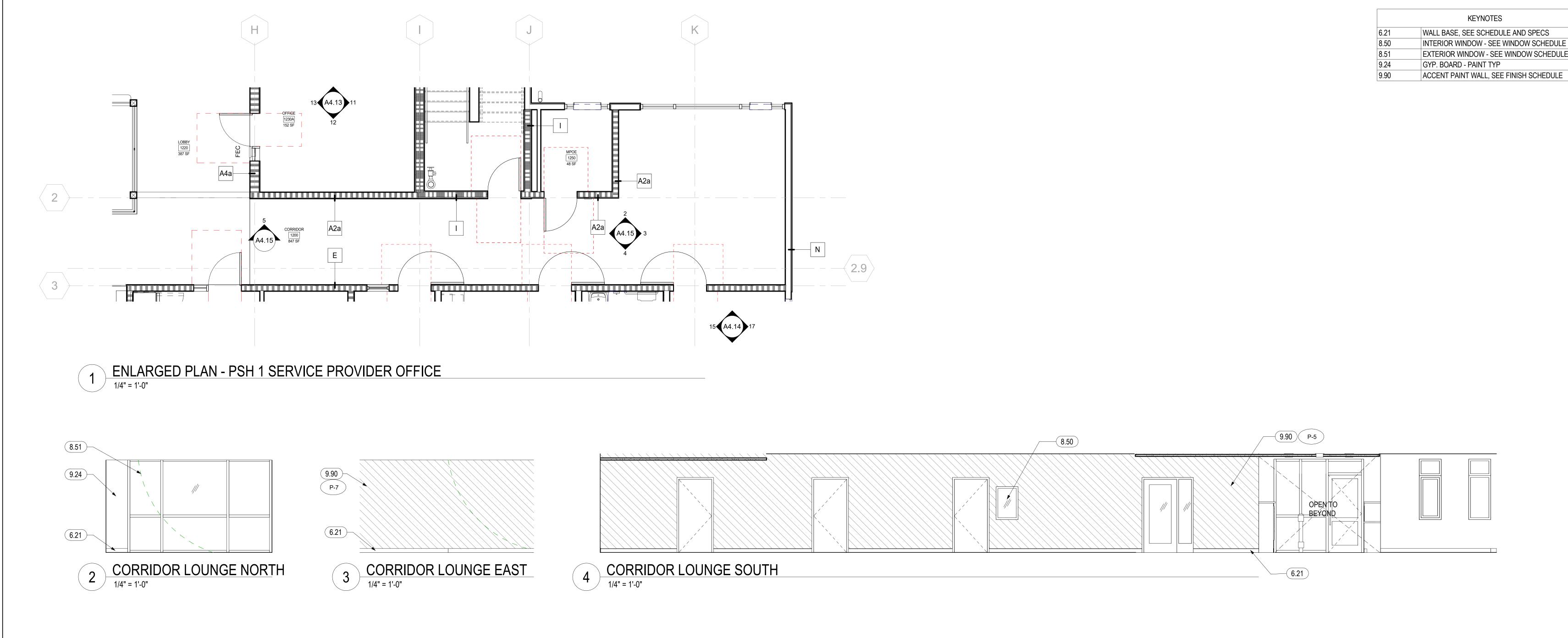
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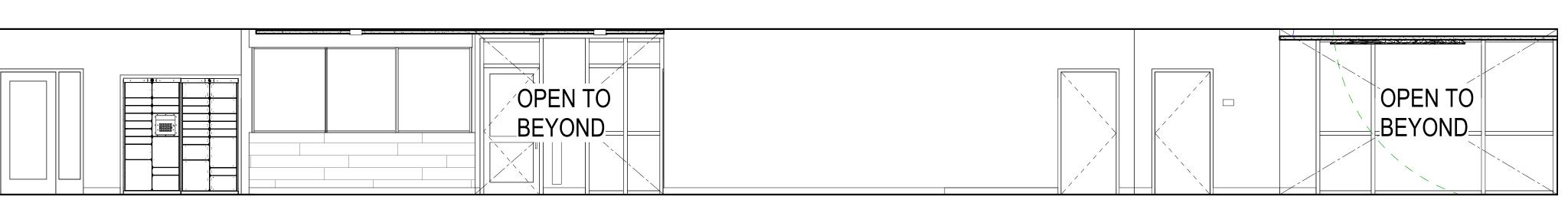
DRAWING TITLE PSH 1 - ENLARGED OFFICE PLAN 2 & INT. ELEVATIONS

SCALE 1/4" = 1'-0"









5 PSH 1 LEVEL 1 - NORTH CORRIDOR LOBBY

1/4" = 1'-0"

North Housing, Block A

PSH PHASE 1

500 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO. Author DRAWN

CHECKED Checker JOB CAPTAIN Approver

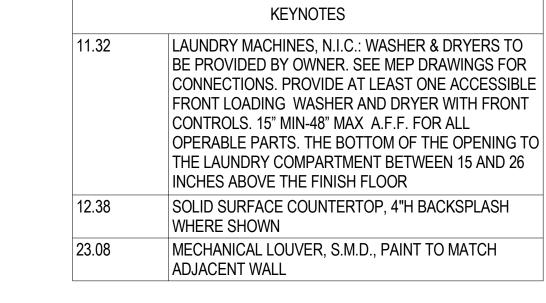
ISSUE

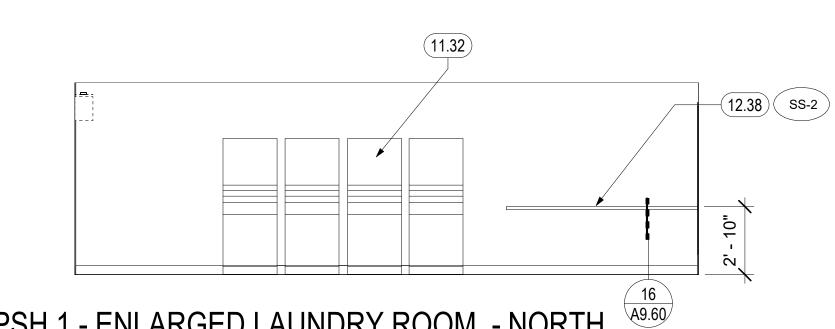
DATE DESCRIPTION 6 08/22/22 50% CD SET 7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE PSH 1 - CORRIDOR LOUNGE PLAN 2 & INT. ELEVATIONS

SCALE 1/4" = 1'-0"

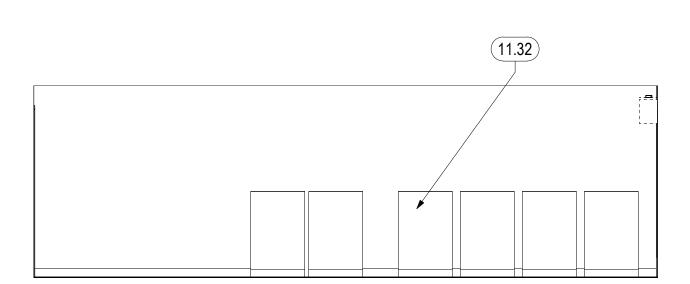




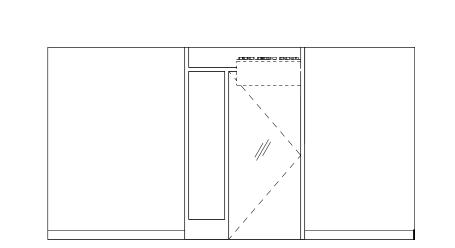




1 ENLARGED PLAN - PSH 1 LAUNDRY ROOM
1/4" = 1'-0"







3 PSH 1 - ENLARGED LAUNDRY ROOM - EAST

1/4" = 1'-0"

5 PSH 1 - ENLARGED LAUNDRY ROOM - WEST

North Housing, Block A

PSH PHASE 1

500 MOSLEY AVENUE ALAMEDA, CA 94501

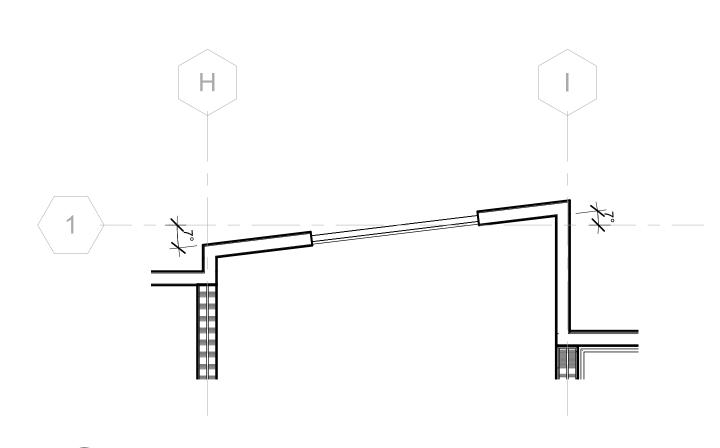
JOB NO. DRAWN Author Checker CHECKED

JOB CAPTAIN

JOB	CAPTAIN	Approver
ISSL	JE	
	DATE	DESCRIPTION
6	08/22/22	50% CD SET
7	09/29/22	PERMIT SUBMITTAL

DRAWING TITLE PSH 1 - ENLARGED LAUNDRY ROOM PLAN & INT. **ELEVATIONS**

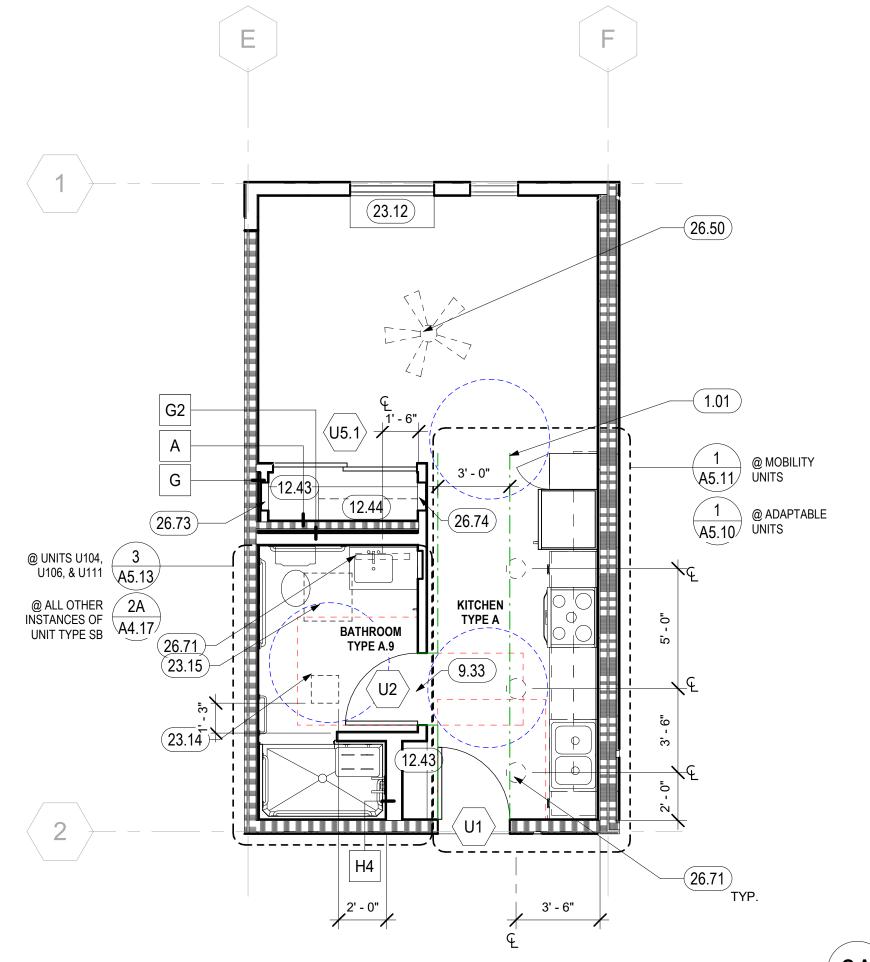
SCALE 1/4" = 1'-0"

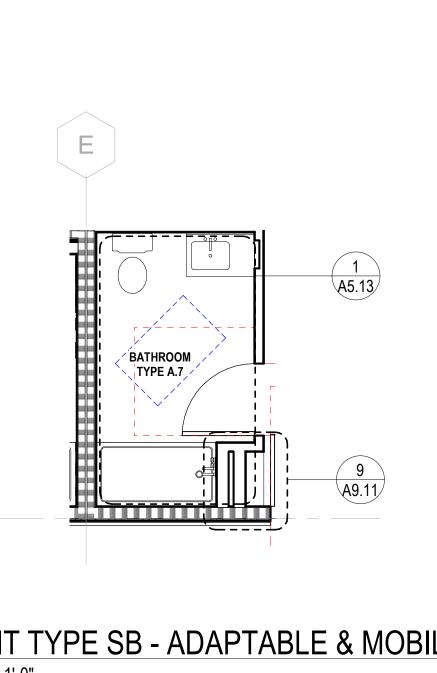


1A UNIT TYPE SA.1 - MOBILITY & ADAPTABLE

1/4" = 1'-0"

1 UNIT TYPE SA - MOBILITY, ADAPTABLE, HVI



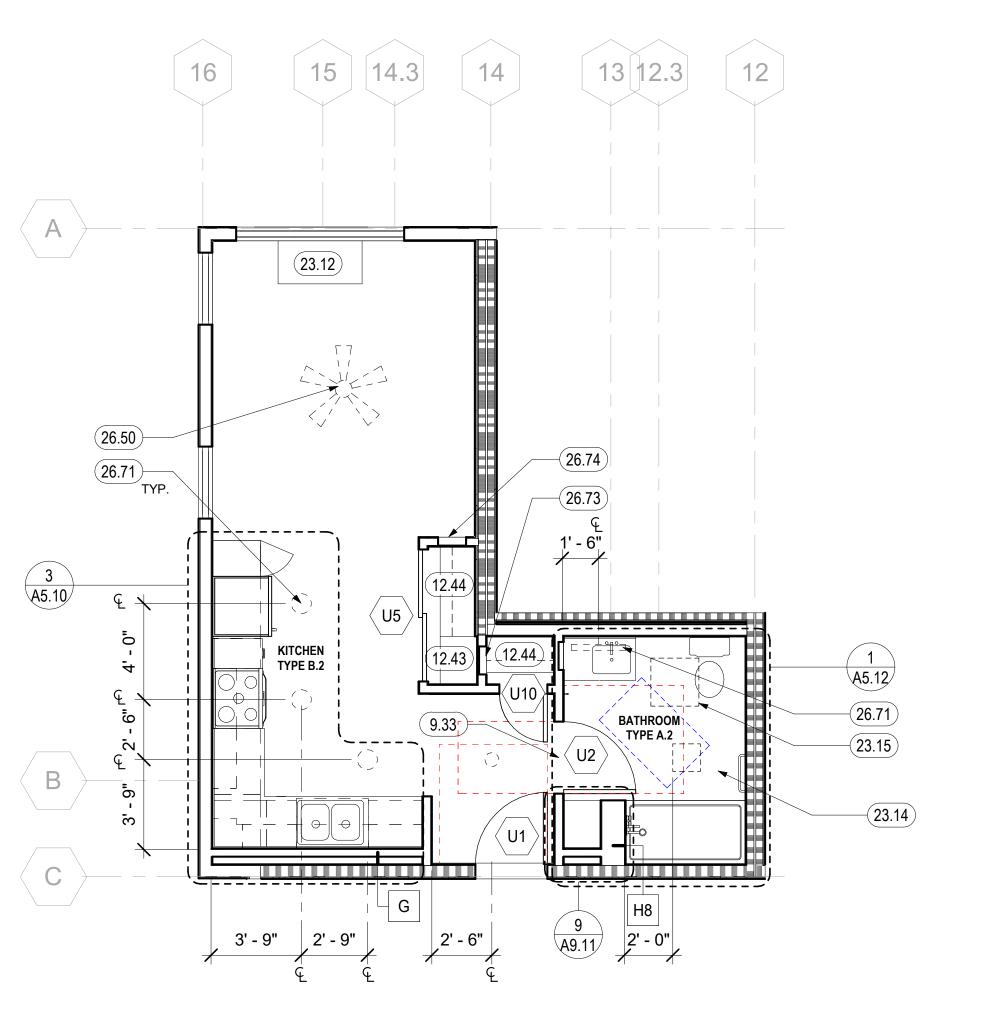


UNIT TYPE SB - ADAPTABLE & MOBILITY

1/4" = 1'-0"

2 UNIT TYPE SB - MOBILITY & ADAPTABLE

1/4" = 1'-0"



3 UNIT TYPE SC - ADAPTABLE

1/4" = 1'-0"

GENERAL NOTES - UNIT PLANS

- A. MULTIPLE VARIATIONS OF UNIT TYPES OCCUR. REFER TO 1/8" PLANS FOR EXACT CONFIGURATIONS AND DIMENSIONS.
- ALL WALLS TO BE TYPE "H" ON FLOORS 1-4 U.O.N. FOR ALL EXTERIOR, CORRDIOR, AND PARTY WALL INFORMATION. SEE OVERALL FLOOR PLANS.
- FOR INTERIOR FINISHES, SEE FINISH SCHEDULE.
- D. PROVIDE WINDOW BLINDS AND SCREENS AT ALL UNIT WINDOWS.
- FOR WINDOW TYPES, SEE 1/8" PLANS
- FOR HVAC, SEE MECHANICAL DRAWINGS
- FOR LOCATIONS OF MOBILITY & COMMUNICATION (HVI) UNITS SEE OVERALL PLANS AND UNIT SCHEDULE ON GENERAL SHEETS
- GENERAL CONTRACTOR SHALL CREATE AN ILLUSTRATIVE STEP BY STEP INSTRUCTION GUIDE FOR ADAPTING THE KITCHEN CABINETRY FOR WHEELCHAIR USERS. MOCK UP INSPECTION IS REQUIRED FOR REMOVABLE BASE CABINETS BEFORE INSTALLATION.
- CLEAR DIMENSIONS WITHIN UNIT ARE TO FINISH FACE OF WALL. DIMENSION AT DOOR JAMB 4" TYPICALLY & MINIMALLY.
- ALL CONTROLS/ SWITCHES SHALL BE LOCATED BETWEEN 15" & 48" ABOVE FINISH FLOOR PER CBC 1136A.2, SEE ELECTRICAL DRAWINGS.
- K. FOR DOOR CLEARANCES, SEE A9.90.
- FOR LIGHT FIXTURE INFORMATION SEE ELECTRICAL DRAWINGS. LIGHTING FIXTURES ARE TO BE CENTERED IN THE ROOM, U.O.N.
- PROVIDE A MEANS FOR VISUALLY IDENTIFYING A VISITOR WITHOUT OPENING THE UNIT ENTRY DOOR. PROVIDED SHALL ALLOW FOR A MINIMUM 180 DEGREE RANGE OF VIEW PER CBC 11B-809.5.5.2. AT LEASE ONE MEANS OF IDENTIFYING TO BE PROVIDED AT EACH UNIT.
- N. FOR UNIT KITCHEN P& BATHROOM PLANS SEE A5 SERIES SHEETS
- FAN COIL UNITS SHALL BE CENTERED ABOVE CLOSET DOORS U.O.N.

	KEYNOTES
1.01	ACCESSIBLE ROUTE THROUGH UNIT PER CBC 11B-809.2.1, APPLICABLE AT MOBILITY UNITS
9.33	FLOORING TRANSITION, SEE FINISH SCHEDULE
12.43	LINEN CLOSET, SEE 2/A9.61
12.44	CLOSET WITH WIRE SHELVING AND HANGER ROD, SEE 1/A9.61
23.12	WINDOW FRAME-INTEGRATED PTAC UNIT, SEE 4/8.40, S.M.D.
23.14	EXHAUST FAN, S.M.D.
23.15	CEILING ACCESS PANEL, LOCATE BELOW CEILING SUPPLY FAN, S.M.D., VERIFY LOCATION IN FIELD
26.50	FAN/LIGHT COMBO, S.E.D.
26.71	LIGHT FIXTURE, S.E.D.
26.73	MEDIA BOX, S.E.D.
26.74	UNIT LOAD CENTER, S.E.D.

ENLARGED UNIT PLAN LEGEND

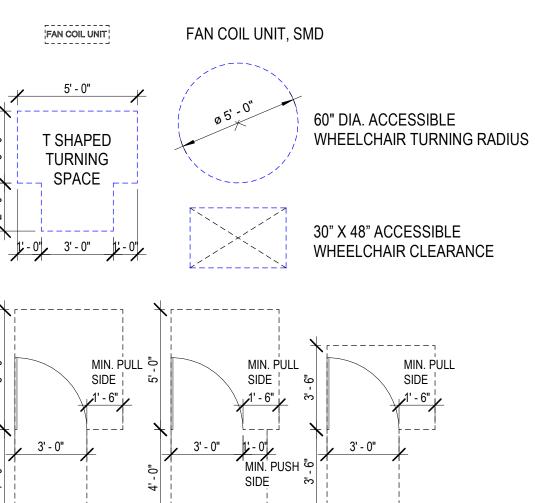
FOR ADDITIONAL ARCH. SYMBOLS, SEE SHEET G0.2

NON-RATED WALL

1 HOUR FIRE-RATED ASSEMBLY 2 HOUR FIRE-RATED ASSEMBLY

WINDOW / LOUVER TAG WALL TAG

DOOR TAG



ADAPTABLE UNIT DOOR CLEARANCE MOBILITY DOOR CLEARANCE DOOR WITH CLOSER AND LATCH CLEARANCE

DRAWING TITLE PSH 1 - ENLARGED **UNIT PLANS**

North Housing,

PSH PHASE 1

Checker

Approver

DESCRIPTION

500 MOSLEY AVENUE ALAMEDA, CA 94501

2 12/8/21 SD SET

5 03/22/22 100% DD SET 6 08/22/22 50% CD SET

7 09/29/22 PERMIT SUBMITTAL

JOB NO.

DRAWN

ISSUE

CHECKED

JOB CAPTAIN

Block A

PAUL M MCELWEE

North Housing,

PSH PHASE 1

Author

Checker

Approver

DESCRIPTION

500 MOSLEY AVENUE ALAMEDA, CA 94501

2 12/8/21 SD SET

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MULTIPLE VARIATIONS OF UNIT TYPES OCCUR. REFER TO 1/8" PLANS FOR EXACT CONFIGURATIONS AND DIMENSIONS.

ALL WALLS TO BE TYPE "H" ON FLOORS 1-4 U.O.N. FOR ALL EXTERIOR, CORRDIOR, AND PARTY WALL INFORMATION, SEE OVERALL FLOOR PLANS.

FOR INTERIOR FINISHES, SEE FINISH SCHEDULE.

GENERAL NOTES - UNIT PLANS

PROVIDE WINDOW BLINDS AND SCREENS AT ALL UNIT WINDOWS.

FOR WINDOW TYPES, SEE 1/8" PLANS

FOR HVAC, SEE MECHANICAL DRAWINGS

FOR LOCATIONS OF MOBILITY & COMMUNICATION (HVI) UNITS SEE OVERALL PLANS AND UNIT SCHEDULE ON GENERAL SHEETS

GENERAL CONTRACTOR SHALL CREATE AN ILLUSTRATIVE STEP BY STEP INSTRUCTION GUIDE FOR ADAPTING THE KITCHEN CABINETRY FOR WHEELCHAIR USERS. MOCK UP INSPECTION IS REQUIRED FOR REMOVABLE BASE CABINETS BEFORE INSTALLATION.

CLEAR DIMENSIONS WITHIN UNIT ARE TO FINISH FACE OF WALL. DIMENSION AT DOOR JAMB 4" TYPICALLY & MINIMALLY.

ALL CONTROLS/ SWITCHES SHALL BE LOCATED BETWEEN 15" & 48" ABOVE FINISH FLOOR PER CBC 1136A.2, SEE ELECTRICAL DRAWINGS.

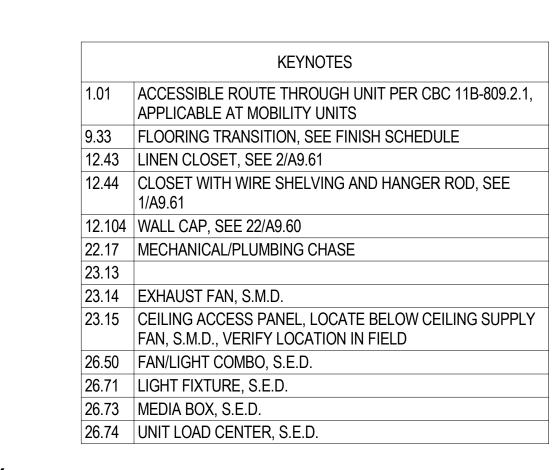
FOR DOOR CLEARANCES, SEE A9.90.

FOR LIGHT FIXTURE INFORMATION SEE ELECTRICAL DRAWINGS. LIGHTING FIXTURES ARE TO BE CENTERED IN THE ROOM, U.O.N.

PROVIDE A MEANS FOR VISUALLY IDENTIFYING A VISITOR WITHOUT OPENING THE UNIT ENTRY DOOR. PROVIDED SHALL ALLOW FOR A MINIMUM 180 DEGREE RANGE OF VIEW PER CBC 11B-809.5.5.2. AT LEASE ONE MEANS OF IDENTIFYING TO BE PROVIDED AT EACH UNIT.

FOR UNIT KITCHEN P& BATHROOM PLANS SEE A5 SERIES SHEETS

FAN COIL UNITS SHALL BE CENTERED ABOVE CLOSET DOORS U.O.N.



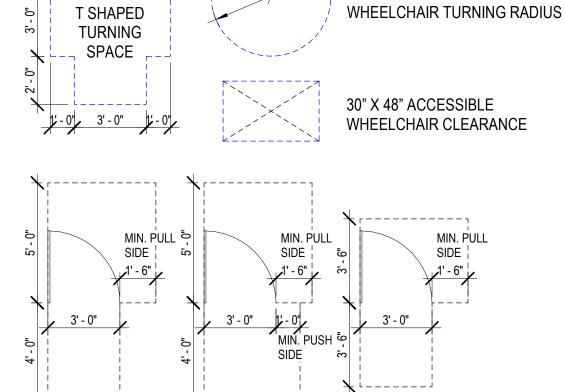
ENLARGED UNIT PLAN LEGEND

FOR ADDITIONAL ARCH. SYMBOLS, SEE SHEET G0.2

NON-RATED WALL 1 HOUR FIRE-RATED ASSEMBLY 2 HOUR FIRE-RATED ASSEMBLY

WINDOW / LOUVER TAG WALL TAG DOOR TAG

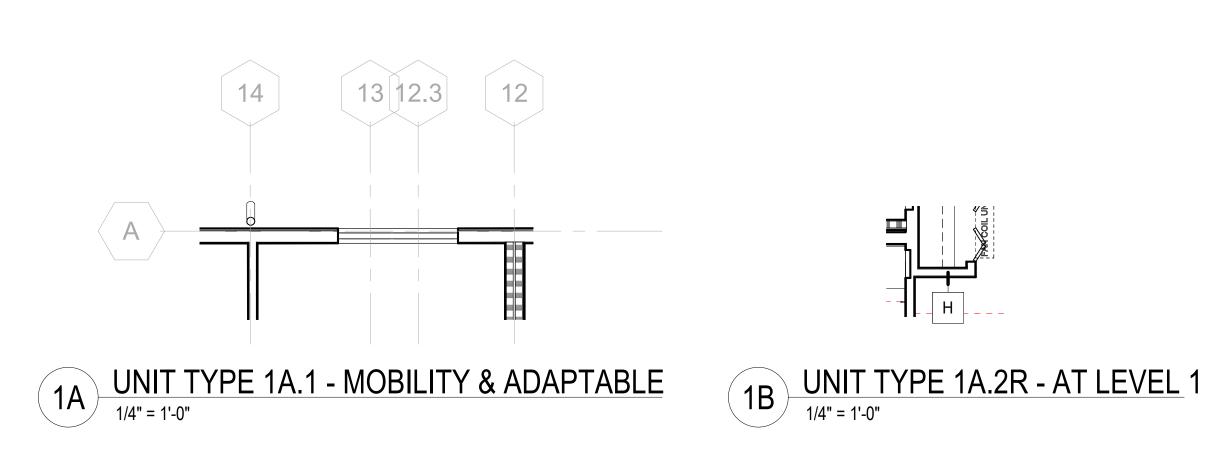
FAN COIL UNIT, SMD FAN COIL UNIT

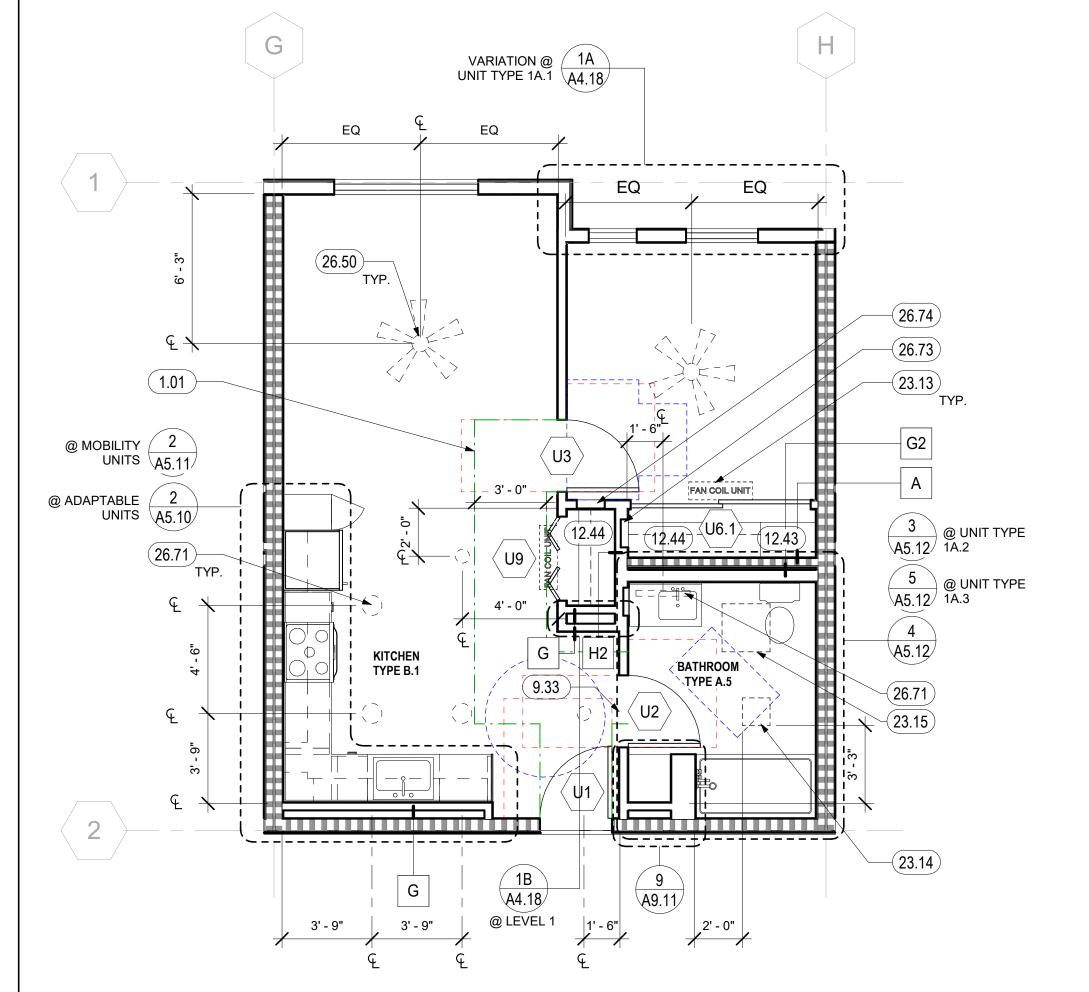


60" DIA. ACCESSIBLE

MOBILITY DOOR CLEARANCE MOBILITY DOOR WITH ADAPTABLE UNIT DOOR **CLOSER AND** CLEARANCE LATCH CLEARANCE

DRAWING TITLE PSH 1 - ENLARGED **UNIT PLANS**

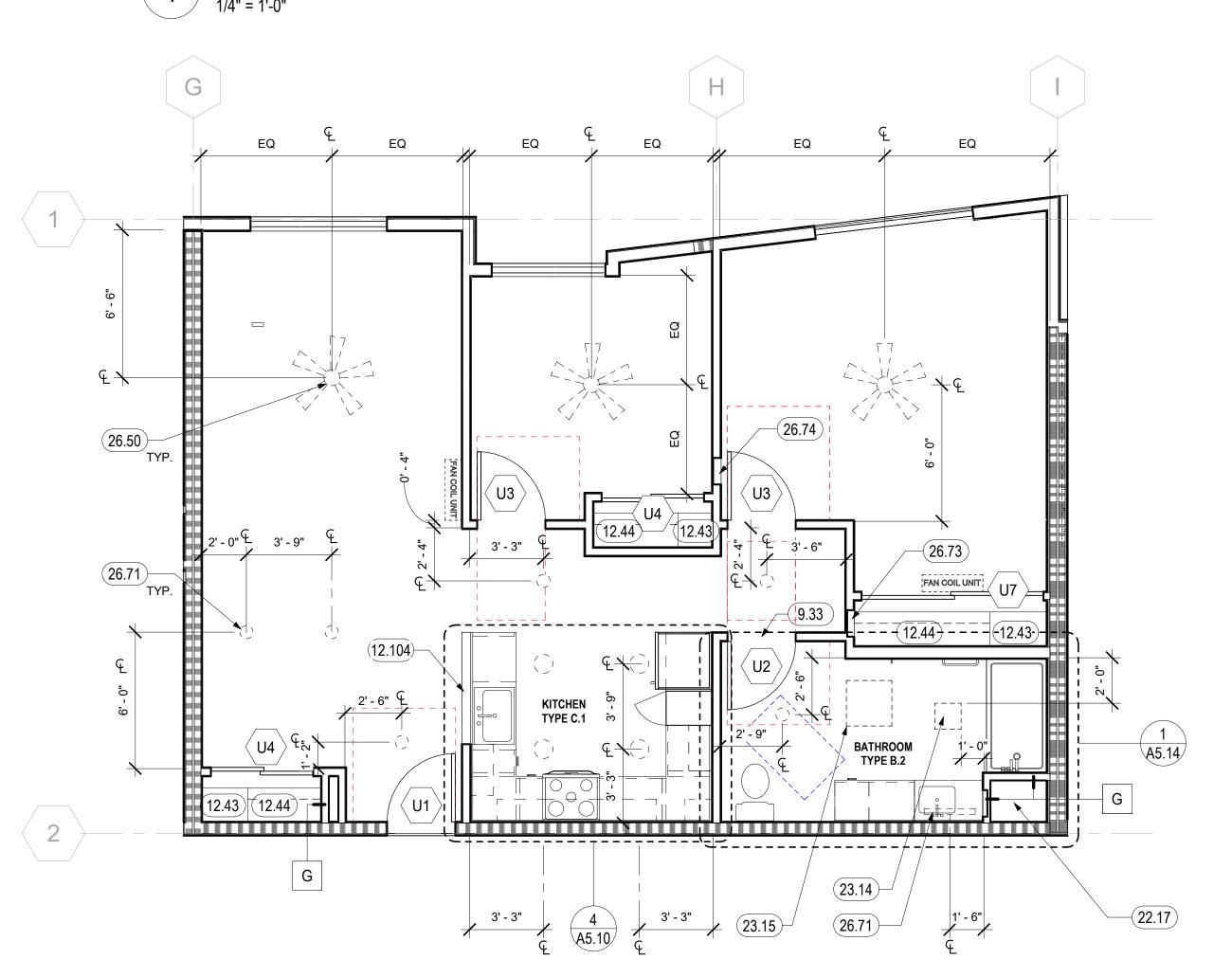


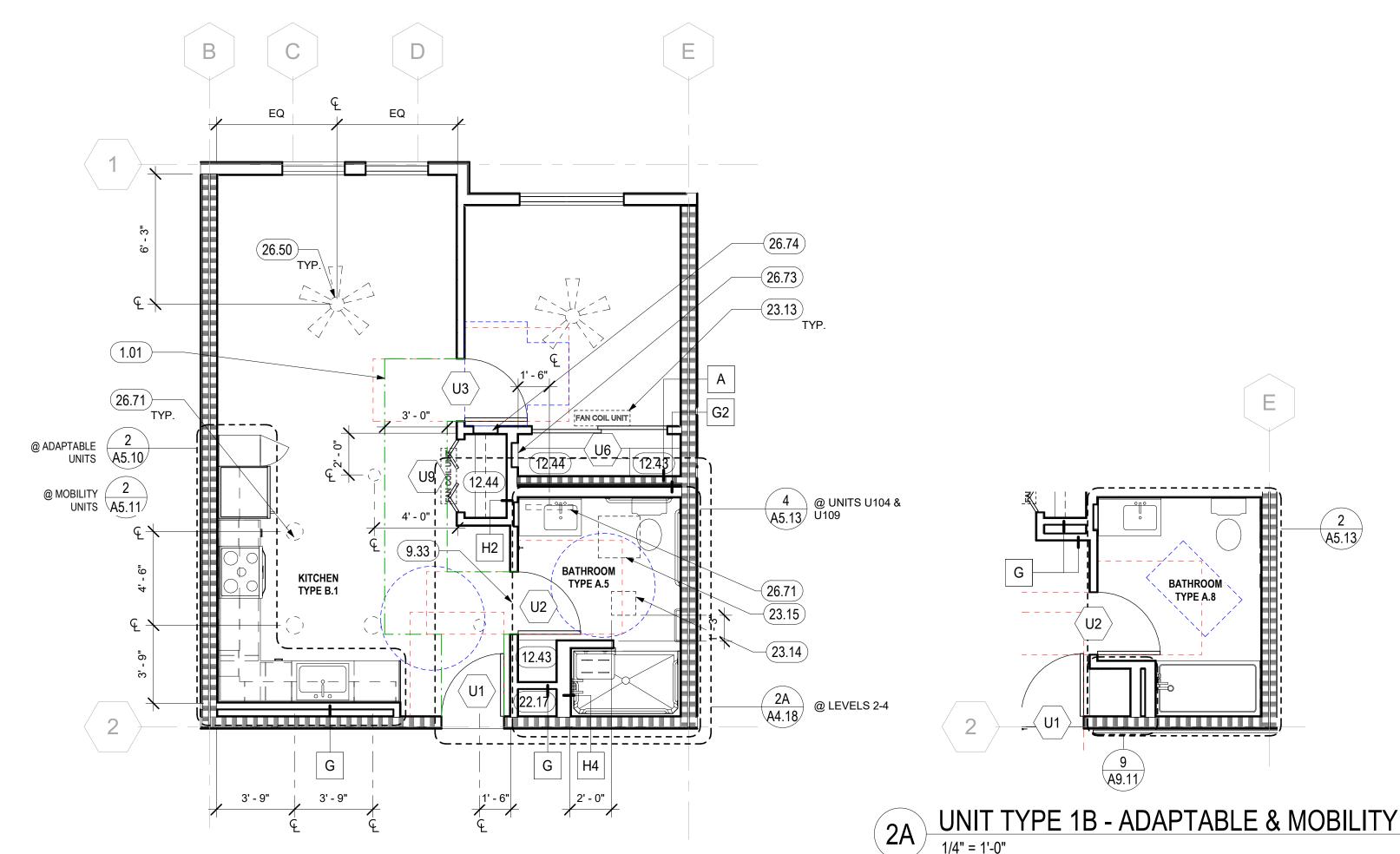




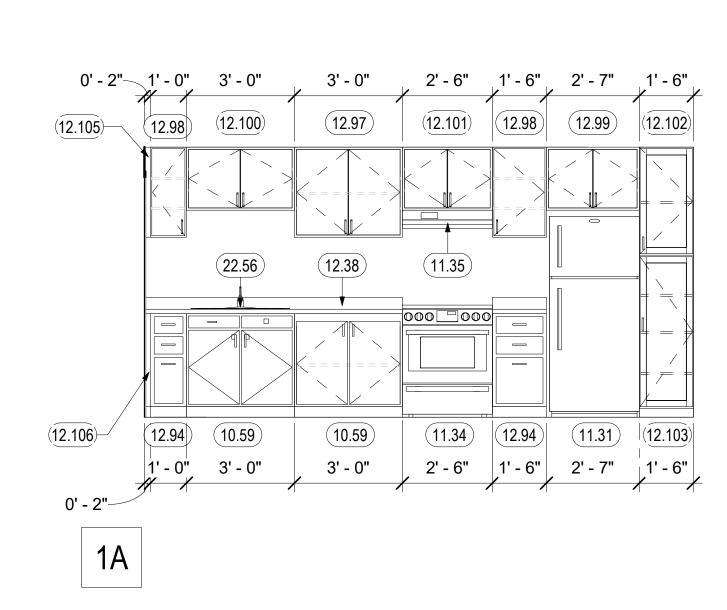
3 UNIT TYPE 2A-M - ADAPTABLE

1/4" = 1'-0"

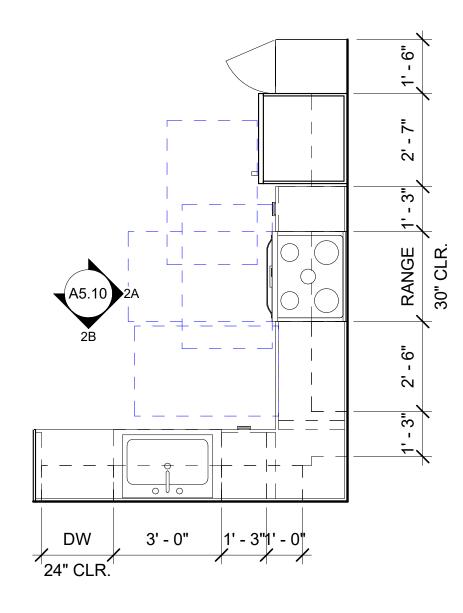


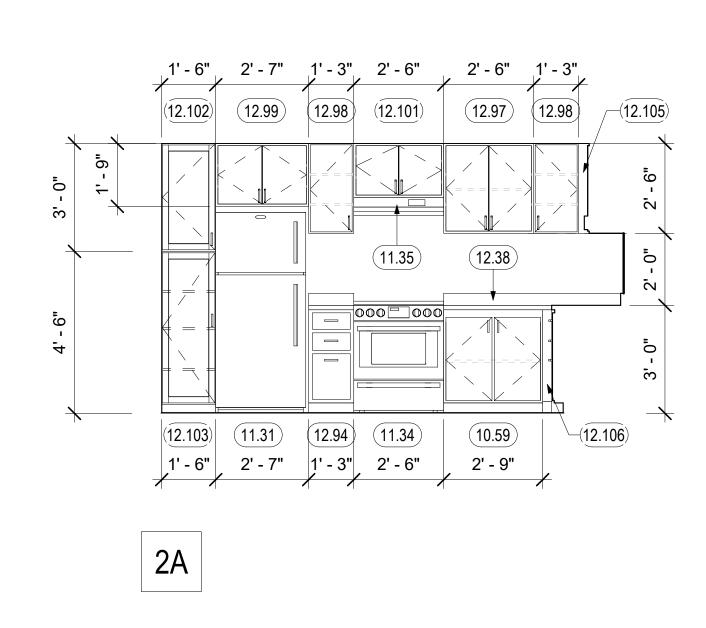


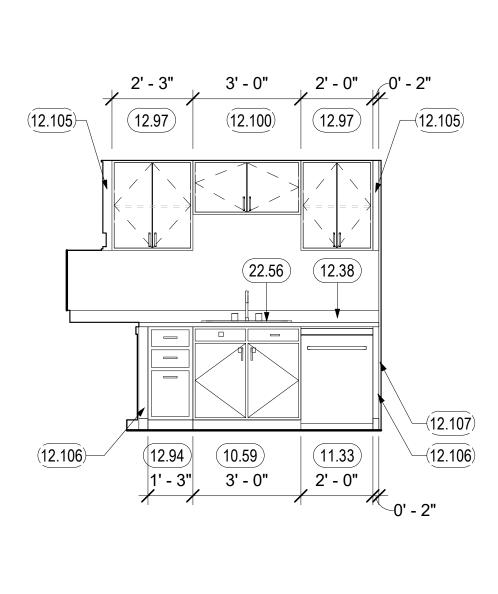
UNIT TYPE 1B - MOBILITY, ADAPTABLE, & HVI



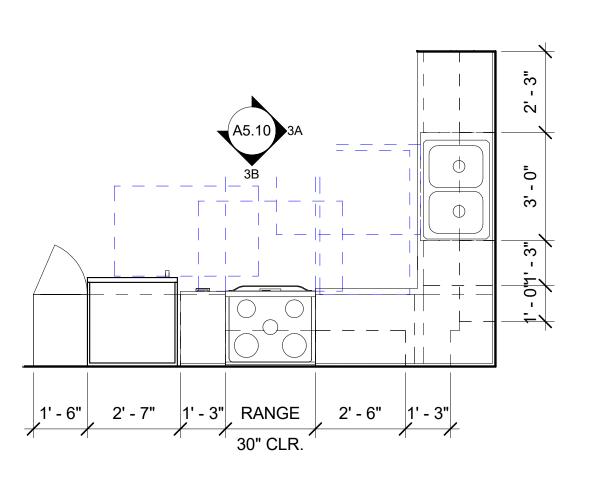
1 KITCHEN TYPE A - ADAPTABLE

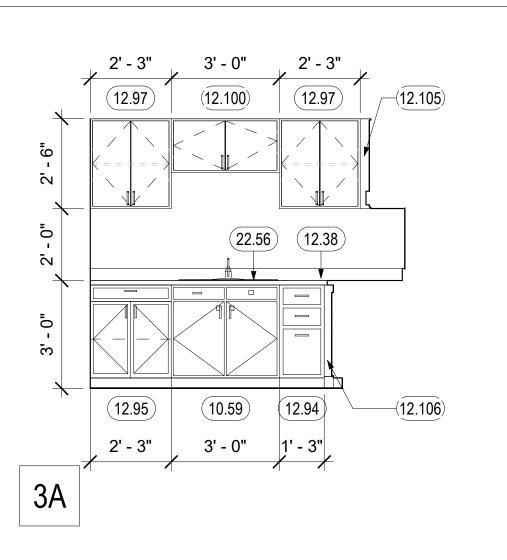


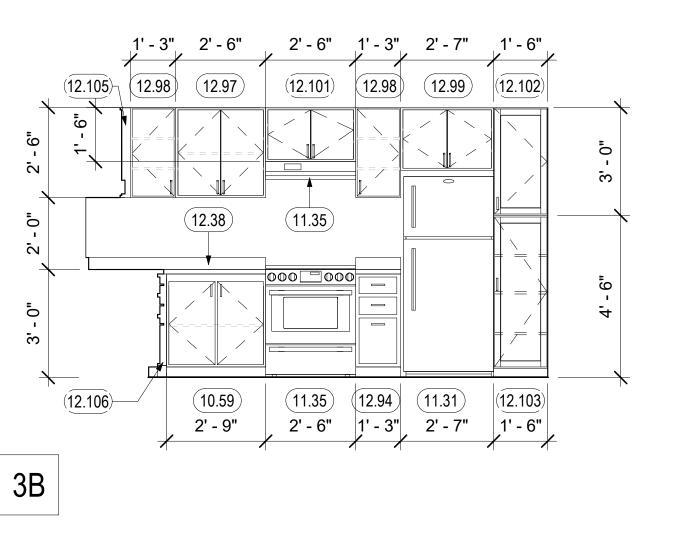




2 KITCHEN TYPE B.1 - ADAPTABLE
3/8" = 1'-0"

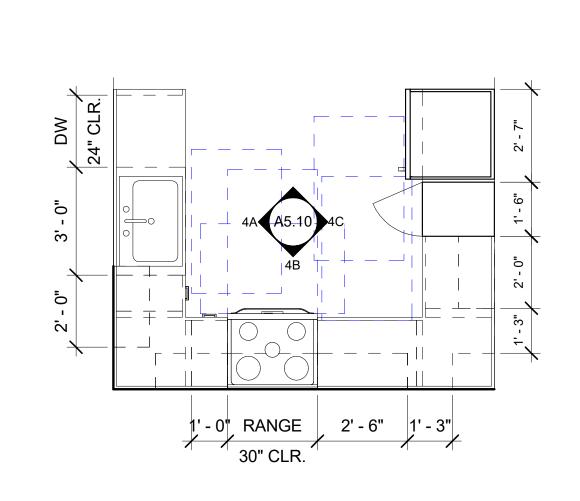


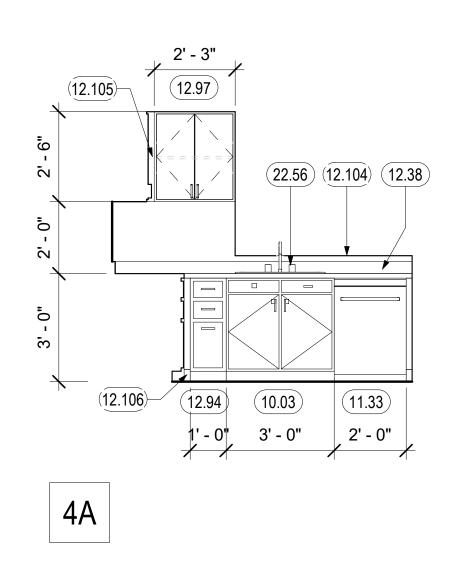


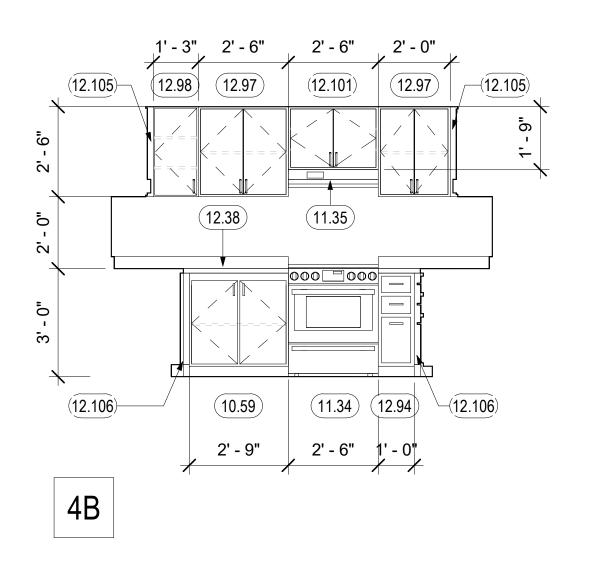


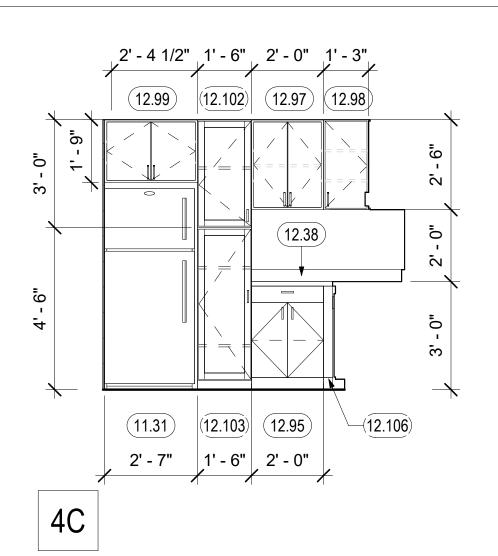
2B

3 KITCHEN TYPE B.2 - ADAPTABLE
3/8" = 1'-0"









4 KITCHEN TYPE C.1 - ADAPTABLE
3/8" = 1'-0"

GENERAL NOTES - KITCHEN

A. PROVIDE MOLD-RESISTANT GYP BOARD WHERE SHADED. EXTEND TO CABINET SIDE OF ADJACENT KITCHEN WING-WALLS NOT DEPICTED HERE.

B. KITCHEN BASE CABINETS TO BE 23" DEEP TYPICAL. DISTANCE COUNTERTOP BULL NOSE TO WALL 24" MAX.

C. AT MOBILITY UNITS OUTLETS AND SWITCHES IN EACH KITCHEN COUNTER OR LAVATORY AREA WILL BE REACHABLE AT FORWARD OR PARALLEL APPROACH. ALL OUTLETS LOCATED IN COUNTERTOPS WILL BE PLACED SO THAT A REACH OF 24" MAXIMUM IS PROVIDED, MEASURED FROM THE FACE OF THE COUNTERTOP OR FACE OF APPLIANCE TO FACE OF THE OUTLET. PROVIDE DUPLICATE OUTLETS WITHIN REACH (SUCH AS ON THE CASEWORK ON THE CABINET BELOW) IF NEW OUTLET PLACEMENT REQUIRED BY NEC IS INACCESSIBLE. ELECTRICAL CONTRACTOR TO COORDINATE WITH AGENCY HAVING JURISDICTION.

D. PROVIDE SOLID WOOD PANEL FINISHED TO MATCH CABINETS FACING ANY APPLIANCE. SEE ELEVATIONS FOR APPLIANCE LOCATIONS.

E. AT WALL MOUNTED ITEMS, PROVIDE WALL BLOCKING PER

F. RUBBER BASE (B-1) OCCURS UNDER BASE CABINETS IN TOE KICK AND AT ANY WALLS IN ANY ACCESSIBLE OR OPEN AREAS IN KITCHEN.

G. LOCATE ELECTRICAL OUTLETS AT CORNERS IN L-SHAPED KITCHENS REQUIRED DISTANCE FROM CORNER. SEE

KEYNOTES

10.03	CLEAR KNEE SPACE INSIDE (SINK BOX) CABINET, PROVIDE PLYWOOD
	APRON/PIPE INSULATION. FACES TO BE SOLID WOOD PANEL FINISH TO
	MATCH CABINETS, SEE DETAIL 26/A9.60

- | 10.59 | REMOVABLE BASE CABINET TO ALLOW 30" WIDE CLEAR FORWARD APPROACH, CABINET TO BE REMOVABLE WITHOUT SPECIAL TOOLS OR KNOWLEDGE. CONTINUE FLOORING, BASE, AND WALL FINISHES BELOW
- 11.31 REFRIGERATOR, SEE SPEC. CONTINUE FLOORING AND WALL BASE INTO APPLIANCE SPACE.
- 11.33 24" DISHWASHER, SEE SPEC
- 11.34 30" FREE STANDING ELECTRIC RANGE, WITH CONTROLS ON THE FRONT PANEL, SEE SPEC.
- 11.35 RANGE EXHAUST HOOD. PROVIDE WALL SWITCH FOR FAN AND LIGHT AT DISABLED ACCESSIBLE HEIGHT AT MOBILITY UNITS. CONTROLS ON FRONT PANEL.
- 12.38 | SOLID SURFACE COUNTERTOP, 4"H BACKSPLASH WHERE SHOWN
- 12.94 WOOD BASE CABINET WITH 3 DRAWERS 12.95 WOOD BASE CABINET WITH SINGLE DRAWER AND (1) ADJUSTABLE
- SHELVES 12.97 UPPER CABINET WITH (1) ADJUSTABLE SHELVES
- 12.98 UPPER CABINET WITH (2) ADJUSTABLE SHELVES
- 12.99 UPPER CABINET OVER REFRIGERATOR
- 12.100 UPPER CABINET OVER SINK
- 12.101 UPPER CABINET OVER HOOD
- 12.102 LOCKING PANTRY CABINET 12.103 PANTRY CABINET WITH 3 SHELVES
- 12.104 WALL CAP, SEE 22/A9.60
- 12.105 UPPER FILL PANEL
- 12.106 LOWER FILL PANEL
- 12.107 3/4" FULL HEIGHT CASEWORK END PANEL
- 22.56 KITCHEN SINK, S.P.D

PAUL M MCELWEE

North Housing, Block A

PSH PHASE 1

500 MOSLEY AVENUE ALAMEDA, CA 94501

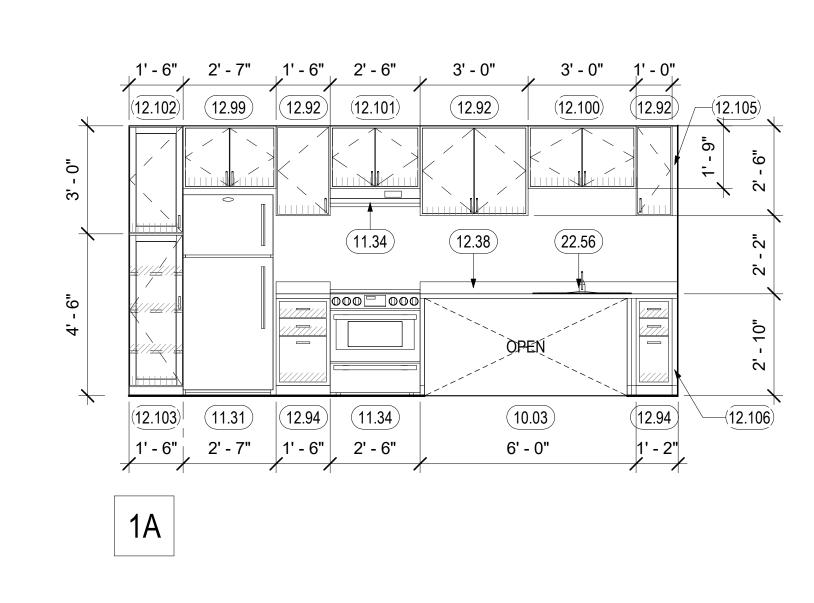
JOB NO. Author DRAWN CHECKED Checker JOB CAPTAIN Approver

BUE		
7	DATE	DESCRIPTION
	12/8/21	SD SET
	03/22/22	100% DD SET
	08/22/22	50% CD SET
	09/29/22	PERMIT SUBMITTAL

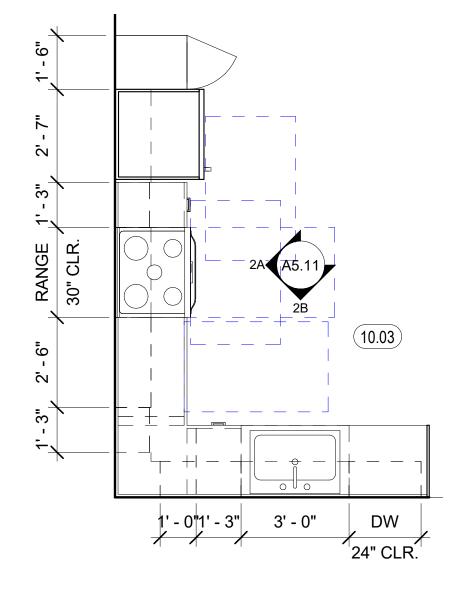
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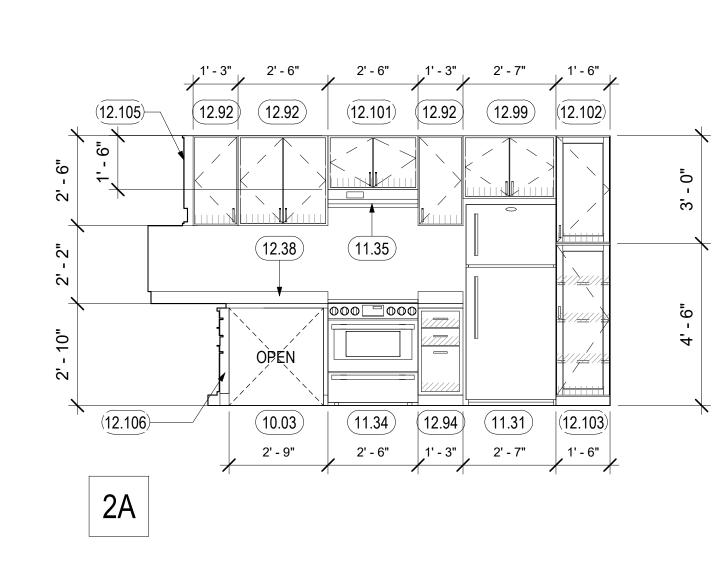
KITCHEN PLANS &

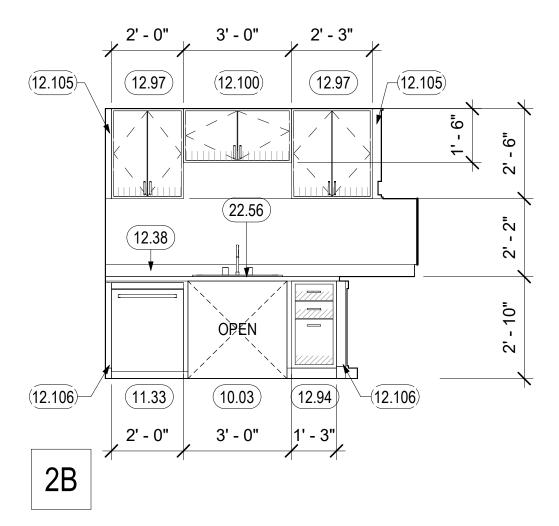
ELEVATIONS



KITCHEN TYPE A - MOBILITY $\begin{pmatrix} 1 \\ 3/8" = 1'-0" \end{pmatrix}$







2 KITCHEN TYPE B.1 - MOBILITY

3/8" = 1'-0"

GENERAL NOTES - KITCHEN

A. PROVIDE MOLD-RESISTANT GYP BOARD WHERE SHADED. EXTEND TO CABINET SIDE OF ADJACENT KITCHEN WING-WALLS NOT DEPICTED HERE.

B. KITCHEN BASE CABINETS TO BE 23" DEEP TYPICAL. DISTANCE COUNTERTOP BULL NOSE TO WALL 24" MAX.

C. AT MOBILITY UNITS OUTLETS AND SWITCHES IN EACH KITCHEN COUNTER OR LAVATORY AREA WILL BE REACHABLE AT FORWARD OR PARALLEL APPROACH. ALL OUTLETS LOCATED IN COUNTERTOPS WILL BE PLACED SO THAT A REACH OF 24" MAXIMUM IS PROVIDED, MEASURED FROM THE FACE OF THE COUNTERTOP OR FACE OF APPLIANCE TO FACE OF THE OUTLET. PROVIDE DUPLICATE OUTLETS WITHIN REACH (SUCH AS ON THE CASEWORK ON THE CABINET BELOW) IF NEW OUTLET PLACEMENT REQUIRED BY NEC IS INACCESSIBLE. ELECTRICAL CONTRACTOR TO COORDINATE WITH AGENCY HAVING JURISDICTION.

D. PROVIDE SOLID WOOD PANEL FINISHED TO MATCH CABINETS FACING ANY APPLIANCE. SEE ELEVATIONS FOR APPLIANCE LOCATIONS.

E. AT WALL MOUNTED ITEMS, PROVIDE WALL BLOCKING PER

F. RUBBER BASE (B-1) OCCURS UNDER BASE CABINETS IN TOE KICK AND AT ANY WALLS IN ANY ACCESSIBLE OR OPEN AREAS IN KITCHEN.

G. LOCATE ELECTRICAL OUTLETS AT CORNERS IN L-SHAPED KITCHENS REQUIRED DISTANCE FROM CORNER. SEE

KEYNOTES

10.03 CLEAR KNEE SPACE INSIDE (SINK BOX) CABINET, PROVIDE PLYWOOD APRON/PIPE INSULATION. FACES TO BE SOLID WOOD PANEL FINISH TO MATCH CABINETS, SEE DETAIL 26/A9.60

11.31 REFRIGERATOR, SEE SPEC. CONTINUE FLOORING AND WALL BASE INTO APPLIANCE SPACE.

11.33 24" DISHWASHER, SEE SPEC

11.34 30" FREE STANDING ELECTRIC RANGE, WITH CONTROLS ON THE FRONT PANEL, SEE SPEC.

11.35 RANGE EXHAUST HOOD. PROVIDE WALL SWITCH FOR FAN AND LIGHT AT

DISABLED ACCESSIBLE HEIGHT AT MOBILITY UNITS. CONTROLS ON FRONT PANEL.

12.38 | SOLID SURFACE COUNTERTOP, 4"H BACKSPLASH WHERE SHOWN

12.92 UPPER CABINET WITH (0) ADJUSTABLE SHELVES

12.94 WOOD BASE CABINET WITH 3 DRAWERS

12.97 UPPER CABINET WITH (1) ADJUSTABLE SHELVES 12.99 UPPER CABINET OVER REFRIGERATOR

12.100 UPPER CABINET OVER SINK

12.101 UPPER CABINET OVER HOOD

12.102 LOCKING PANTRY CABINET

12.103 PANTRY CABINET WITH 3 SHELVES

12.105 UPPER FILL PANEL

12.106 LOWER FILL PANEL

22.56 KITCHEN SINK, S.P.D

MOBILITY KITCHEN CALCULATIONS

KITCHEN TYPE A, 11B MOBILITY TOTAL STORAGE AREA

50% OF TOTAL STORAGE

46.08 SQ FT 23.04 SQ FT 24 SQ FT

24 SQ FT

KITCHEN TYPE B.1, 11B MOBILITY

ACCESSIBLE STORAGE PROVIDED

TOTAL STORAGE AREA

50% OF TOTAL STORAGE ACCESSIBLE STORAGE PROVIDED 47.33 SQ FT 23.67 SQ FT

500 MOSLEY AVENUE ALAMEDA, CA 94501

Block A

JOB NO. Author DRAWN

PAUL M MCELWEE

CHECKED Checker

North Housing,

PSH PHASE 1

JOB CAPTAIN Approver

ISSUE

DESCRIPTION 6 08/22/22 50% CD SET 7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE PSH 1 - ENLARGED MOBILITY KITCHEN PLANS & ELEVATIONS

SCALE As indicated

5C

5B

5A

5 BATHROOM TYPE A.6 - MOBILITY & ADAPTABLE
3/8" = 1'-0" FOR TYPICAL NOTES, SEE 1/A5.12

5D

GENERAL NOTES - BATHROOM

- A. PROVIDE MOLD- RESISTANT GYP. BOARD WHERE SHADED.
- B. BATHROOM DIMENSIONS SHOWN ON THIS SHEET ARE TO FINISH FACE OF WALL. DIMENSION AT DOOR JAMB 4" MIN.
- C. ENSURE ALL DOOR CLEARANCES ARE MAINTAINED.
- D. FOR LOCATIONS OF MOBILITY UNITS SEE OVERALL PLANS

KEYNOTES

10.20 GRAB BAR BACKING. BACKING TO ACCOMMODATE 250 LB FORCE

10.21 GRAB BAR AT MOBILITY UNITS ONLY

10.23 MIRROR

10.28 WALL MOUNTED 24" TOWEL BAR

10.29 ROBE HOOK

10.56 COUNTERTOP WITH INTEGRAL BOWL AND BACKSIDE SPLASHES, S.P.D.

10.57 SHOWER CURTAIN ROD

10.58 MEDICINE CABINET 40" A.F.F. TO BOTTOM SHELF

10.59 REMOVABLE BASE CABINET TO ALLOW 30" WIDE CLEAR FORWARD APPROACH, CABINET TO BE REMOVABLE WITHOUT

SPECIAL TOOLS OR KNOWLEDGE. CONTINUE FLOORING,

22.54 TUB AT MOBILITY UNITS ONLY TO PROVIDE TUB SEAT BY TUB

BASE, AND WALL FINISHES BELOW

MANUFACTURER (PER CBC 11271.5.2.2)

22.53 SHOWER SPRAY UNIT WITH 59" HOSE

22.52 RESIDENTIAL TOILET, S.P.D.

22.55 SINGLE LEVER CONTROLS

PAUL M
MCELWEE

A

CO REN
C-28734

CO CALIFORNIA

North Housing, Block A

PSH PHASE 1

500 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO. 19009
DRAWN Author
CHECKED Checker
JOB CAPTAIN Approver

ISSUE

SSUE				
\triangle	DATE	DESCRIPTION		
2	12/8/21	SD SET		
5	03/22/22	100% DD SET		
6	08/22/22	50% CD SET		
7	09/29/22	PERMIT SUBMITTA		

DRAWING TITLE
PSH 1 - ENLARGED
BATHROOM PLANS &
ELEVATIONS

SCALE As indica

A5.12

PAUL M MCELWEE

North Housing,

PSH PHASE 1

6 08/22/22 50% CD SET

7 09/29/22 PERMIT SUBMITTAL

Checker

Approver

DESCRIPTION

500 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO.

DRAWN

ISSUE

CHECKED

JOB CAPTAIN

Block A

BATHROOM DIMENSIONS SHOWN ON THIS SHEET ARE TO FINISH FACE OF WALL. DIMENSION AT DOOR JAMB 4" MIN.

ENSURE ALL DOOR CLEARANCES ARE MAINTAINED.

FOR LOCATIONS OF MOBILITY UNITS SEE OVERALL PLANS

KEYNOTES 10.20 GRAB BAR BACKING. BACKING TO ACCOMMODATE 250 LB FORCE 10.21 GRAB BAR AT MOBILITY UNITS ONLY 10.23 MIRROR

10.28 WALL MOUNTED 24" TOWEL BAR 10.29 ROBE HOOK

10.56 COUNTERTOP WITH INTEGRAL BOWL AND BACKSIDE SPLASHES, S.P.D.

10.57 SHOWER CURTAIN ROD

10.58 | MEDICINE CABINET 40" A.F.F. TO BOTTOM SHELF

10.59 REMOVABLE BASE CABINET TO ALLOW 30" WIDE CLEAR FORWARD APPROACH, CABINET TO BE REMOVABLE WITHOUT SPECIAL TOOLS OR KNOWLEDGE. CONTINUE FLOORING, BASE, AND WALL FINISHES BELOW

10.63 22" X 16" FOLD DOWN SEAT WITH SWING DOWN LEGS 22.52 RESIDENTIAL TOILET, S.P.D.

22.53 SHOWER SPRAY UNIT WITH 59" HOSE

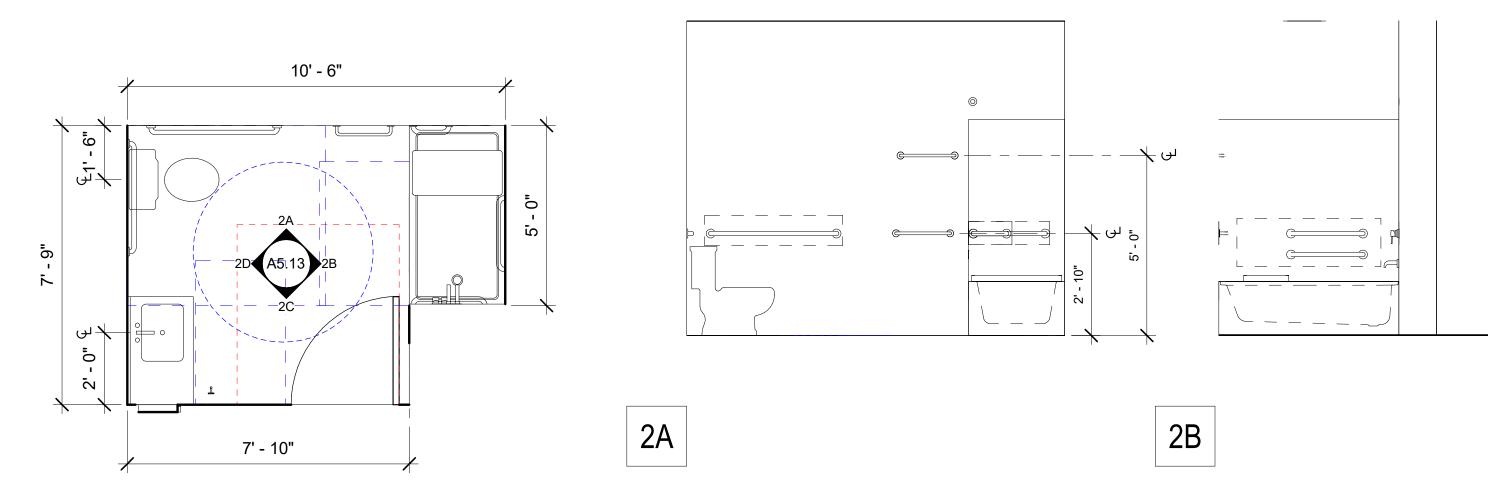
22.54 TUB AT MOBILITY UNITS ONLY TO PROVIDE TUB SEAT BY TUB

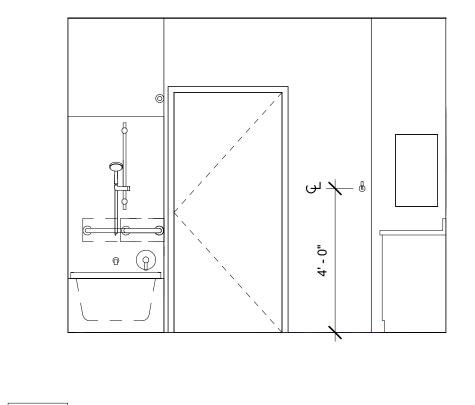
MANUFACTURER (PER CBC 11271.5.2.2) 22.55 SINGLE LEVER CONTROLS

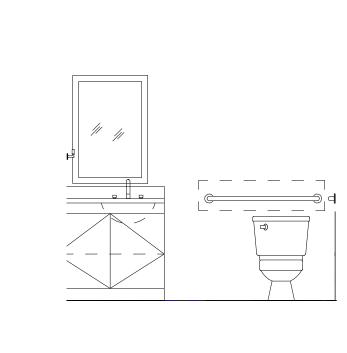
22.57 ROLL IN SHOWER, S.P.D.

8' - 9" 10.57 (10.28)— 10.29 (10.20)— (10.58) 10.23 $\overline{-(10.20)}$ (10.20)— 22.52 22.54 11' - 5"

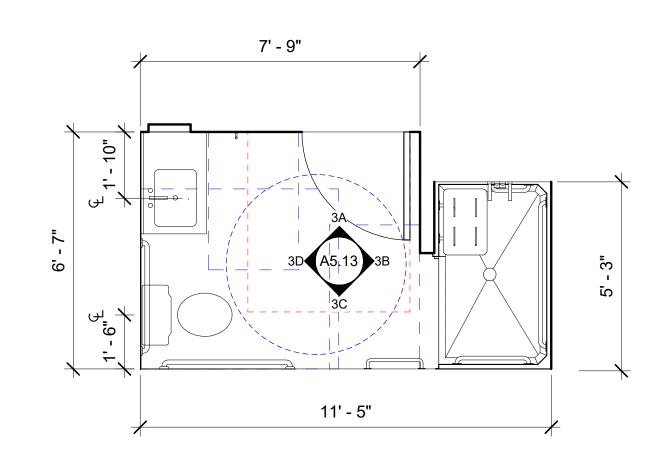
BATHROOM TYPE A.7 - MOBILITY & ADAPTABLE 3/8" = 1'-0"

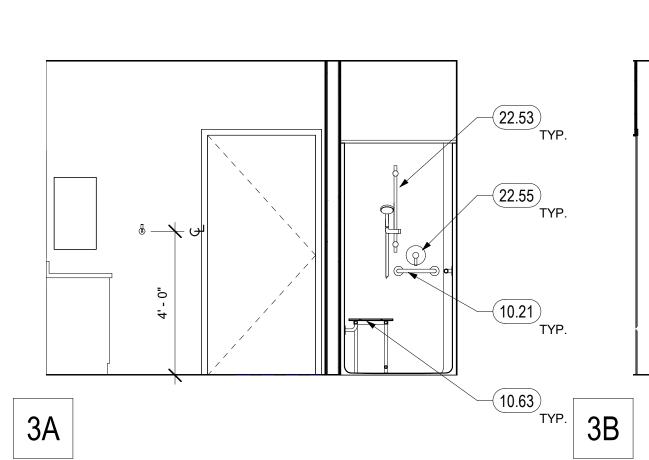


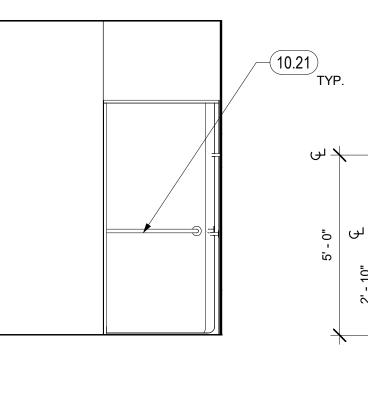


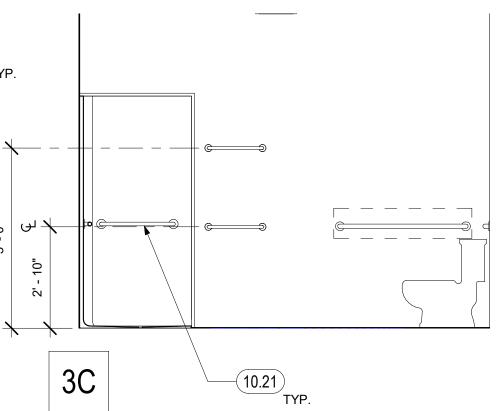


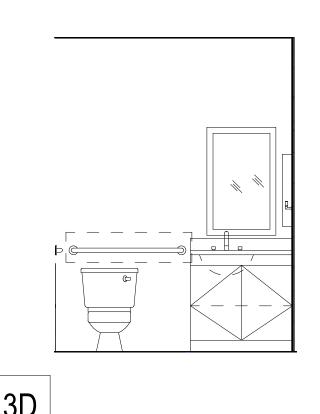
2 BATHROOM TYPE A.8 - MOBILITY & ADAPTABLE
3/8" = 1'-0" FOR TYPICAL NOTES, SEE 1/A5.13



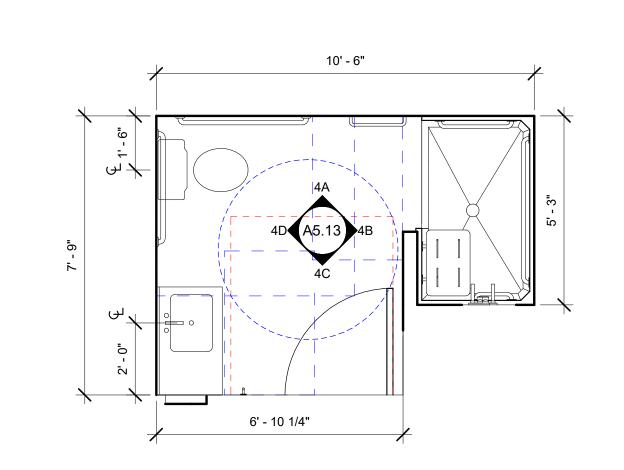


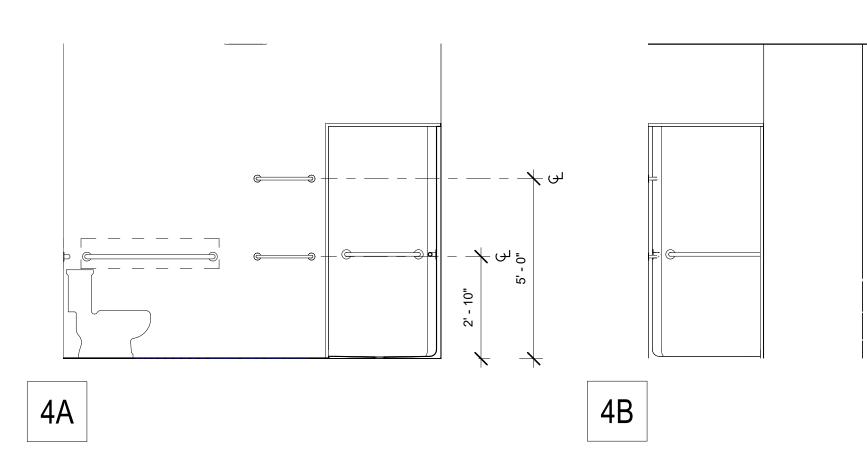


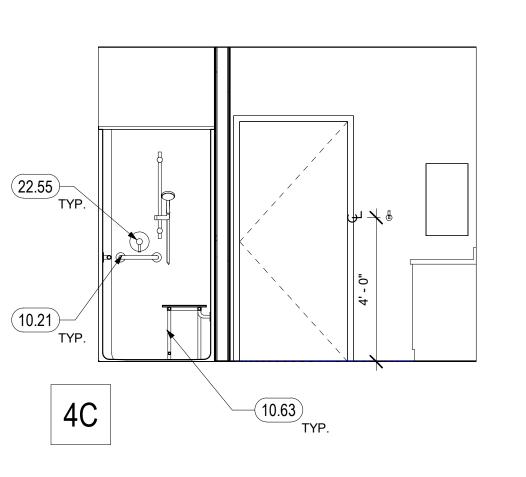


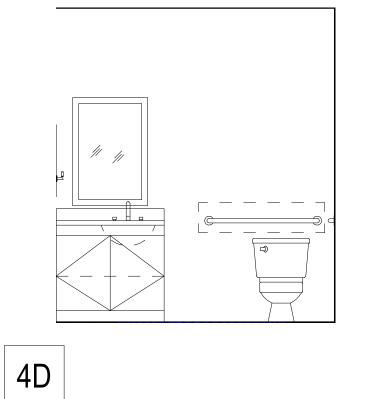


3 BATHROOM TYPE A.9 - MOBILITY
3/8" = 1'-0" FOR TYPICAL NOTES, SEE 1/A5.13









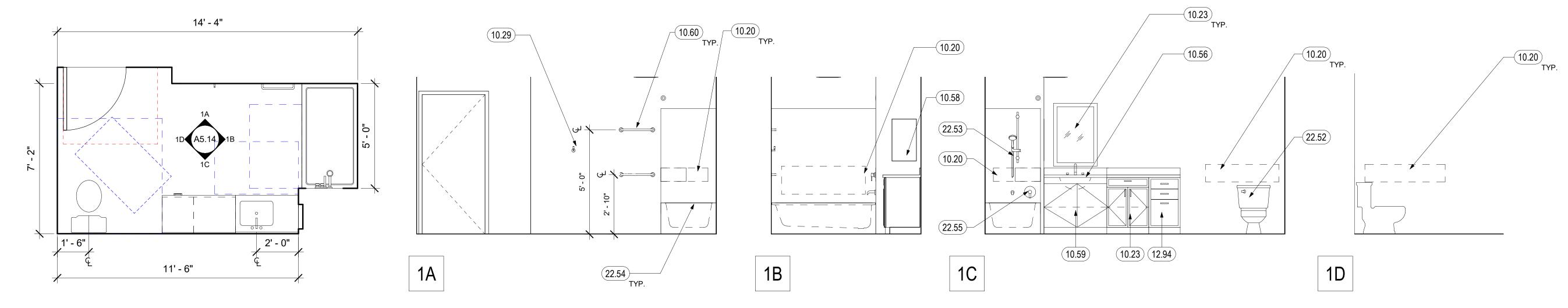
BATHROOM TYPE A.10 - MOBILITY 3/8" = 1'-0" FOR TYPICAL NOTES, SEE 1/A5.13

PSH 1 - ENLARGED

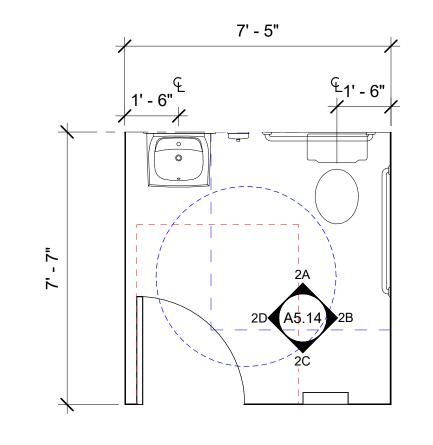
BATHROOM PLANS &

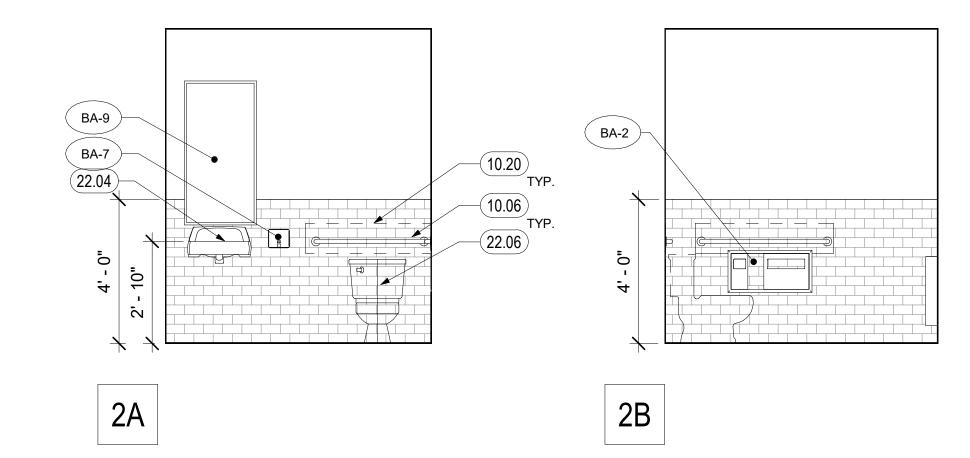
DRAWING TITLE

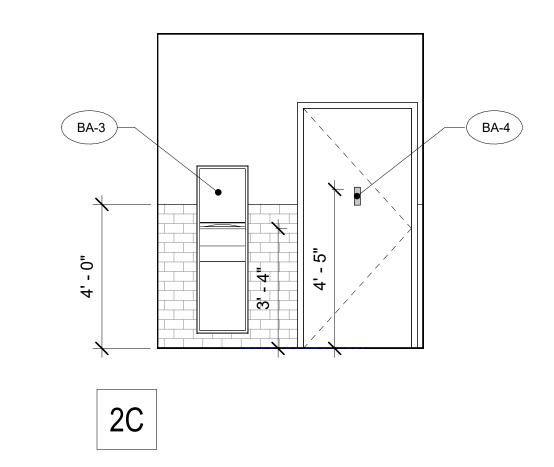
ELEVATIONS

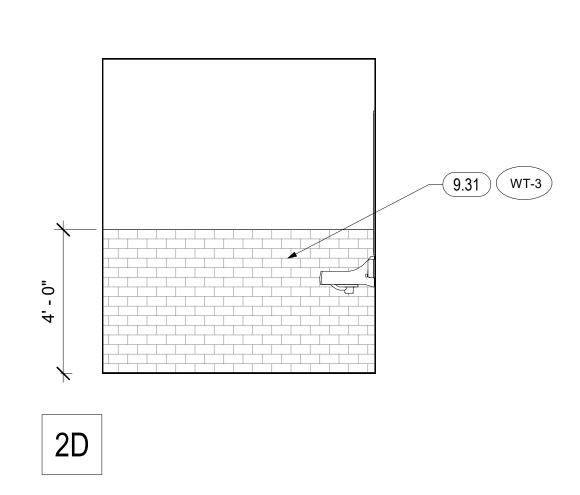


1 BATHROOM TYPE B.2 - ADAPTABLE 3/8" = 1'-0"

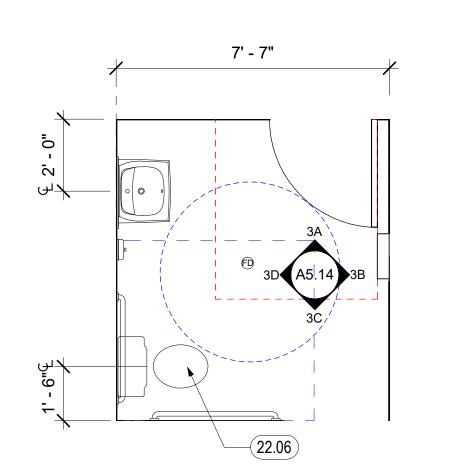


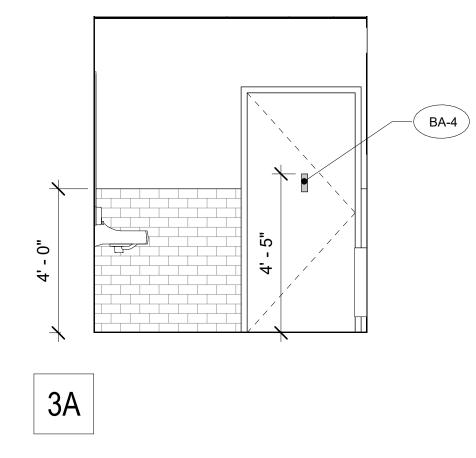


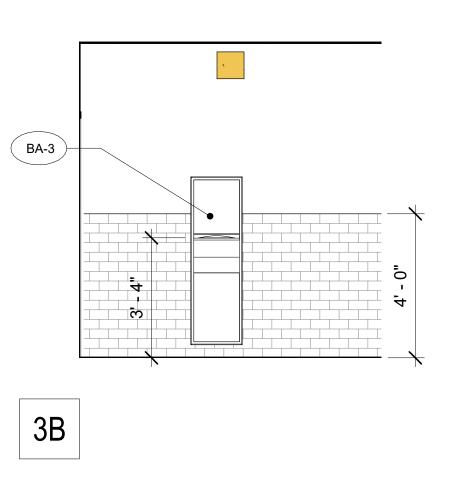


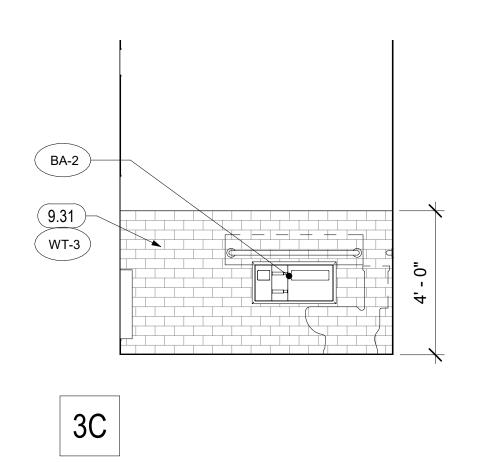


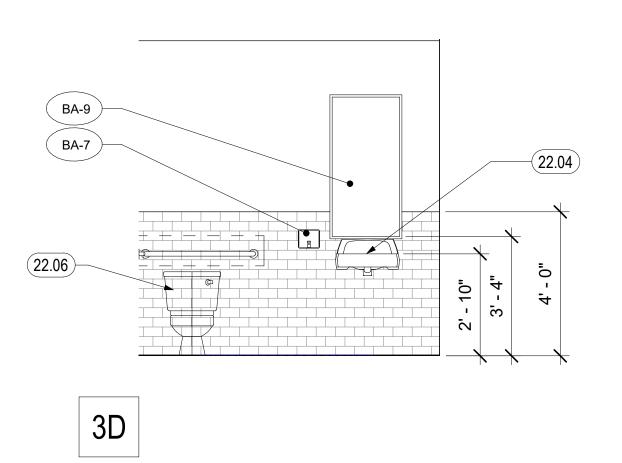
SERVICE PROVIDER OFFICE RESTROOM 3/8" = 1'-0"











SINGLE OCCUPANCY RESTROOM NEXT TO ELEVATOR 3/8" = 1'-0" **FOR TYPICAL NOTES, SEE 2/A5.14**

- D. FOR LOCATIONS OF MOBILITY UNITS SEE OVERALL PLANS

	KEYNOTES
9.31	CERAMIC TILE WAINSCOT
10.06	GRAB BAR
10.20	GRAB BAR BACKING. BACKING TO ACCOMMODATE 250 LB FORCE
10.23	MIRROR
10.29	ROBE HOOK
10.56	COUNTERTOP WITH INTEGRAL BOWL AND BACKSIDE SPLASHE S.P.D.
10.58	MEDICINE CABINET 40" A.F.F. TO BOTTOM SHELF
10.59	REMOVABLE BASE CABINET TO ALLOW 30" WIDE CLEAR FORWARD APPROACH, CABINET TO BE REMOVABLE WITHOUT SPECIAL TOOLS OR KNOWLEDGE. CONTINUE FLOORING, BASE AND WALL FINISHES BELOW
10.60	24" TOWEL BAR
12.94	WOOD BASE CABINET WITH 3 DRAWERS
22.04	WALL-HUNG SINK AND FAUCET, ACCESSIBLE, S.P.D. SEE X/XX
22.06	TOILET; S.P.D. & ACCESS DETAILS ON SHEET XX
22.52	RESIDENTIAL TOILET, S.P.D.
22.53	SHOWER SPRAY UNIT WITH 59" HOSE
22.54	TUB AT MOBILITY UNITS ONLY TO PROVIDE TUB SEAT BY TUB MANUFACTURER (PER CBC 11271.5.2.2)
22.55	SINGLE LEVER CONTROLS



PSH PHASE 1

Block A

500 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO. Author DRAWN CHECKED Checker JOB CAPTAIN Approver

ISSUE DESCRIPTION

5 03/22/22 100% DD SET 6 08/22/22 50% CD SET 7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE PSH 1 - ENLARGED BATHROOM PLANS & ELEVATIONS

SCALE As indicated

PSH 1 LEVELS 2-4 - WEST CORRIDOR UNITS 2 TYPICAL

1/4" = 1'-0"



North Housing, Block A

PSH PHASE 1

500 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO. Author CHECKED Checker JOB CAPTAIN

DESCRIPTION

6 08/22/22 50% CD SET 7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE

SCALE 1/4" = 1'-0"

KEYNOTES

WALL BASE, SEE SCHEDULE AND SPECS

DOOR, SEE DOOR SCHEDULE

SPACE SAVER SQUARED

	HKITARCHI	538 NINTH STREET SUITE 240 • OAKL	T 510 625 9800 • F 510 625 9801 • W
SEC	ARCHI		

North Housing, Block A

PSH PHASE 1

500 MOSLEY AVENUE ALAMEDA, CA 94501

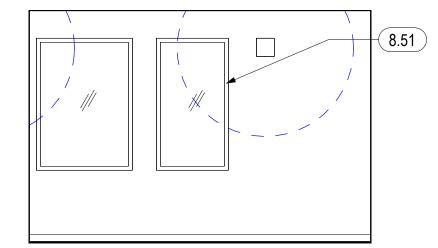
DRAWN CHECKED Checker JOB CAPTAIN

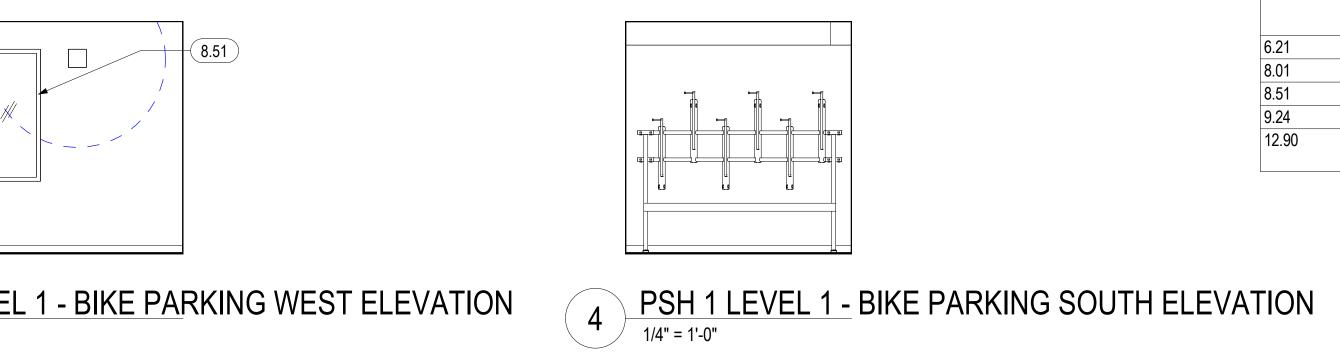
ISSUE DESCRIPTION 6 08/22/22 50% CD SET 7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE PSH 1 - BIKE **PARKING ELEVATIONS**

SCALE 1/4" = 1'-0"









9.24

6.21

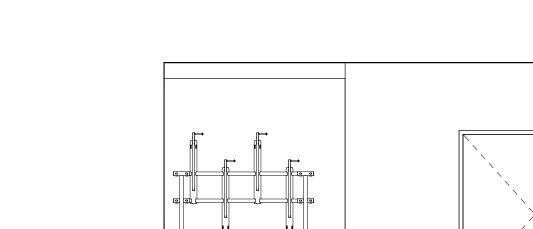
9.24

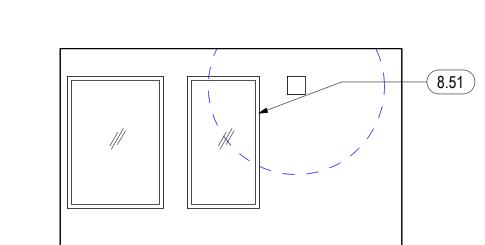
PSH 1 LEVEL 1 - BIKE PARKING EAST ELEVATION

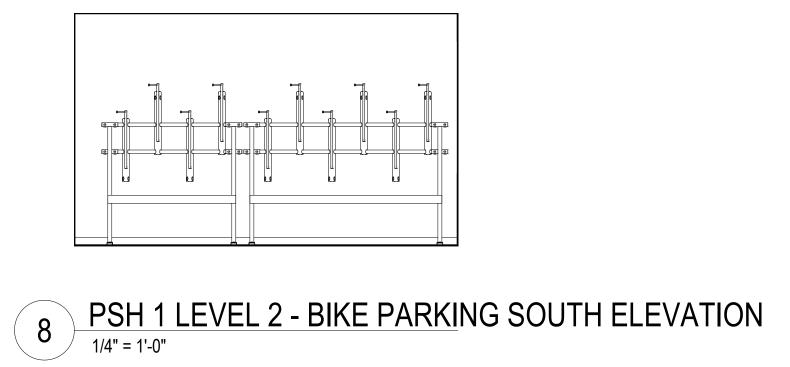
2 PSH 1 LEVEL 1 - BIKE PARKING NORTH ELEVATION

3 PSH 1 LEVEL 1 - BIKE PARKING WEST ELEVATION

1/4" = 1'-0"

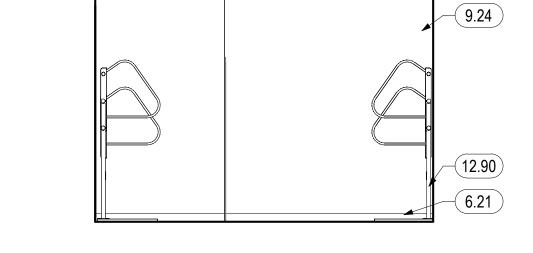


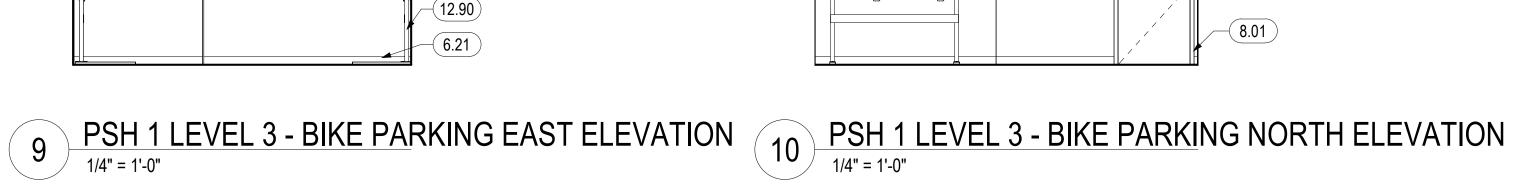


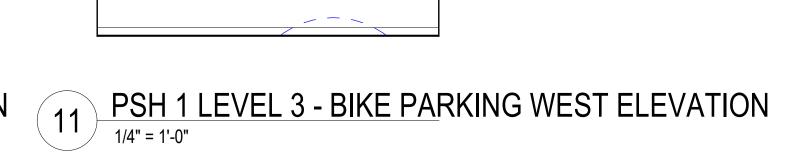


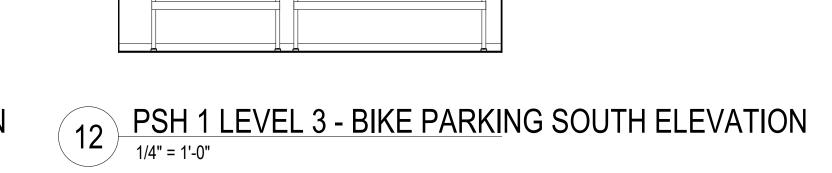
6 PSH 1 LEVEL 2 - BIKE PARKING EAST ELEVATION 7 PSH 1 LEVEL 2 - BIKE PARKING NORTH ELEVATION 5 PSH 1 LEVEL 2 - BIKE PARKING WEST ELEVATION 1/4" = 1'-0"

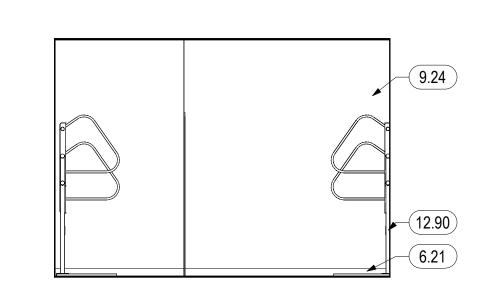


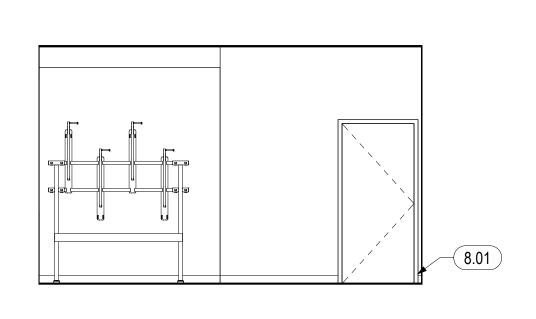


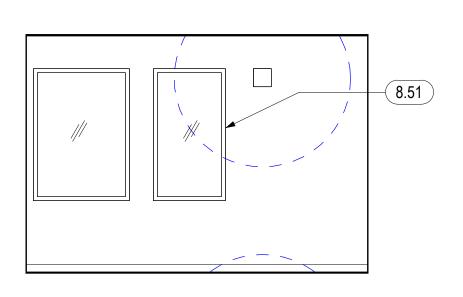


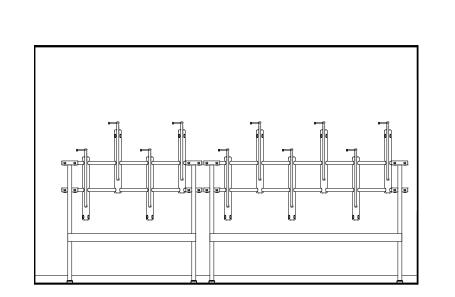












PSH 1 LEVEL 4 - BIKE PARKING EAST ELEVATION

1/4" = 1'-0"

PSH 1 LEVEL 4 - BIKE PARKING NORTH ELEVATION

1/4" = 1'-0"

PSH 1 LEVEL 4 - BIKE PARKING WEST ELEVATION

1/4" = 1'-0"

PSH 1 LEVEL 4 - BIKE PARKING SOUTH ELEVATION

1/4" = 1'-0"

B. REFERENCE MECHANICAL AND ELECTRICAL DRAWINGS FOR MOUNTING LOCATIONS OF ITEMS WHERE NO CEILING IS REQUIRED OR INDICATED.

C. LIGHTS, DIFFUSERS, EXIT SIGNS, SMOKE DETECTORS, SPEAKERS, STROBES AND MISCELLANEOUS DEVICES SHALL BE CENTERED IN THE CEILING TILE IN WHICH THEY OCCUR, UNLESS NOTED OTHERWISE.

D. SEE A4.00 SERIES FOR SOFFITS AT COMMON SPACE.

LEGEND - FIXTURE

SURFACE MOUNTED ROUND 8", S.E.D.

4' LED STRIP

STRIP, S.E.D.

CEILING HUNG

ROUND LIGHT, S.E.D.

CORRIDOR WALL

LEGEND - RCP

MOUNTED SCONCE,

RECESSED 2 X 2, S.E.D

24" x 24" ACOUSTICAL TILE CEILING AC-1

48" x 48" ACOUSTICAL TILE CEILING AC-2

GYPSUM BOARD CEILING ON FRAMING

OPEN STRUCTURE

ACOUSTIC WOOD CEILING WDC-1

FIXTURE, S.E.D.

4' RECESSED LED

EXTERIOR LIGHT, S.E.D.

GENERAL NOTES - RCP

A. SPRINKLER HEADS TO BE RECESSED TYPE, TYPICAL

E. DROPPED CEILINGS IN RESIDENTIAL UNITS TO BE 8'-9" A.F.F. U.O.N.

F. SOFFITS TO BE 1'-6" WIDE OR ALIGN AS SHOWN, U.O.N.

G. SEE DETAIL 1/A9.20 FOR FIRE-RATED BEAM ENCASEMENT ASSEMBLY TO BE USED AT ALL BEAM LOCATIONS U.O.N., S.S.D. FOR BEAM LOCATIONS

H. CEILING ELEVATIONS ARE CLEAR DIMENSIONS TO BOTTOM OF FINISH.

I. AT FIRST FLOOR, ELEVATIONS ARE ABOVE 0'-0" FLOOR LEVEL DATUM.

J. AT ANY TIME THE BUILDING IS OCCUPIED THE MEANS OF EGRESS SHALL BE ILLUMINATED AT AN INTENSITY OF NOT LESS THAN 1 FOOT-CANDLE AT FLOOR LEVEL. THE POWER SUPPLY FOR THE EGRESS SHALL NORMALLY BE PROVIDED BY THE BUILDING ELECTRICAL

K. SEE A3 SERIES ELEVATIONS FOR LOUVER & VENT CAP BALANCE OF INFORMATION.

	KEYNOTES
5.05	DOWNSPOUT, DIRECT TO WATER TREATMENT AREA, S.C.D.
5.08	ALUMINUM SUNSHADE, SEE A8.11, A8.12, A8.13
23.07	8" X 8" EXHAUST VENT CAP W/ 3' RADIUS CLEARANCE. SILL HEIGHT OF 7'-10" U.O.N. SUCH THAT TOP OF VENT CAP ALIGNS WITH ADJACENT DOORS / WINDOWS. PAINT TO MATCH ADJACENT WALL
23.08	MECHANICAL LOUVER, S.M.D., PAINT TO MATCH ADJACENT WALL
23.11	9" X 9" OSA VENT CAP W/ 10' RADIUS CLEARANCE. SILL HEIGHT OF 7'-9" U.O.N SUCH THAT TOP OF VENT CAP ALIGNS WITH ADJACENT DOORS / WINDOWS. PAINT TO MATCH ADJACENT WALL
23.14	EXHAUST FAN, S.M.D.
23.15	CEILING ACCESS PANEL, LOCATE BELOW CEILING SUPPLY FAN, S.M.D., VERIF LOCATION IN FIELD
26.71	LIGHT FIXTURE, S.E.D.

PSH PHASE 1

COMMUNITY RM

PENDANT LIGHT 10',

FAN COIL UNIT

S.E.D.

CEILING HUNG LIGHT, S.E.D.

PENDANT LIGHT 12',

500 MOSLEY AVENUE ALAMEDA, CA 94501

North Housing,

Block A

JOB NO. Author DRAWN CHECKED Checker JOB CAPTAIN

ISSUE DESCRIPTION 2 12/8/21 SD SET 5 03/22/22 100% DD SET 6 08/22/22 50% CD SET 7 09/29/22 PERMIT SUBMITTAL

ACCESS PANEL FAN COIL UNIT, EXHAUST GRILLE, S.M.D. RETURN GRILLE, S.M.D. SUPPLY GRILLE, S.M.D. EXIT SIGN, S.E.D.

> DRAWING TITLE PSH 1 - 1ST FLOOR REFLECTED CEILING PLAN

SCALE As indicated



LEVEL 01 RCP - PSH PHASE 1

1/8" = 1'-0"

GENERAL NOTES - RCP

26.71 LIGHT FIXTURE, S.E.D.

A. SPRINKLER HEADS TO BE RECESSED TYPE, TYPICAL

B. REFERENCE MECHANICAL AND ELECTRICAL DRAWINGS FOR MOUNTING LOCATIONS OF ITEMS WHERE NO CEILING IS REQUIRED OR INDICATED.

C. LIGHTS, DIFFUSERS, EXIT SIGNS, SMOKE DETECTORS, SPEAKERS, STROBES AND MISCELLANEOUS DEVICES SHALL BE CENTERED IN THE CEILING TILE IN WHICH THEY OCCUR, UNLESS NOTED OTHERWISE.

D. SEE A4.00 SERIES FOR SOFFITS AT COMMON SPACE.

E. DROPPED CEILINGS IN RESIDENTIAL UNITS TO BE 8'-9" A.F.F. U.O.N.

F. SOFFITS TO BE 1'-6" WIDE OR ALIGN AS SHOWN, U.O.N.

G. SEE DETAIL 1/A9.20 FOR FIRE-RATED BEAM ENCASEMENT ASSEMBLY TO BE USED AT ALL BEAM LOCATIONS U.O.N., S.S.D. FOR BEAM LOCATIONS

H. CEILING ELEVATIONS ARE CLEAR DIMENSIONS TO BOTTOM OF FINISH.

I. AT FIRST FLOOR, ELEVATIONS ARE ABOVE 0' -0" FLOOR LEVEL DATUM.

J. AT ANY TIME THE BUILDING IS OCCUPIED THE MEANS OF EGRESS SHALL BE ILLUMINATED AT AN INTENSITY OF NOT LESS THAN 1 FOOT-CANDLE AT FLOOR LEVEL. THE POWER SUPPLY FOR THE EGRESS SHALL NORMALLY BE PROVIDED BY THE BUILDING ELECTRICAL SUPPLY.

K. SEE A3 SERIES ELEVATIONS FOR LOUVER & VENT CAP BALANCE OF INFORMATION.

	KEYNOTES
5.05	DOWNSPOUT, DIRECT TO WATER TREATMENT AREA, S.C.D.
5.08	ALUMINUM SUNSHADE, SEE A8.11, A8.12, A8.13
23.07	8" X 8" EXHAUST VENT CAP W/ 3' RADIUS CLEARANCE. SILL HEIGHT OF 7'-10" U.O.N. SUCH THAT TOP OF VENT CAP ALIGNS WITH ADJACENT DOORS / WINDOWS. PAINT TO MATCH ADJACENT WALL
23.08	MECHANICAL LOUVER, S.M.D., PAINT TO MATCH ADJACENT WALL
23.11	9" X 9" OSA VENT CAP W/ 10' RADIUS CLEARANCE. SILL HEIGHT OF 7'-9" U.O.N SUCH THAT TOP OF VENT CAP ALIGNS WITH ADJACENT DOORS / WINDOWS. PAINT TO MATCH ADJACENT WALL
23.14	EXHAUST FAN, S.M.D.
23.15	CEILING ACCESS PANEL, LOCATE BELOW CEILING SUPPLY FAN, S.M.D., VERIFY I OCATION IN FIFI D

North Housing, Block A

PAUL M MCELWEE

PSH PHASE 1

500 MOSLEY AVENUE
ALAMEDA, CA 94501

JOB NO. 19009

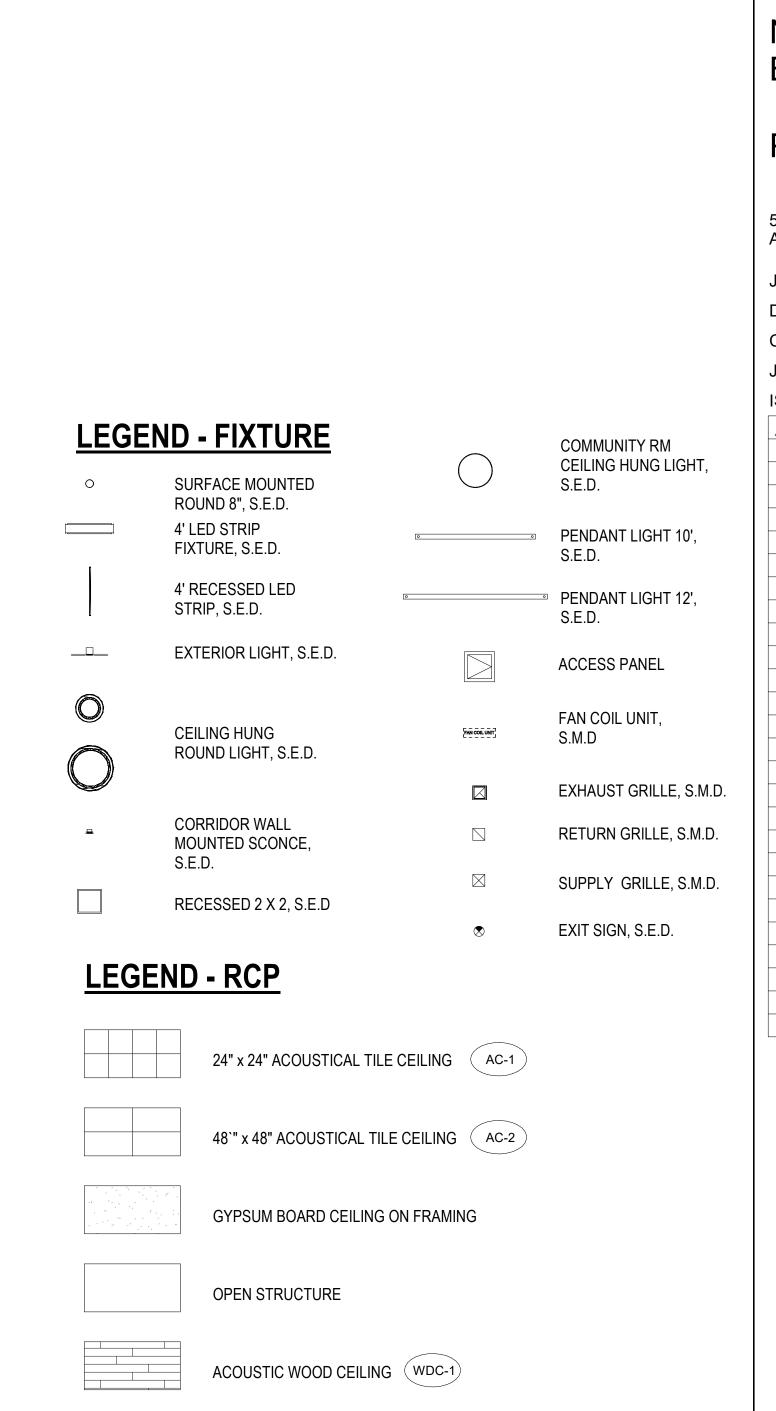
DRAWN Author

CHECKED Checker

J	J. (on one
JOB	CAPTAIN	Approver
ISSU		
	DATE	DESCRIPTION
2	12/8/21	SD SET
5	03/22/22	100% DD SET
6	08/22/22	50% CD SET
7	09/29/22	PERMIT SUBMITTAL

DRAWING TITLE
PSH 1 - 2ND FLOOR
REFLECTED CEILING
PLAN

SCALE As indicated



North Housing,

PSH PHASE 1

Checker

Approver

Block A

GENERAL NOTES - RCP

A. SPRINKLER HEADS TO BE RECESSED TYPE, TYPICAL

B. REFERENCE MECHANICAL AND ELECTRICAL DRAWINGS FOR MOUNTING LOCATIONS OF ITEMS WHERE NO CEILING IS REQUIRED OR INDICATED.

C. LIGHTS, DIFFUSERS, EXIT SIGNS, SMOKE DETECTORS, SPEAKERS, STROBES AND MISCELLANEOUS DEVICES SHALL BE CENTERED IN THE CEILING TILE IN WHICH THEY OCCUR, UNLESS NOTED OTHERWISE.

D. SEE A4.00 SERIES FOR SOFFITS AT COMMON SPACE.

E. DROPPED CEILINGS IN RESIDENTIAL UNITS TO BE 8'-9" A.F.F. U.O.N.

F. SOFFITS TO BE 1'-6" WIDE OR ALIGN AS SHOWN, U.O.N.

G. SEE DETAIL 1/A9.20 FOR FIRE-RATED BEAM ENCASEMENT ASSEMBLY TO BE USED AT ALL BEAM LOCATIONS U.O.N., S.S.D. FOR BEAM LOCATIONS

H. CEILING ELEVATIONS ARE CLEAR DIMENSIONS TO BOTTOM OF FINISH.

I. AT FIRST FLOOR, ELEVATIONS ARE ABOVE 0' -0" FLOOR LEVEL DATUM.

J. AT ANY TIME THE BUILDING IS OCCUPIED THE MEANS OF EGRESS SHALL BE ILLUMINATED AT AN INTENSITY OF NOT LESS THAN 1 FOOT-CANDLE AT FLOOR LEVEL. THE POWER SUPPLY FOR THE EGRESS SHALL NORMALLY BE PROVIDED BY THE BUILDING ELECTRICAL

K. SEE A3 SERIES ELEVATIONS FOR LOUVER & VENT CAP BALANCE OF INFORMATION.

	KEYNOTES
5.05	DOWNSPOUT, DIRECT TO WATER TREATMENT AREA, S.C.D.
5.08	ALUMINUM SUNSHADE, SEE A8.11, A8.12, A8.13
23.07	8" X 8" EXHAUST VENT CAP W/ 3' RADIUS CLEARANCE. SILL HEIGHT OF 7'-10" U.O.N. SUCH THAT TOP OF VENT CAP ALIGNS WITH ADJACENT DOORS / WINDOWS. PAINT TO MATCH ADJACENT WALL
23.08	MECHANICAL LOUVER, S.M.D., PAINT TO MATCH ADJACENT WALL
23.11	9" X 9" OSA VENT CAP W/ 10' RADIUS CLEARANCE. SILL HEIGHT OF 7'-9" U.O.N SUCH THAT TOP OF VENT CAP ALIGNS WITH ADJACENT DOORS / WINDOWS. PAINT TO MATCH ADJACENT WALL
23.14	EXHAUST FAN, S.M.D.
26.71	LIGHT FIXTURE, S.E.D.

500 MOSLEY AVENUE ALAMEDA, CA 94501 JOB NO.

DRAWN CHECKED JOB CAPTAIN **LEGEND - FIXTURE** COMMUNITY RM CEILING HUNG LIGHT, DATE DESCRIPTION 2 12/8/21 SD SET

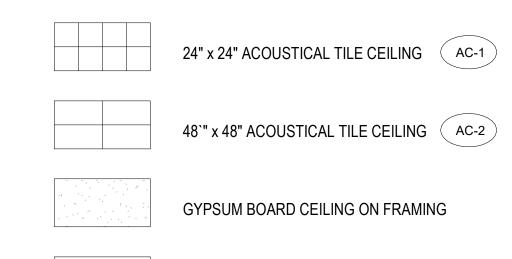
S.E.D.

SUPPLY GRILLE, S.M.D.

5 03/22/22 100% DD SET PENDANT LIGHT 10', S.E.D. 6 08/22/22 50% CD SET 7 09/29/22 PERMIT SUBMITTAL PENDANT LIGHT 12', ACCESS PANEL FAN COIL UNIT, EXHAUST GRILLE, S.M.D. RETURN GRILLE, S.M.D.

RECESSED 2 X 2, S.E.D

EXIT SIGN, S.E.D.



OPEN STRUCTURE

ACOUSTIC WOOD CEILING WDC-1

23' - 0"

13 A9.30

23.11)—

23.14)— TYP.

(23.14)

26.71)—

26.71)— TYP.

1 LEVEL 03 RCP - PSH PHASE 1
1/8" = 1'-0"

UNIT TYPE 1B

15' - 0"

UNIT TYPE SB

ELEVATOR 1

UNIT TYPE 1B

UNIT TYPE SB U302

23' - 0"

UNIT TYPE 1A

15' - 0"

15' - 0 1/2"

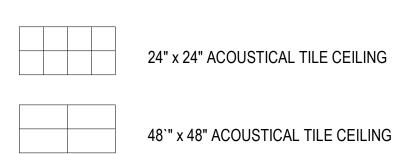
SURFACE MOUNTED ROUND 8", S.E.D. 4' LED STRIP FIXTURE, S.E.D. 4' RECESSED LED

STRIP, S.E.D. EXTERIOR LIGHT, S.E.D.

CEILING HUNG ROUND LIGHT, S.E.D. CORRIDOR WALL

MOUNTED SCONCE, S.E.D.

LEGEND - RCP



SCALE As indicated A6.13

DRAWING TITLE

PLAN

PSH 1 - 3RD FLOOR REFLECTED CEILING

GENERAL NOTES - RCP

- A. SPRINKLER HEADS TO BE RECESSED TYPE, TYPICAL
- B. REFERENCE MECHANICAL AND ELECTRICAL DRAWINGS FOR MOUNTING LOCATIONS OF ITEMS WHERE NO CEILING IS REQUIRED OR INDICATED.
- C. LIGHTS, DIFFUSERS, EXIT SIGNS, SMOKE DETECTORS, SPEAKERS, STROBES AND MISCELLANEOUS DEVICES SHALL BE CENTERED IN THE CEILING TILE IN WHICH THEY OCCUR, UNLESS NOTED OTHERWISE.
- D. SEE A4.00 SERIES FOR SOFFITS AT COMMON SPACE.
- E. DROPPED CEILINGS IN RESIDENTIAL UNITS TO BE 8'-9" A.F.F. U.O.N.
- F. SOFFITS TO BE 1'-6" WIDE OR ALIGN AS SHOWN, U.O.N.
- G. SEE DETAIL 1/A9.20 FOR FIRE-RATED BEAM ENCASEMENT ASSEMBLY TO BE USED AT ALL BEAM LOCATIONS U.O.N., S.S.D. FOR BEAM LOCATIONS
- H. CEILING ELEVATIONS ARE CLEAR DIMENSIONS TO BOTTOM OF FINISH.
- I. AT FIRST FLOOR, ELEVATIONS ARE ABOVE 0'-0" FLOOR LEVEL DATUM.
- J. AT ANY TIME THE BUILDING IS OCCUPIED THE MEANS OF EGRESS SHALL BE ILLUMINATED AT AN INTENSITY OF NOT LESS THAN 1 FOOT-CANDLE AT FLOOR LEVEL. THE POWER SUPPLY FOR THE EGRESS SHALL NORMALLY BE PROVIDED BY THE BUILDING ELECTRICAL
- K. SEE A3 SERIES ELEVATIONS FOR LOUVER & VENT CAP BALANCE OF INFORMATION.

KEYNOTES

- 5.05 DOWNSPOUT, DIRECT TO WATER TREATMENT AREA, S.C.D.
- 5.08 ALUMINUM SUNSHADE, SEE A8.11, A8.12, A8.13 23.07 8" X 8" EXHAUST VENT CAP W/ 3' RADIUS CLEARANCE. SILL
- HEIGHT OF 7'-10" U.O.N. SUCH THAT TOP OF VENT CAP ALIGNS WITH ADJACENT DOORS / WINDOWS. PAINT TO MATCH ADJACENT WALL
- 23.08 MECHANICAL LOUVER, S.M.D., PAINT TO MATCH ADJACENT
- 23.11 9" X 9" OSA VENT CAP W/ 10' RADIUS CLEARANCE. SILL HEIGHT OF 7'-9" U.O.N SUCH THAT TOP OF VENT CAP ALIGNS WITH ADJACENT DOORS / WINDOWS. PAINT TO MATCH ADJACENT WALL
- 23.14 EXHAUST FAN, S.M.D.
- 23.15 CEILING ACCESS PANEL, LOCATE BELOW CEILING SUPPLY FAN, S.M.D., VERIFY LOCATION IN FIELD
- 26.71 LIGHT FIXTURE, S.E.D.

North Housing, Block A

PAUL M MCELWEE

PSH PHASE 1

500 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO.

DRAWN CHECKED Checker

Approver

JOB CAPTAIN ISSUE

7	DATE	DESCRIPTIO
	12/8/21	SD SET
	03/22/22	100% DD SET
	08/22/22	50% CD SET

PENDANT LIGHT 10', S.E.D. 7 09/29/22 PERMIT SUBMITTAL PENDANT LIGHT 12',

ACCESS PANEL

S.E.D.

COMMUNITY RM

CEILING HUNG LIGHT,

EXHAUST GRILLE, S.M.D.

RETURN GRILLE, S.M.D.

FAN COIL UNIT,

CORRIDOR WALL MOUNTED SCONCE,

S.E.D. RECESSED 2 X 2, S.E.D

SUPPLY GRILLE, S.M.D. EXIT SIGN, S.E.D.

LEGEND - RCP

LEGEND - FIXTURE

4' LED STRIP

FIXTURE, S.E.D.

STRIP, S.E.D.

CEILING HUNG

ROUND LIGHT, S.E.D.

4' RECESSED LED

EXTERIOR LIGHT, S.E.D.

SURFACE MOUNTED ROUND 8", S.E.D.

24" x 24" ACOUSTICAL TILE CEILING AC-1 48" x 48" ACOUSTICAL TILE CEILING (AC-2) GYPSUM BOARD CEILING ON FRAMING

OPEN STRUCTURE

ACOUSTIC WOOD CEILING WDC-1

DRAWING TITLE PSH 1 - 4TH FLOOR REFLECTED CEILING PLAN

SCALE As indicated



North Housing, Block A

PSH PHASE 1

500 MOSLEY AVENUE ALAMEDA, CA 94501

LEVEL 4 - TOS 33' - 0"

LEVEL 3 - TOS 22' - 0"

LEVEL 2 - TOS 11' - 0"

6 08/22/22 50% CD SET 7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE PSH 1 - STAIR PLANS AND SECTIONS



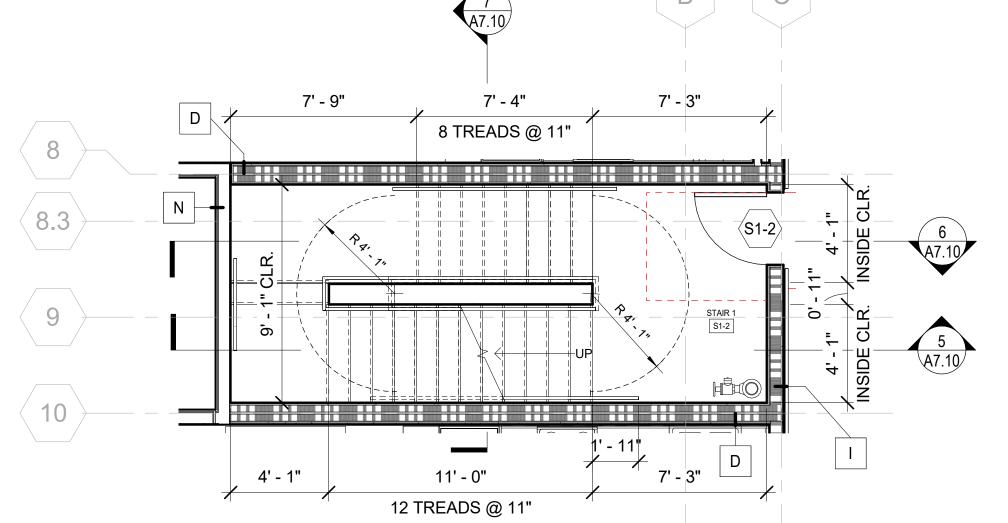
5' - 10 1/2" 9 TREADS @ 11"

PSH 1 - LEVEL 4 - ENLARGED STAIR 1 1/4" = 1'-0"

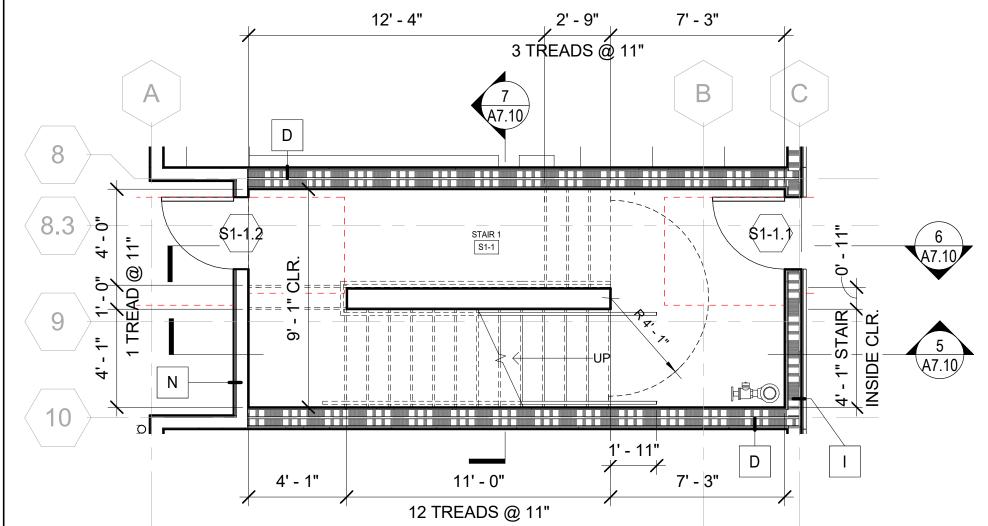
7' - 9" 7' - 3" 8 TREADS @ 11" STAIR 1 9 TREADS @ 11"

2 PSH 1 - LEVEL 3 - ENLARGED STAIR 1

1/4" = 1'-0"

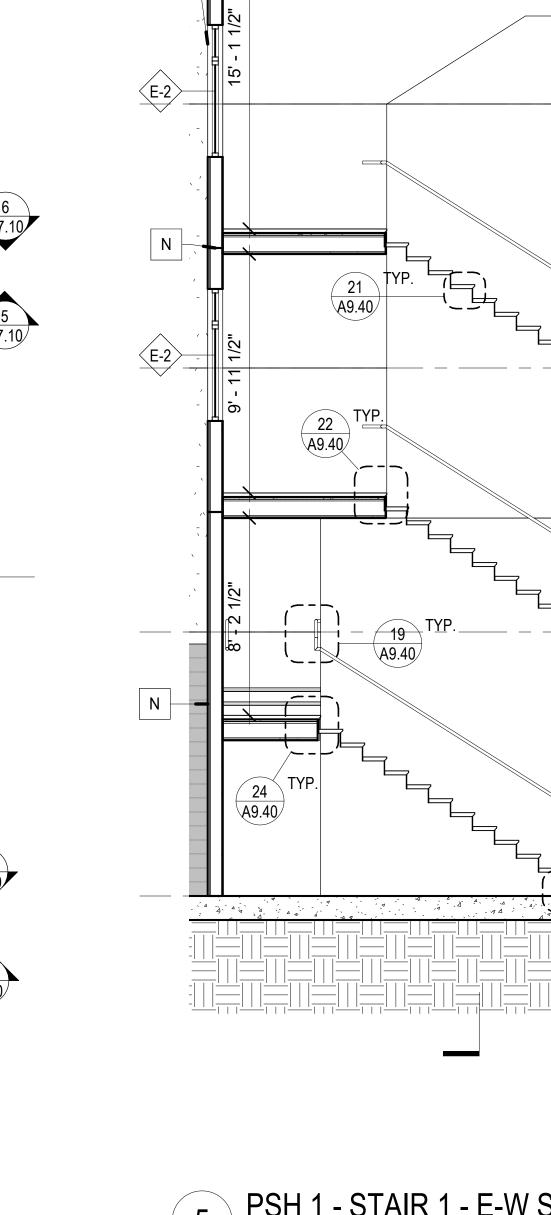


PSH 1 - LEVEL 2 - ENLARGED STAIR 1



4 PSH 1 - LEVEL 1 - ENLARGED STAIR 1

1/4" = 1'-0"



5 PSH 1 - STAIR 1 - E-W SECTION FACING NORTH

6 PSH 1 - STAIR 1 - E-W SECTION FACING SOUTH

PSH 1 - STAIR 1 - N-S SECTION FACING WEST
1/4" = 1'-0"

H. SEE STRUCTURAL DRAWINGS FOR STAIR STRINGERS, SUPPORTS, BRACING AND

KEYNOTES

42" HIGH WALL W/ PAINTED WOOD CAP, SEE X/XX

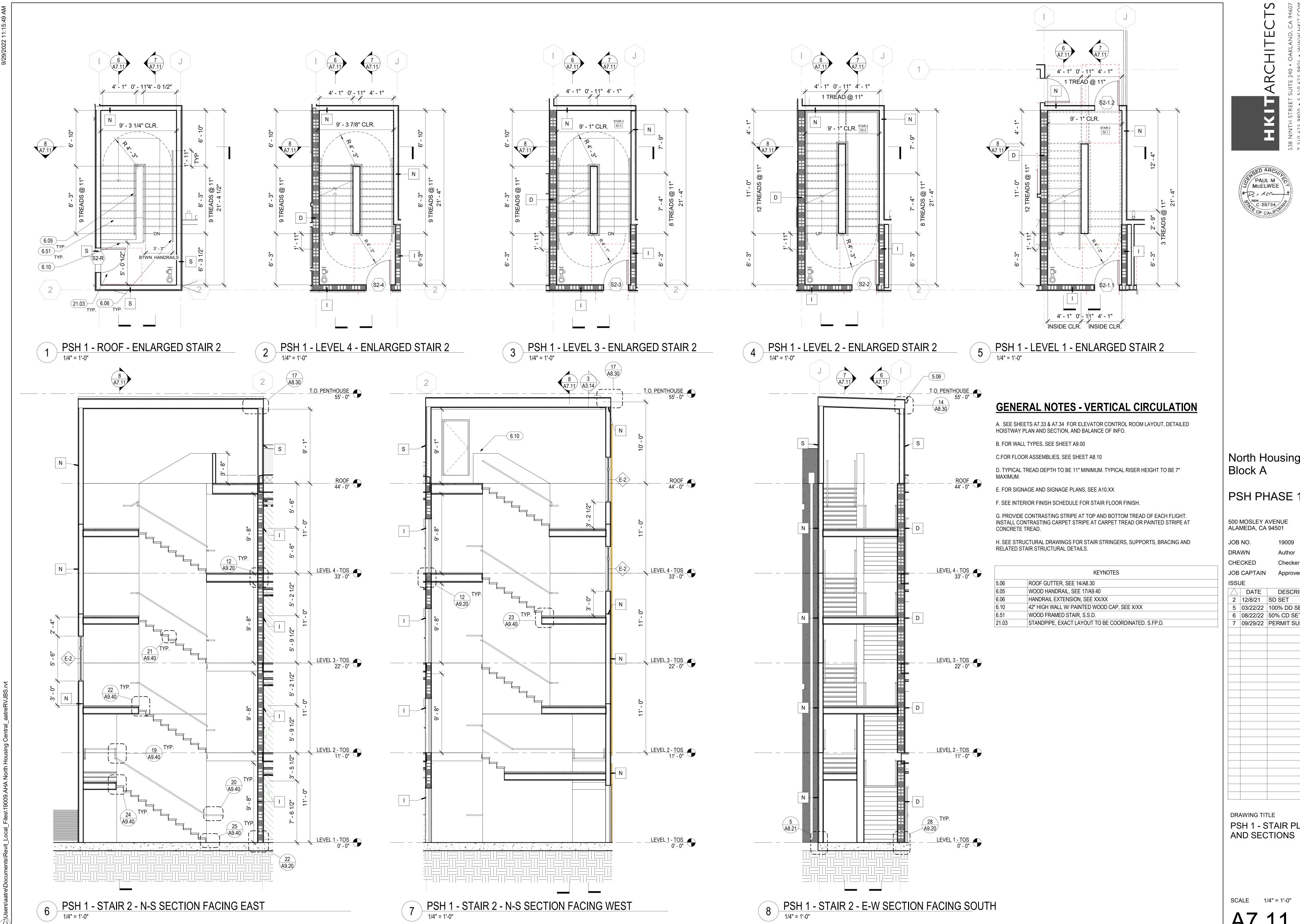
STANDPIPE, EXACT LAYOUT TO BE COORDINATED.

WOOD HANDRAIL, SEE 17/A9.40

WOOD FRAMED STAIR, S.S.D.

HANDRAIL EXTENSION, SEE XX/XX

RELATED STAIR STRUCTURAL DETAILS.



PAUL M MCELWEE MCELWEE C-28734 C-28734

North Housing,

PSH PHASE 1

500 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO. DRAWN Author

CHECKED Checker

JOB CAPTAIN

DESCRIPTION 2 12/8/21 SD SET 5 03/22/22 100% DD SET 6 08/22/22 50% CD SET

7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE PSH 1 - STAIR PLANS



(333) (333) (333)

7.9 (331)
(5.59)

8 (331)
(11)
(12)
(12)
(12)

PSH 1 - EXTERIOR STAIR & RAMP @ LOBBY

1/4" = 1'-0"

2 PSH 1 - EXTERIOR STAIR @ STAIR 1

1/4" = 1'-0"

North Housing, Block A

PSH PHASE 1

500 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO. 19009 DRAWN Author

CHECKED Checker

JOB CAPTAIN Approver

ISSUE

 ✓
 DATE
 DESCRIPTION

 5
 03/22/22
 100% DD SET

 6
 08/22/22
 50% CD SET

 7
 09/29/22
 PERMIT SUBMITTAL

PSH 1 - ENLARGED EXTERIOR STAIR AND RAMP PLANS

SCALE 1/4" = 1'-0"

SCALE 1/4" = 1'

	538 NINTH STREET SUITE 240 • OAKI	T 510 625 9800 • F 510 625 9801 • M	
CHI			

	538 NINTH STREET SUITE	T 510 625 9800 • F 510 62	
CHITTE MEE	也		

GENERAL NOTES - VERTICAL CIRCULATION	

A. SEE SHEETS A7.33 & A7.34 FOR ELEVATOR CONTROL ROOM LAYOUT, DETAILED HOISTWAY PLAN AND SECTION, AND BALANCE OF INFO.

B. FOR WALL TYPES, SEE SHEET A9.00

C.FOR FLOOR ASSEMBLIES, SEE SHEET A8.10

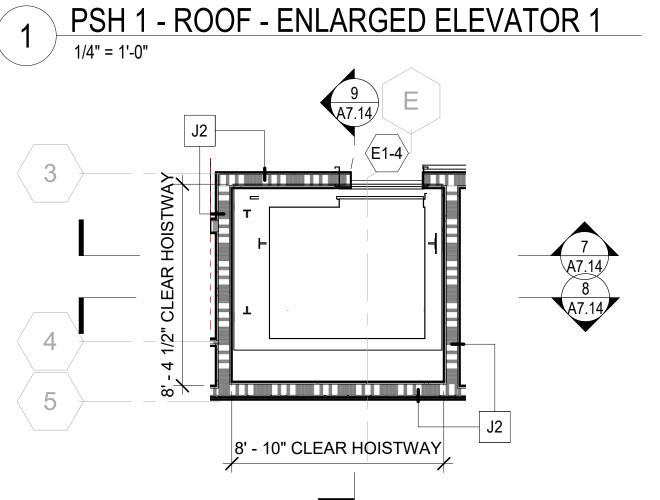
D. TYPICAL TREAD DEPTH TO BE 11" MINIMUM. TYPICAL RISER HEIGHT TO BE 7"

E. FOR SIGNAGE AND SIGNAGE PLANS, SEE A10.XX

F. SEE INTERIOR FINISH SCHEDULE FOR STAIR FLOOR FINISH.

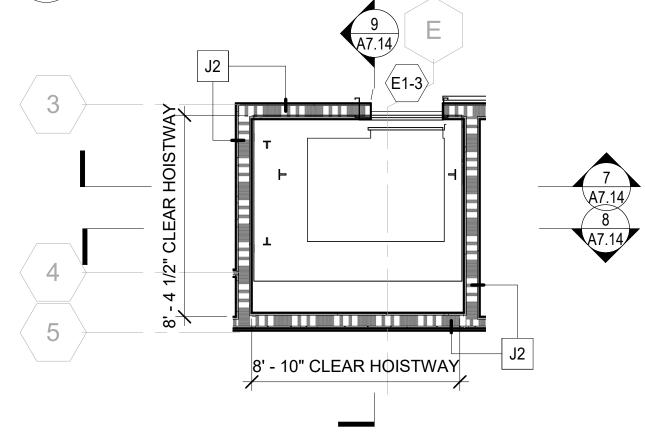
G. PROVIDE CONTRASTING STRIPE AT TOP AND BOTTOM TREAD OF EACH FLIGHT. INSTALL CONTRASTING CARPET STRIPE AT CARPET TREAD OR PAINTED STRIPE AT CONCRETE TREAD.

H. SEE STRUCTURAL DRAWINGS FOR STAIR STRINGERS, SUPPORTS, BRACING AND RELATED STAIR STRUCTURAL DETAILS.

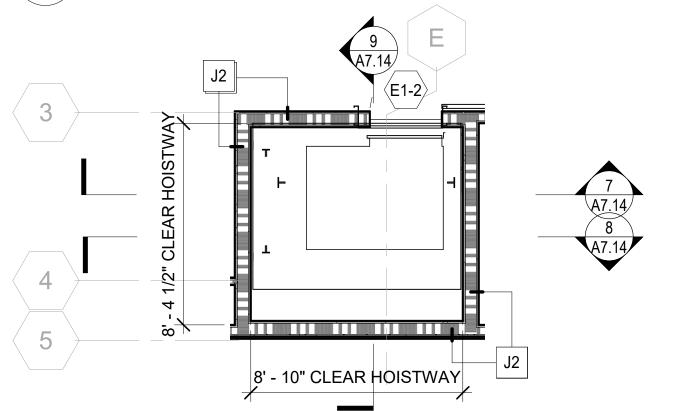


2 PSH 1 - LEVEL 4 - ENLARGED ELEVATOR 1

1/4" = 1'-0"

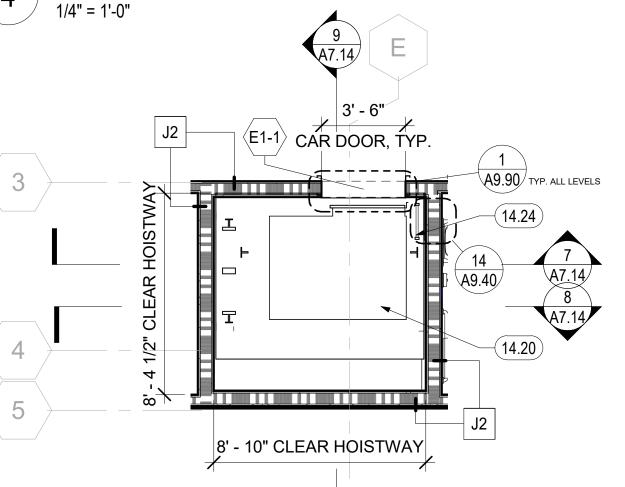


PSH 1 - LEVEL 3 - ENLARGED ELEVATOR 1

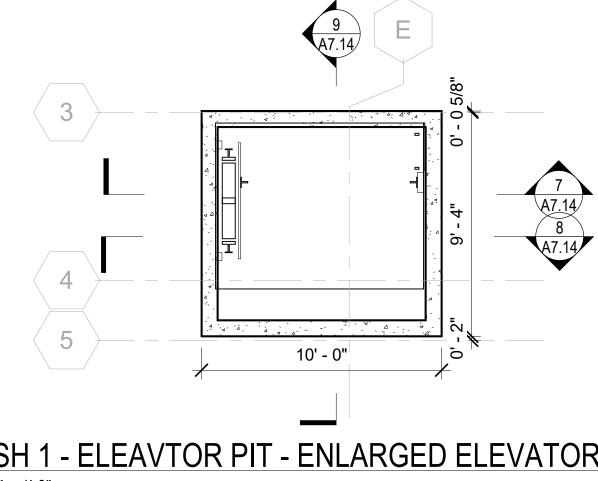


PSH 1 - LEVEL 2 - ENLARGED ELEVATOR 1

1/4" = 1'-0"



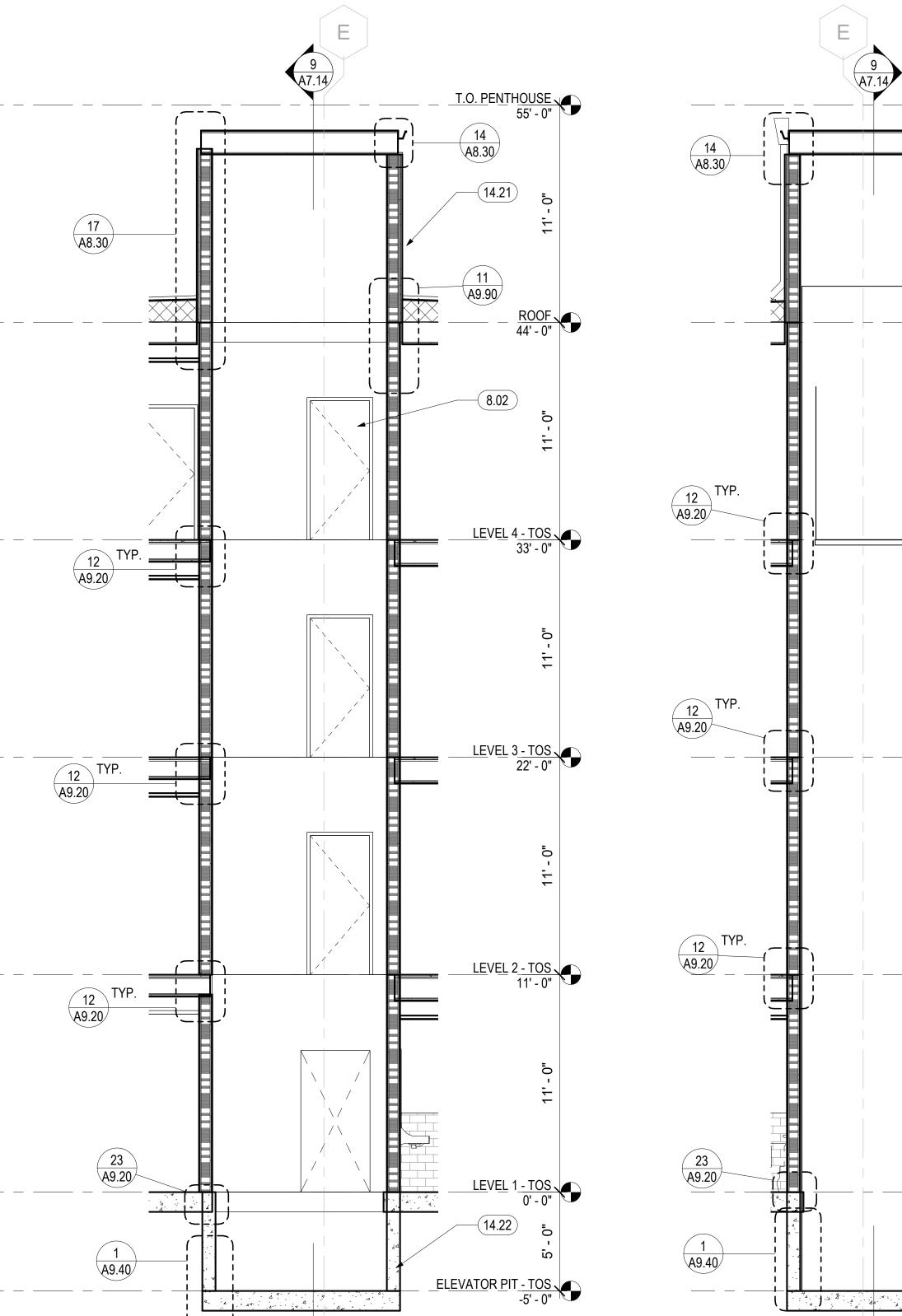
5 PSH 1 - LEVEL 1 - ENLARGED ELEVATOR 1

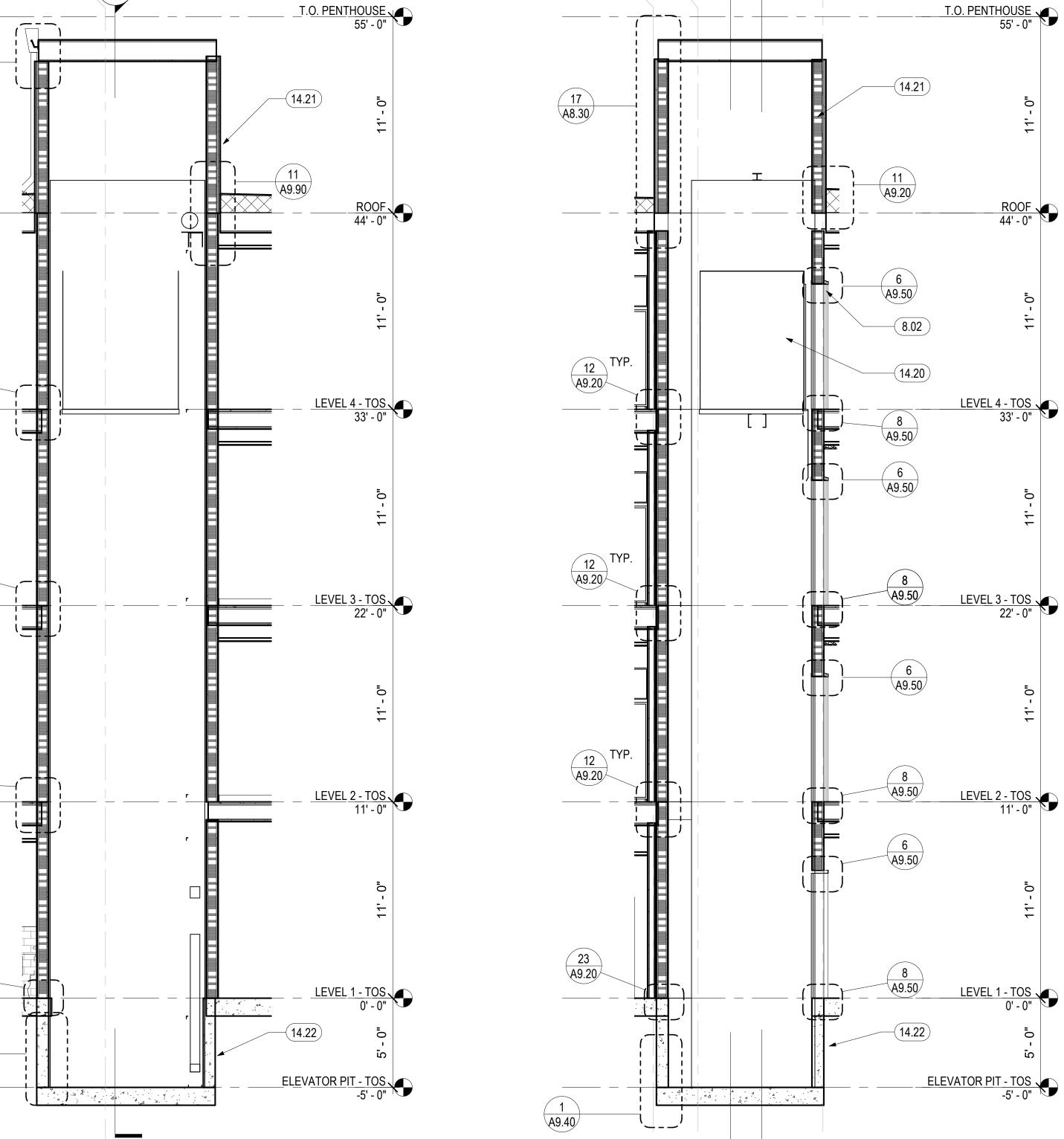


6 PSH 1 - ELEAVTOR PIT - ENLARGED ELEVATOR 1

7 PSH 1 - ELEVATOR 1 - E-W SECTION FACING NORTH

1/4" = 1'-0"





KEYNOTES

ELEVATOR SMOKE DOOR(S) ON EMHO

ELEVATOR OVERRUN, PROVIDE SHAFT VENTS AS

REQUIRED BY ELEVATOR MANUFACTURER, S.M.D.

ELEVATOR PIT LADDER, SEE DETAIL 14/A9.90

STEEL HOIST BEAM, S.S.D.

ELEVATOR PIT, S.S.D.,

ELEVATOR CAR, SEE 6/A9.90

8 PSH 1 - ELEVATOR 1 - E-W SECTION FACING SOUTH

1/4" = 1'-0"

9 PSH 1 - ELEVATOR 1 - N-S SECTION

1/4" = 1'-0"

North Housing, Block A

PSH PHASE 1

500 MOSLEY AVENUE ALAMEDA, CA 94501

CHECKED

JOB CAPTAIN

000	O/ 11 17 111 1	7 (66)
ISSUE		
	DATE	DESCRIPTION
2	12/8/21	SD SET
5	03/22/22	100% DD SET
6	08/22/22	50% CD SET
7	09/29/22	PERMIT SUBMITTAL

DRAWING TITLE PSH 1 - ELEVATOR PLANS AND SECTIONS

SCALE 1/4" = 1'-0"



North Housing,

PSH PHASE 1

5 03/22/22 100% DD SET

7 09/29/22 PERMIT SUBMITTAL

6 08/22/22 50% CD SET

500 MOSLEY AVENUE ALAMEDA, CA 94501

CHECKED

JOB CAPTAIN

Block A

GENERAL NOTES - VERTICAL CIRCULATION

A. SEE SHEETS A7.33 & A7.34 FOR ELEVATOR CONTROL ROOM LAYOUT, DETAILED HOISTWAY PLAN AND SECTION, AND BALANCE OF INFO.

B. FOR WALL TYPES, SEE SHEET A9.00

KEYNOTES

10" HIGH RAISED CONCRETE CURB, S.S.D.

OVERHEAD ROLL-UP DOOR, FIRE-RATING PER DOOR

TRASH CHUTE, COORD. OPENINGS W/ MFR, SEE

FIRE-RATED TRASH CHUTE INTAKE DOOR, SEE

SEE TRASH MGMT. DWGS. FOR TRASH ROOM

CHUTE SUPPORT: 1 1/2" X 1 1/2" X 3/16" STL ANGLE

CLIPS WELDED TO CHUTE TUBE, CONNECT WITH STRUCTURAL FRAME, SEE TRASH MGMT. DWGS.

CONCRETE STEP, S.S.D. & SLAB PLANS

TRASH CHUTE VENT THRU ROOF TRASH AND RECYCLING CHUTES

TRASH DRAWINGS, SEE XX

TRASH MGMT. DWGS

EQUIPMENT

SCHEDULE, SEE X/XX

CONCRETE VEHICULAR RAMP, S.S.D.

C.FOR FLOOR ASSEMBLIES, SEE SHEET A8.10

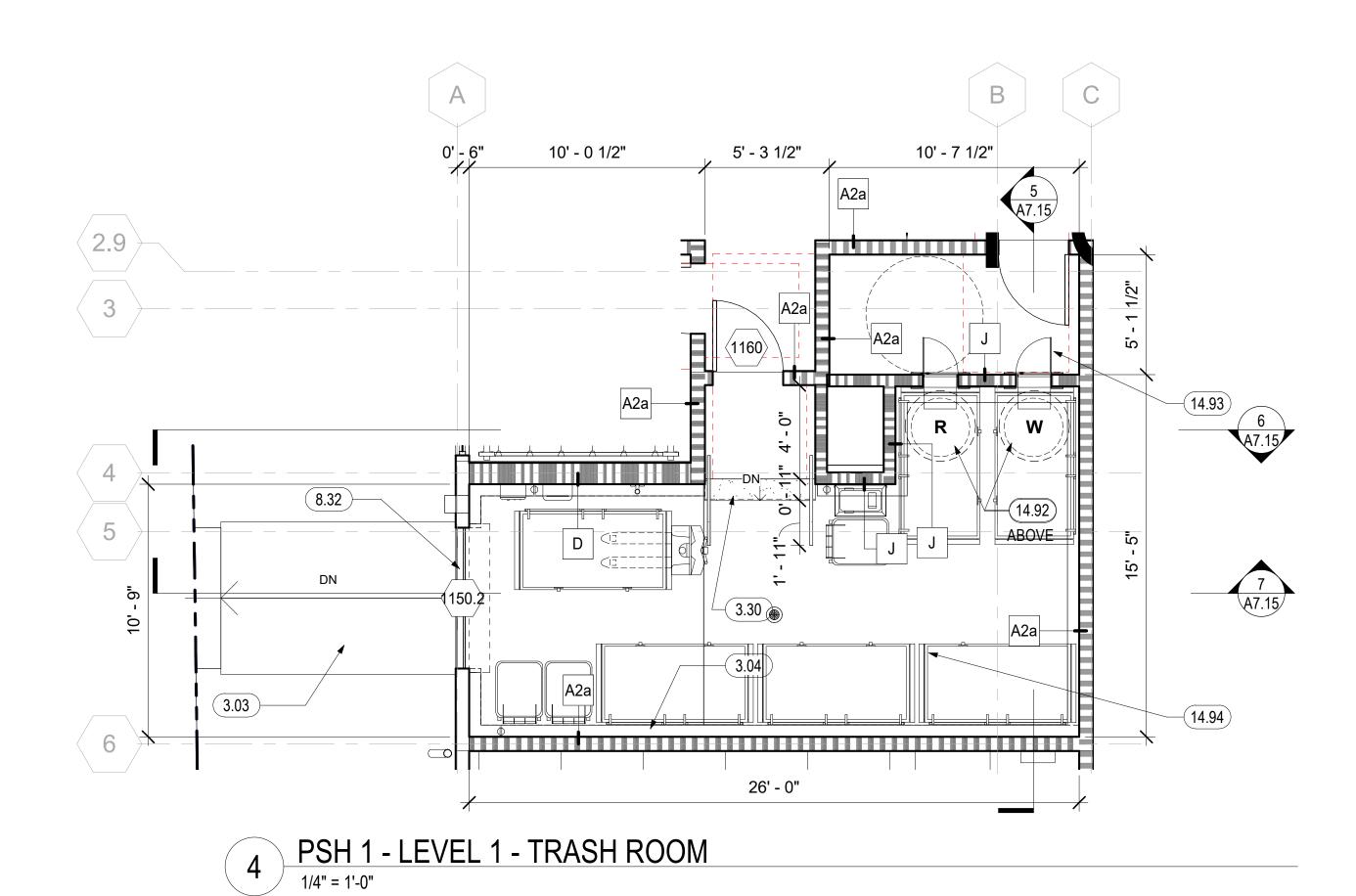
D. TYPICAL TREAD DEPTH TO BE 11" MINIMUM. TYPICAL RISER HEIGHT TO BE 7"

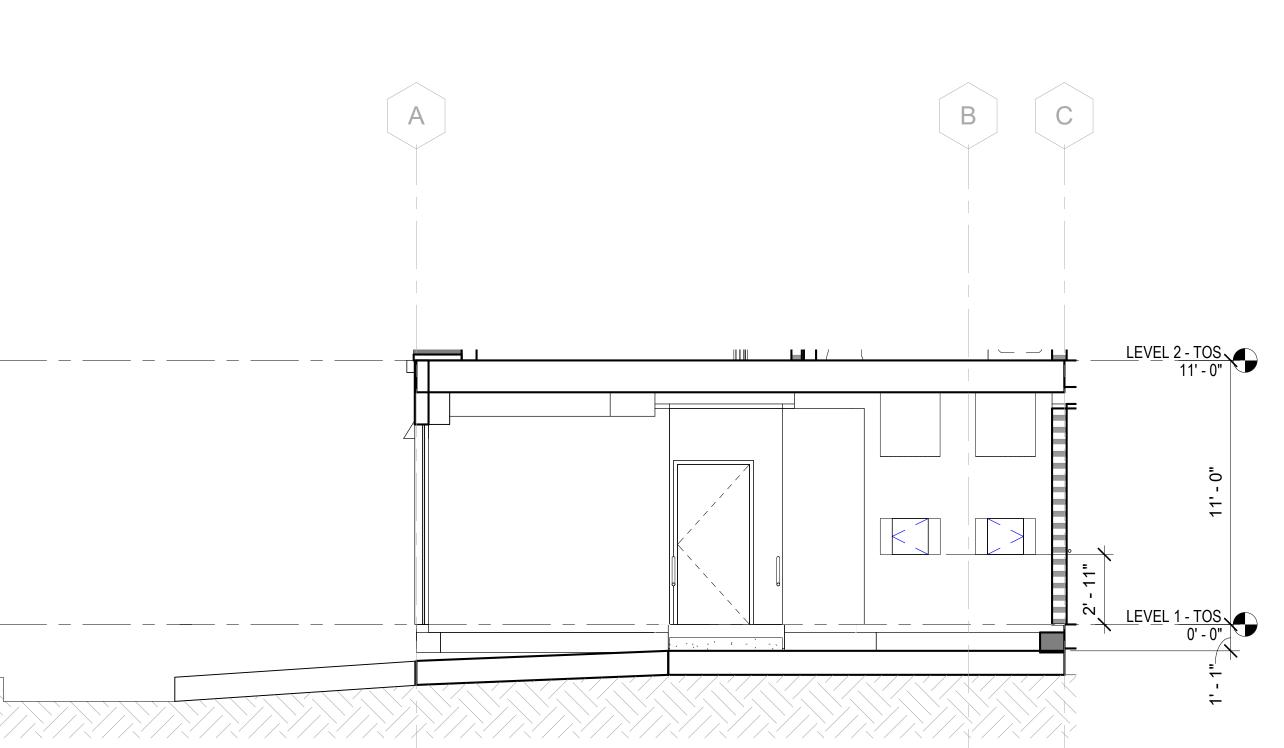
E. FOR SIGNAGE AND SIGNAGE PLANS, SEE A10.XX

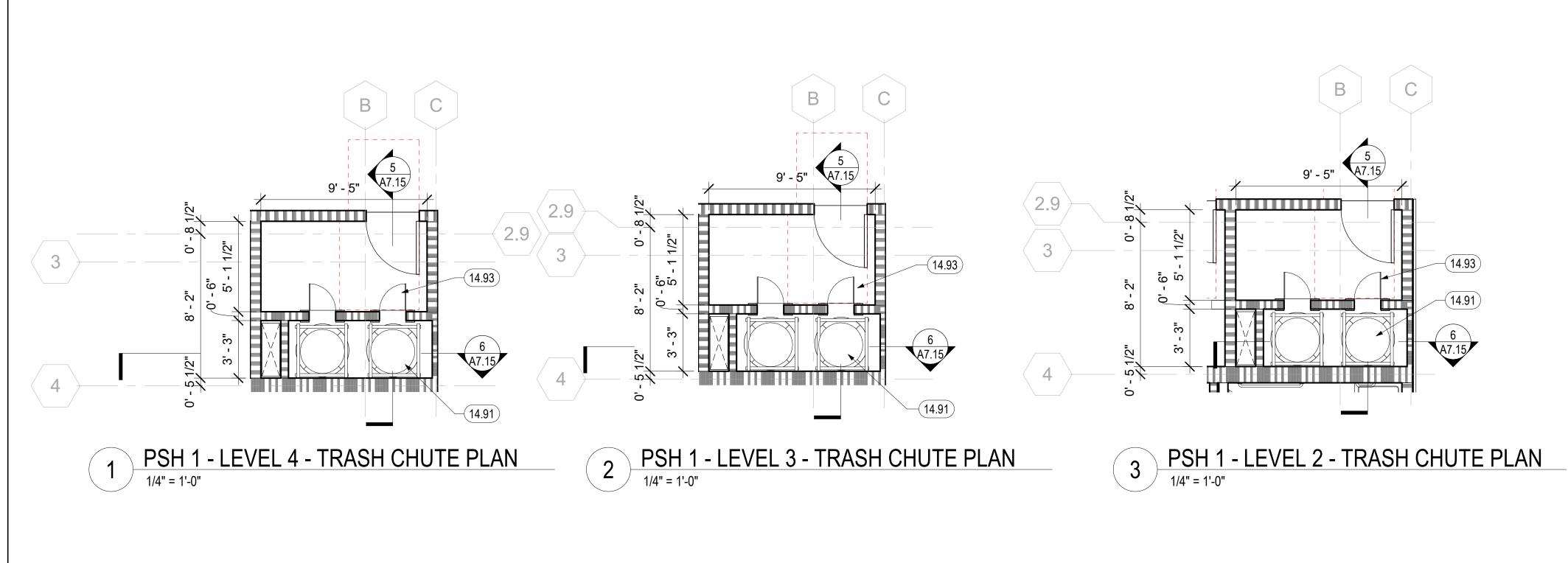
F. SEE INTERIOR FINISH SCHEDULE FOR STAIR FLOOR FINISH.

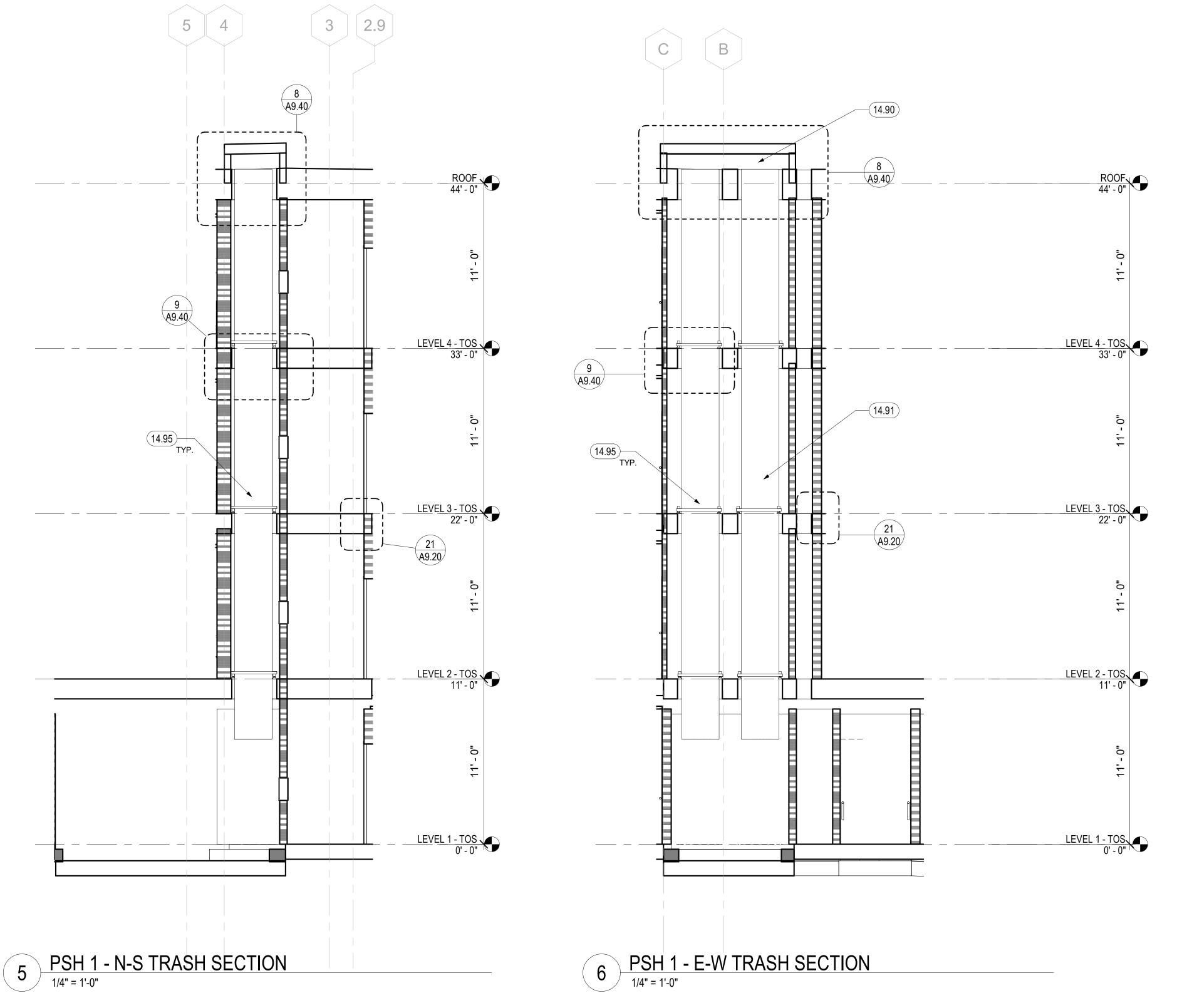
G. PROVIDE CONTRASTING STRIPE AT TOP AND BOTTOM TREAD OF EACH FLIGHT. INSTALL CONTRASTING CARPET STRIPE AT CARPET TREAD OR PAINTED STRIPE AT CONCRETE TREAD.

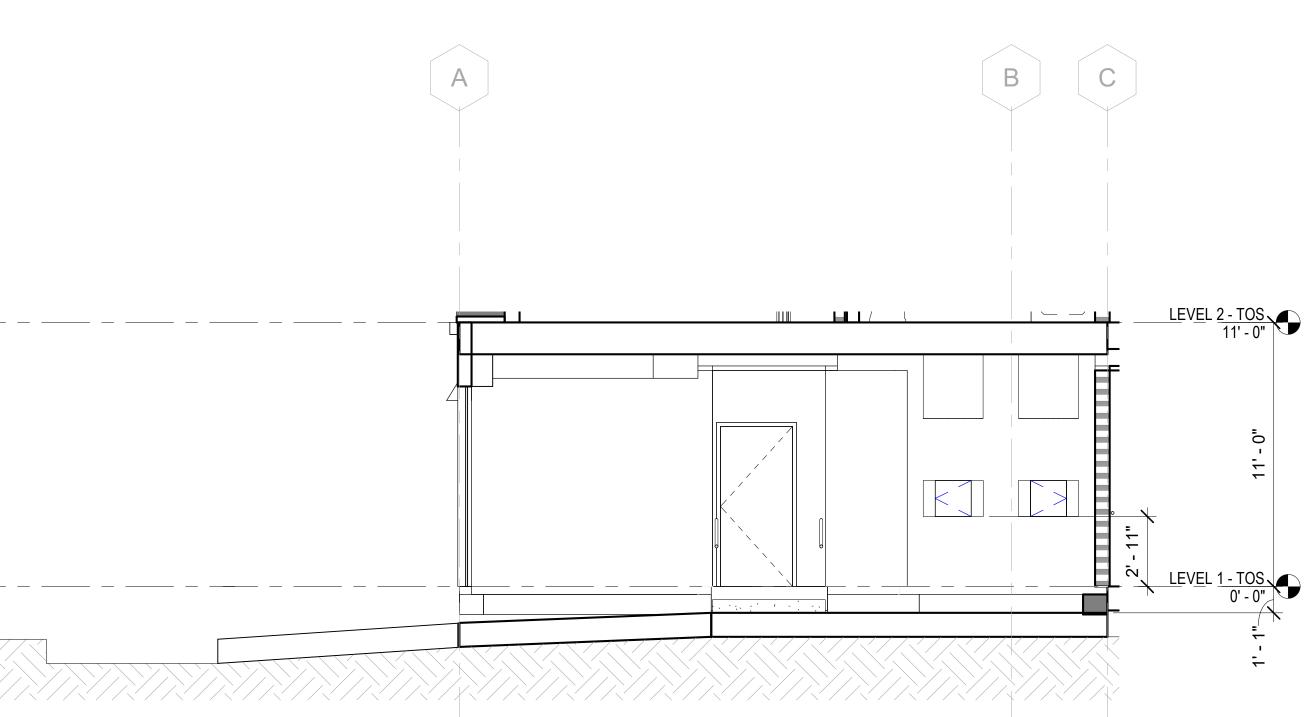
H. SEE STRUCTURAL DRAWINGS FOR STAIR STRINGERS, SUPPORTS, BRACING AND RELATED STAIR STRUCTURAL DETAILS.











PSH 1 - E-W TRASH SECTION THROUGH RAMP

1/4" = 1'-0"

PSH 1 - TRASH CHUTE PLANS & SECTIONS

DRAWING TITLE

North Housing,

Block A

Alameda, CA 94501

Author

Checker

Approver

1 08/27/21 ENTITLEMENT SET

7 09/29/22 PERMIT SUBMITTAL

DESCRIPTION

JOB NO.

DRAWN

ISSUE

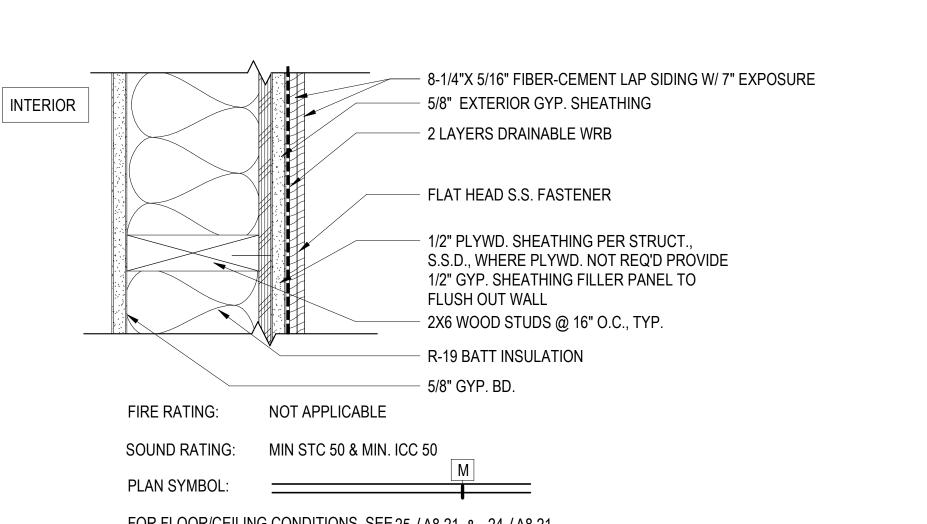
CHECKED

JOB CAPTAIN

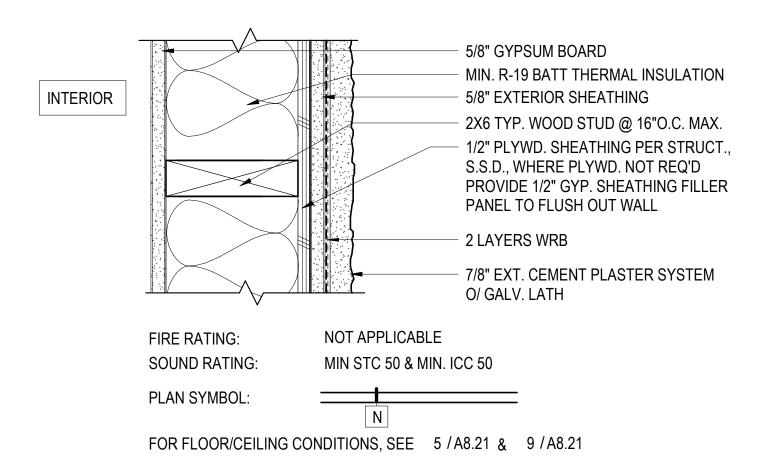
2 12/8/21 SD SET

5 03/22/22 100% DD SET

6 | 08/22/22 | 50% CD SET

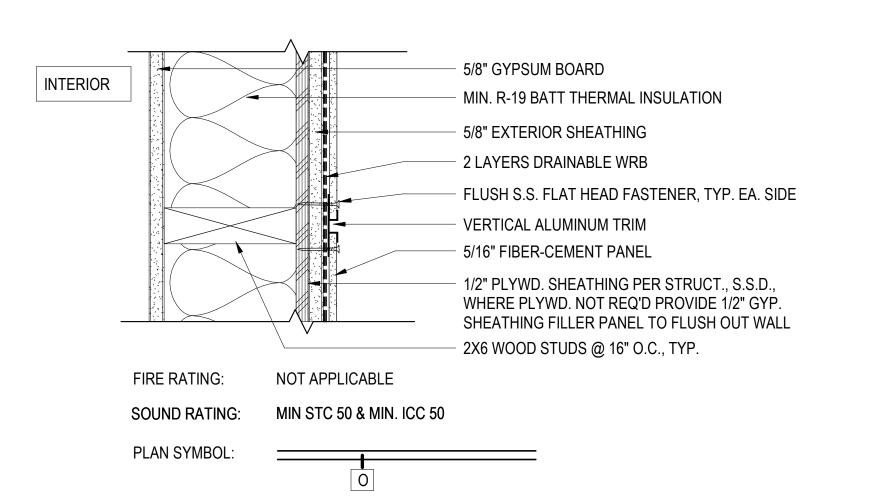


FOR FLOOR/CEILING CONDITIONS, SEE 25 / A8.21 & 24 / A8.21 WALL TYPE M - FIBER CEMENT LAP SIDING (FC-13, FC-20)



WALL TYPE N - CEMENT PLASTER (CP-11, CP-12, CP-13,

2 CP-14, CP-15, CP-16, CP-17)
3" = 1'-0"

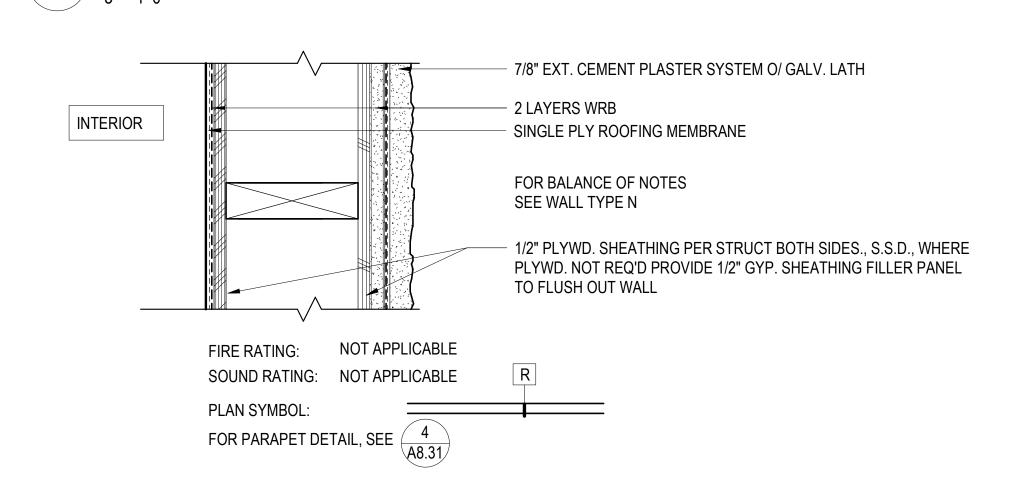


FOR FLOOR/CEILING CONDITIONS, SEE 19 / A8.21 & 20 / A8.21

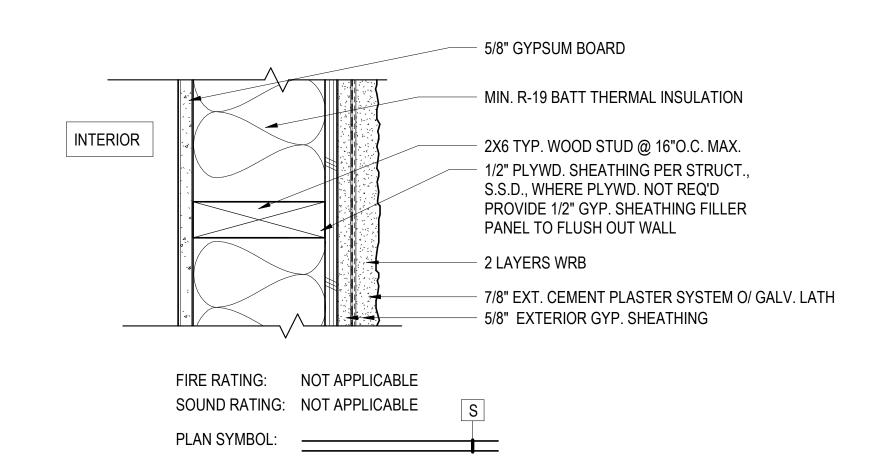
WALL TYPE O - FIBER CEMENT PANEL (FC-11, FC-12, 3 FC-14, FC-15, FC-16, FC-17, FC-18, FC-19)

 8-1/4"X 5/16" FIBER-CEMENT LAP SIDING W/ 7" EXPOSURE INTERIOR SINGLE PLY ROOFING MEMBRANE - (2) LAYERS DRAINABLE WEATHER BARRIER FOR BALANCE OF NOTES SEE WALL TYPE M 1/2" PLYWD. SHEATHING PER STRUCT BOTH SIDES., S.S.D., WHERE PLYWD. NOT REQ'D PROVIDE 1/2" GYP. SHEATHING FILLER PANEL TO FLUSH OUT WALL NOT APPLICABLE SOUND RATING: NOT APPLICABLE FOR PARAPET DETAIL, SEE (5)
A8.31

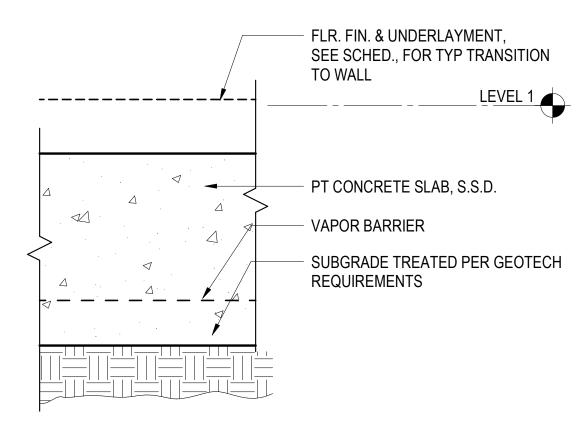
WALL TYPE Q - FIBER CEMENT PANEL @ PARAPET (FC-11, 6 FC-15, FC-18, FC-19)
3" = 1'-0"



7 WALL TYPE R - CEMENT PLASTER @ PARAPET (CP-13, CP-14, CP-15, CP-16)
3" = 1'-0"



8 WALL TYPE S - CEMENT PLASTER @ STAIRS & ELEVATOR @ ROOF (CP-13, CP-14)



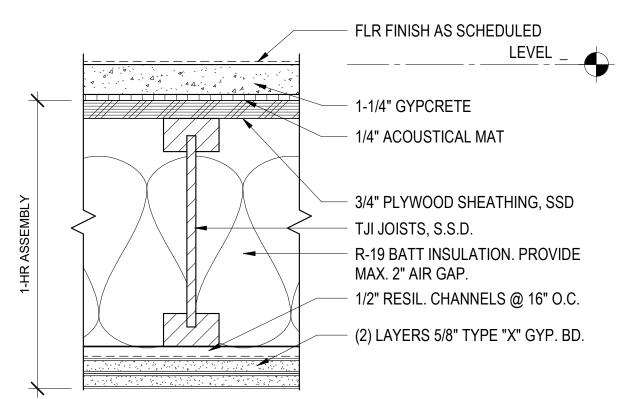
- FLR FINISH AS SCHEDULED

- 3/4" PLYWOOD SHEATHING, S.S.D.

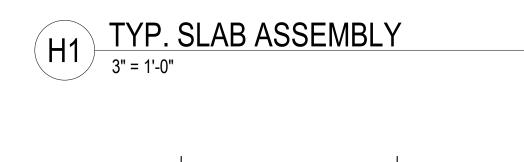
- 2X10 OR TJI FRAMING, W.O., S.S.D.

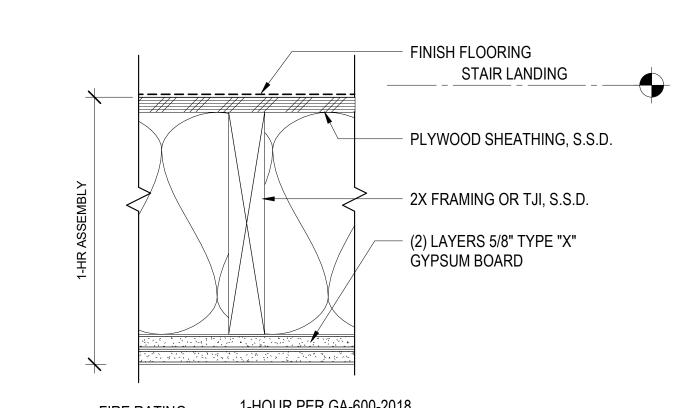
(2) LAYERS 5/8" TYPE "X" GYPSUM BOARD

1 1/4" GYPCRETE



FIRE RATING: 1-HOUR PER GA FILE NO.FC 5241 NOTE: ASSEMBLY OCCURS AT FLOOR - CEILING CONDITIONS SOUND RATING: IIC RATING 50 STC MINIMUM ABOVE DWELLING UNITS ONLY

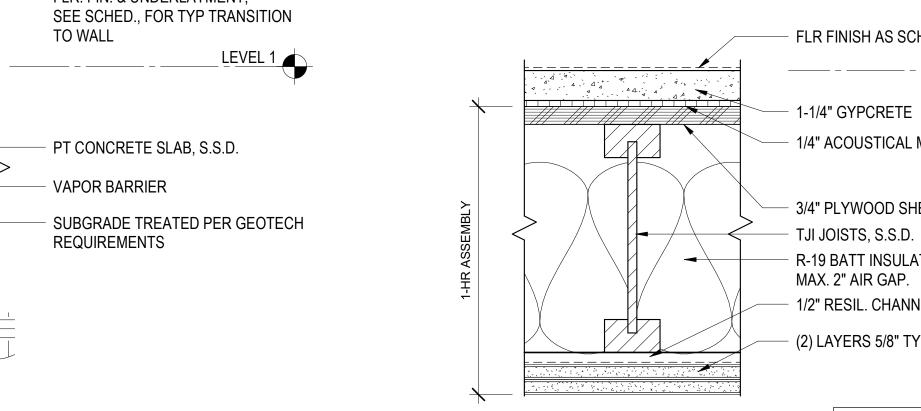




1-HOUR PER CBC TABLE 721.1(3), ITEM 21.1.1 TYPICAL CORRIDOR FLOOR ASSEMBLY

TYPICAL INTERMEDIATE STAIR LANDING

3" = 1'-0"



H2 TYPICAL WOOD FLOOR ASSEMBLY
3" = 1'-0"

1-HOUR PER GA-600-2018

SCALE 3" = 1'-0"

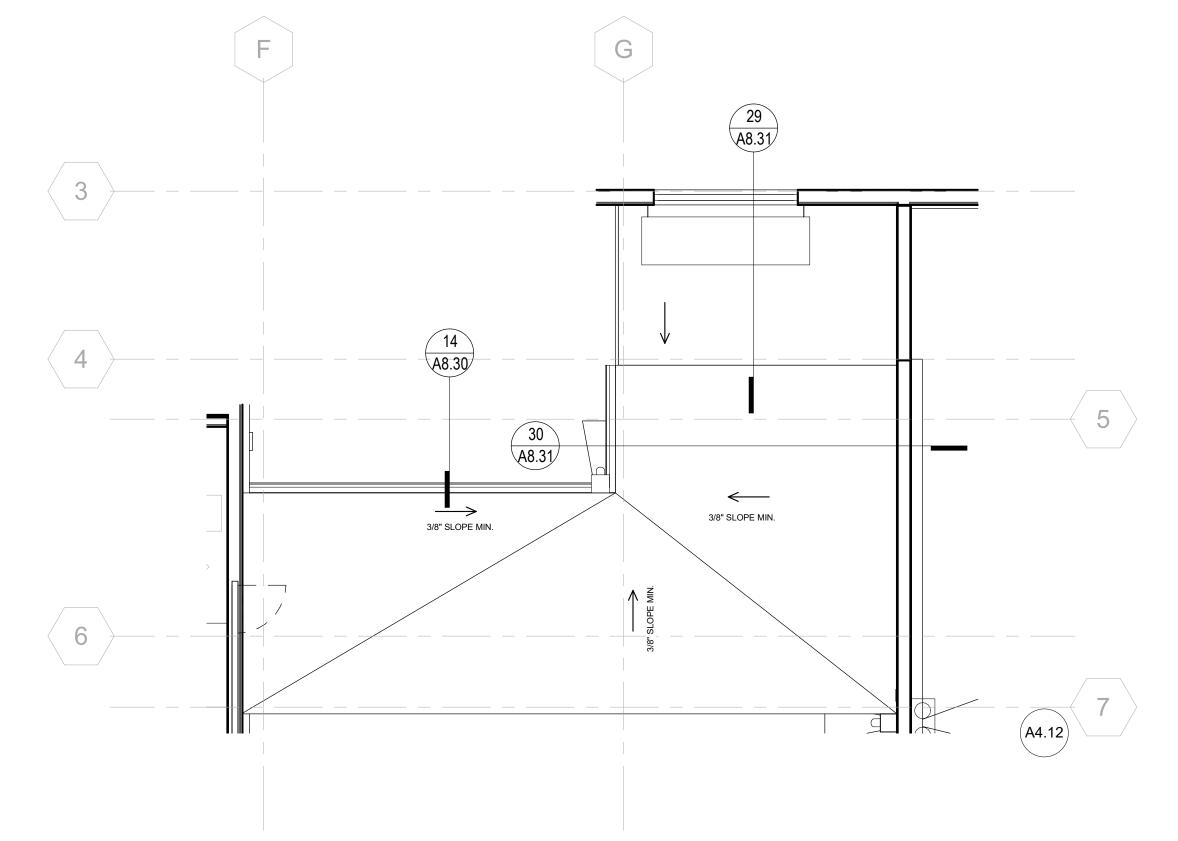
DRAWING TITLE

TYPES &

HORIZONTAL

ASSEMBLIES

EXTERIOR WALL



4 PSH 1 - SOUTH WALKWAY CANOPY

1/4" = 1'-0"



10' - 4 1/2"

12' - 2"

15' - 0"

11' - 0"

<u>LEVEL 1 - TOS</u> 0' - 0"

27'-4"
11'-9"
4
5
15'-7"
11'-9"
4
5

PSH 1 - ENLARGED ELEVATION NORTH ENTRY CANOPY

1/4" = 1'-0"

PSH 1 - ENLARGED RCP NORTH ENTRY CANOPY

1/4" = 1'-0"

42' - 5"

12' - 4"

3 PSH 1 - ENLARGED RCP SOUTH WALKWAY CANOPY

1/4" = 1'-0"

6 08/22/22 50% CD SET
7 09/29/22 PERMIT SUBMITTAL

5 03/22/22 100% DD SET

Author

Checker

Approver

DATE DESCRIPTION

North Housing,

PSH PHASE 1

500 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO.

DRAWN

ISSUE

CHECKED

JOB CAPTAIN

Block A

PSH 1 - ENLARGED CANOPY PLANS AND ELEVATIONS

SCALE 1/4" = 1'-0"

A8.1

GENERAL NOTES - WINDOW SHADES

A. DIMENSIONS ARE TO CENTERLINE OF 'T' BRACKET, U.O.N.

B. SEE EXT. FINISH SCHEDULE FOR METAL WORK

C. BRACKETS & STRUCTURAL DESIGN OF BOLTIN THROUGH KNIFE PLATES FOR WIND LOADING BY SUNSHADE FABRICATOR

D. WALL TYPE & WINDOW CONDITIONS VARY, SEE FLOOR PLANS

E. WOOD FRAME SUPPORT ON ALL FLOORS, S.S.D.

F. SEE A8.41 FOR DETAILS.

PAUL M
MCELWEE

A C-28734

PAUL M
C-28734

PAU

North Housing, Block A

PSH PHASE 1

500 MOSLEY AVENUE ALAMEDA, CA 94501

ALAMEDA, CA 9450

DRAWN Author

CHECKED Checker

JOB CAPTAIN Approver

ISSUE

DATE DESCRIPTION

5 03/22/22 100% DD SET

6 08/22/22 50% CD SET 7 09/29/22 PERMIT SUBMITTAL

PSH 1 - EXTERIOR
WINDOW SHADE
ENLARGED PLANS
AND ELEVATIONS

SCALE As indica

A8.12

North Housing, Block A

PSH PHASE 1

500 MOSLEY AVENUE ALAMEDA, CA 94501

CHECKED

JOB CAPTAIN

ISSUE

5 03/22/22 100% DD SET 6 08/22/22 50% CD SET

7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE PSH 1 - EXTERIOR WINDOW SHADE ENLARGED PLANS AND ELEVATIONS

North Housing,

PSH PHASE 1

5 03/22/22 100% DD SET 6 08/22/22 50% CD SET

7 09/29/22 PERMIT SUBMITTAL

DESCRIPTION

500 MOSLEY AVENUE ALAMEDA, CA 94501

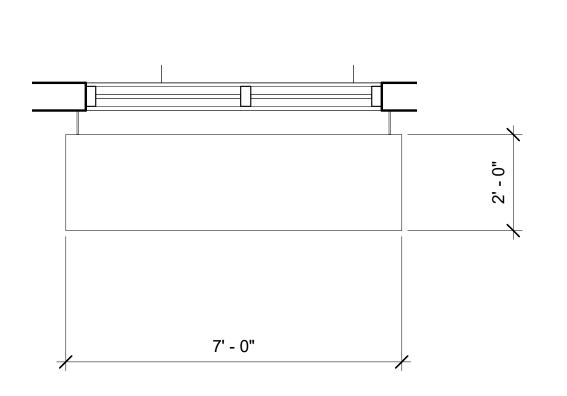
CHECKED

JOB CAPTAIN

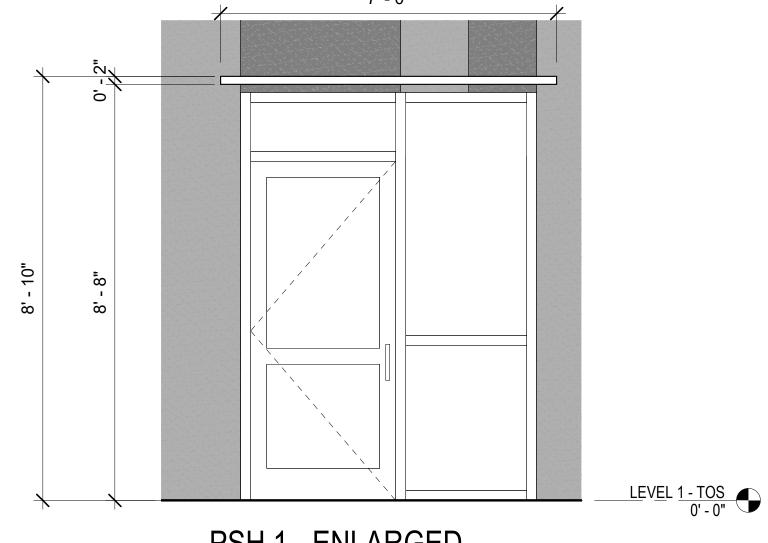
Block A

GENERAL NOTES - WINDOW SHADES

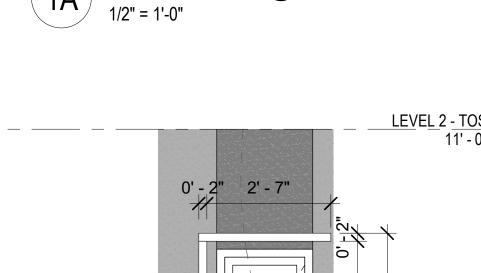
- A. DIMENSIONS ARE TO CENTERLINE OF 'T' BRACKET, U.O.N.
- B. SEE EXT. FINISH SCHEDULE FOR METAL WORK
- C. BRACKETS & STRUCTURAL DESIGN OF BOLTIN THROUGH KNIFE PLATES FOR WIND LOADING BY SUNSHADE FABRICATOR
- D. WALL TYPE & WINDOW CONDITIONS VARY, SEE FLOOR PLANS
- E. WOOD FRAME SUPPORT ON ALL FLOORS, S.S.D.
- F. SEE A8.41 FOR DETAILS.

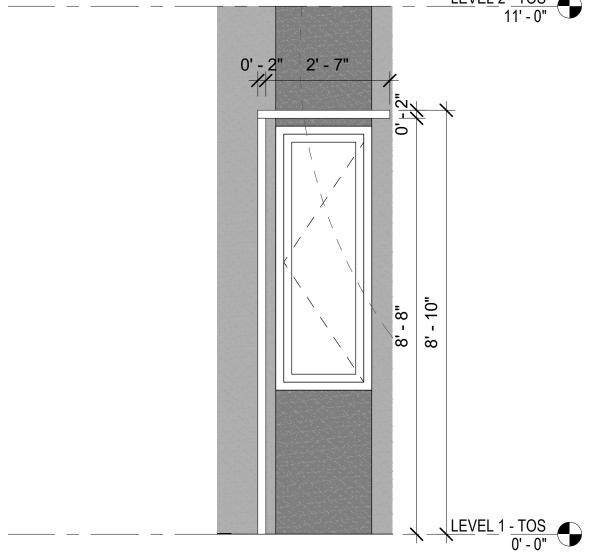


PSH 1 - ENLARGED ALUMINUM SUNSHADE COMMUNITY 1 ROOM PLAN @ SOUTH
1/2" = 1'-0"



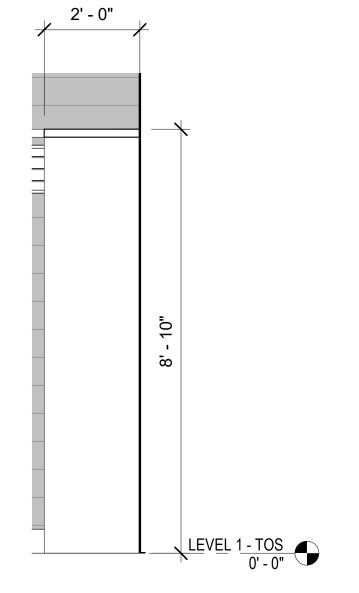
PSH 1 - ENLARGED ALUMINUM SUNSHADE COMMUNITY ROOM 1A ELEVATION @ SOUTH
1/2" = 1'-0"





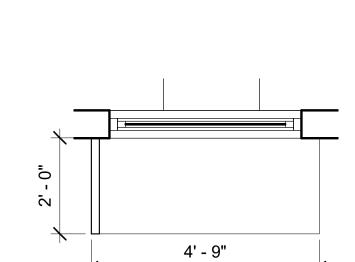
PSH 1 - ENLARGED **ALUMINUM SUNSHADE 2'** W/FIN ELEVATION @ SOUTH

2A SIDE 1/2" = 1'-0"



PSH 1 - ENLARGED **ALUMINUM SUNSHADE 2'** W/FIN ELEVATION @ WEST

2B SIDE 1/2" = 1'-0"

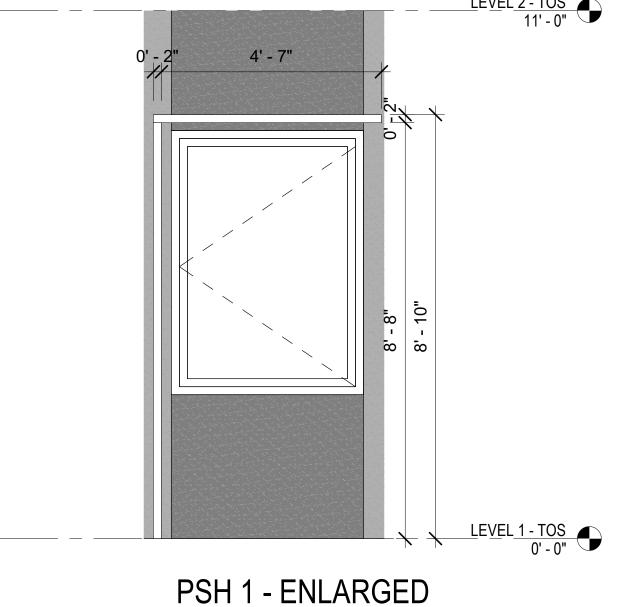


2' - 9"

2 @ SOUTH 1/2" = 1'-0"

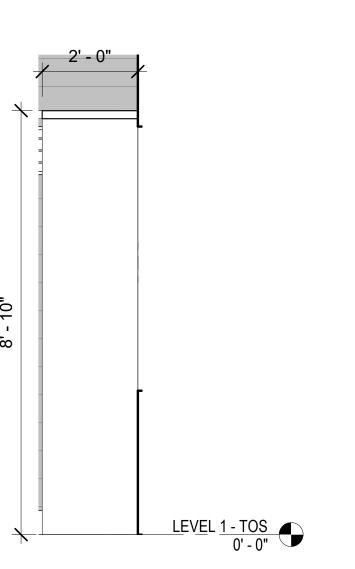
PSH 1 - ENLARGED ALUMINUM SUNSHADE 4' W/FIN PLAN 3 @ SOUTH 1/2" = 1'-0"

PSH 1 - ENLARGED ALUMINUM SUNSHADE 2' W/FIN PLAN



ALUMINUM SUNSHADE 4' W/FIN ELEVATION @ SOUTH



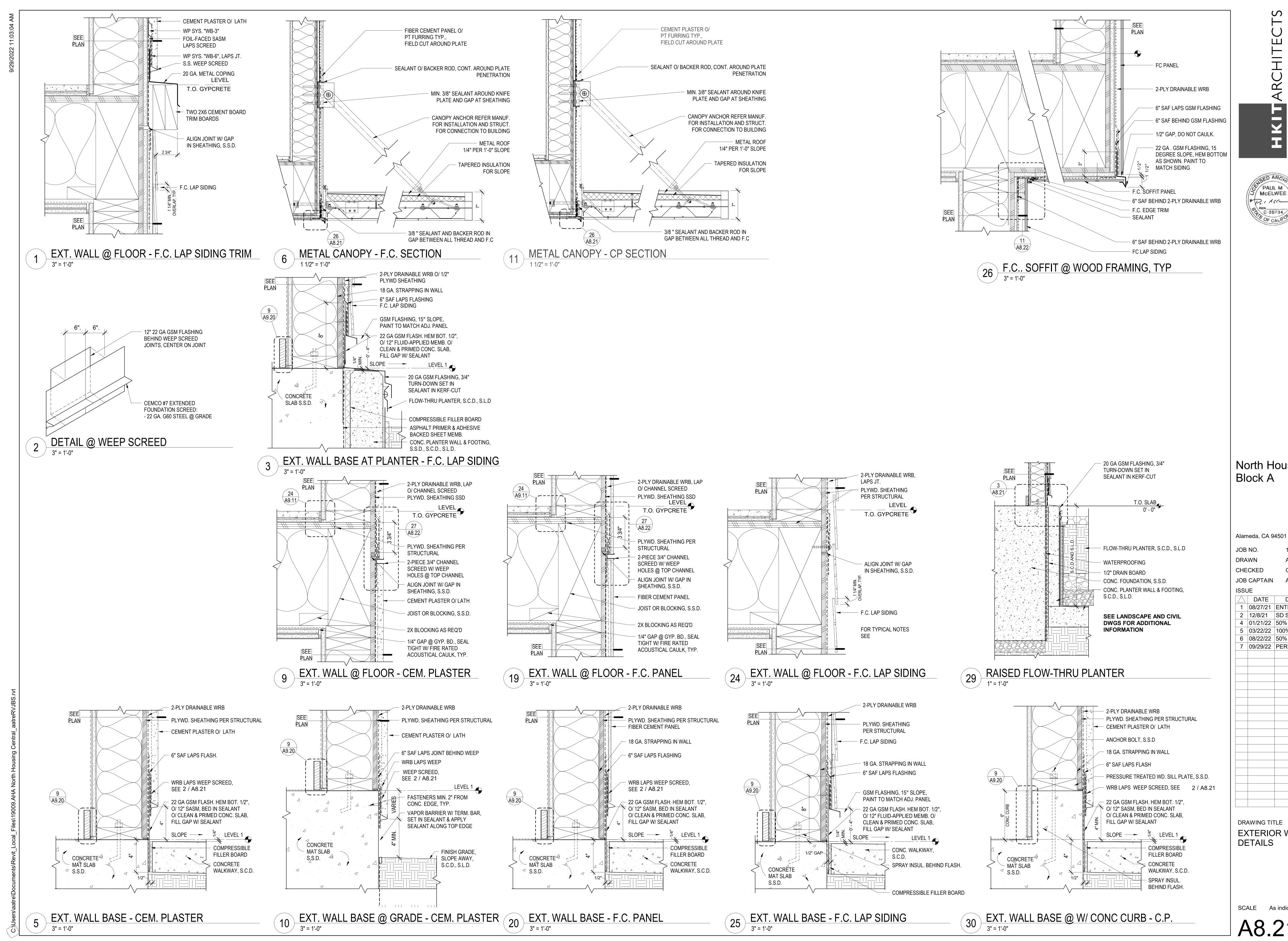


PSH 1 - ENLARGED **ALUMINUM SUNSHADE 4'** W/FIN ELEVATION @ WEST

SIDE 1/2" = 1'-0"

DRAWING TITLE PSH 1 - EXTERIOR WINDOW SHADE ENLARGED PLANS

AND ELEVATIONS



G PAUL M MCELWEE 1 × 1 × 100 OF CALIFOR

North Housing, Block A

JOB NO.

Author

CHECKED Checker

JOB CAPTAIN Approver DATE DESCRIPTION

1 08/27/21 ENTITLEMENT SET 2 | 12/8/21 | SD SET

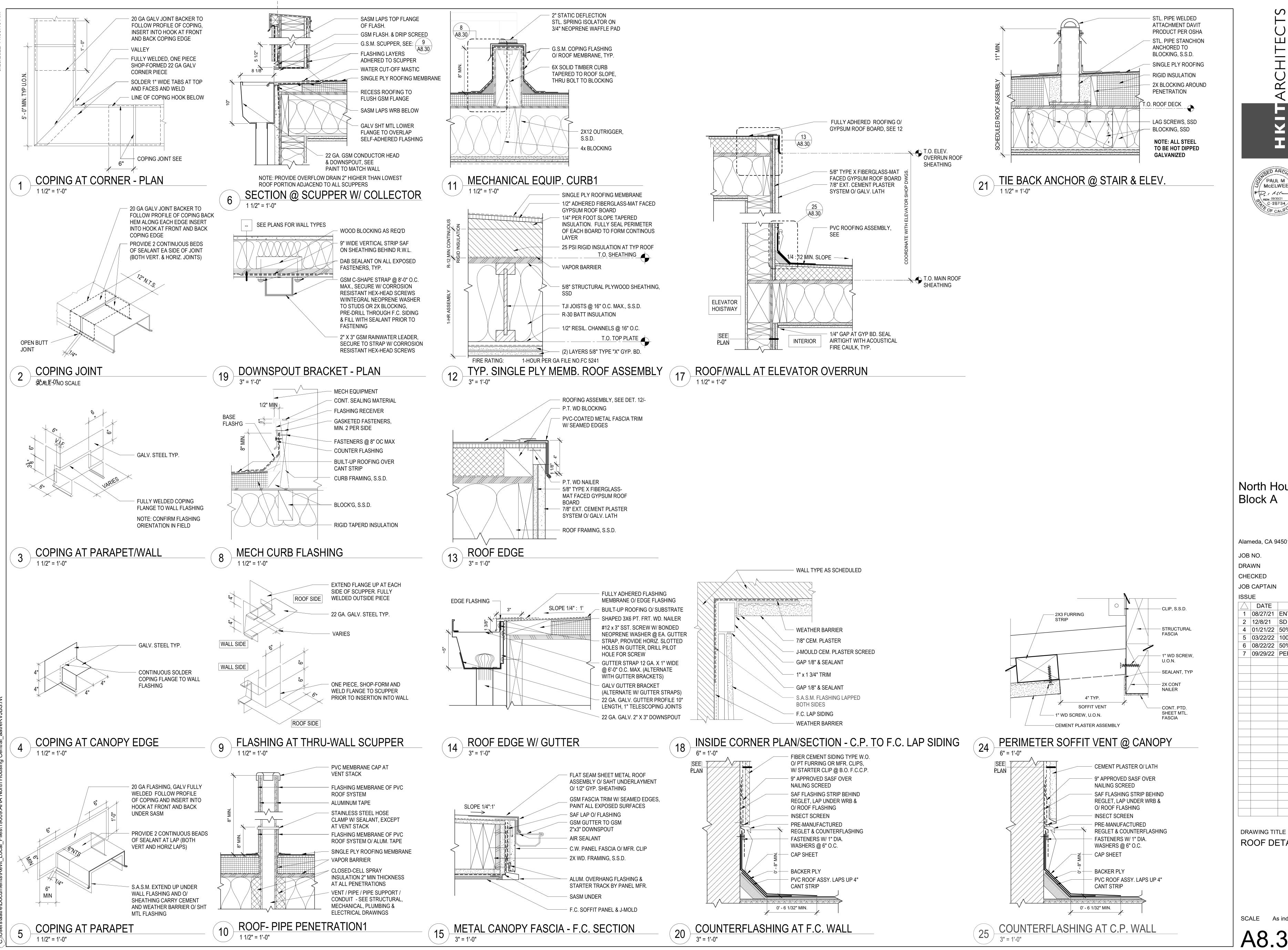
4 01/21/22 50% DD SET 5 | 03/22/22 | 100% DD SET

6 | 08/22/22 | 50% CD SET

7 09/29/22 PERMIT SUBMITTAL

EXTERIOR WALL DETAILS

SCALE As indicated



PAUL M CO REN_09/30/21 C-28734 FOF CALIFORNIA

North Housing, Block A

Alameda, CA 94501

JOB NO. DRAWN

JOB CAPTAIN

ISSUE DESCRIPTION

1 08/27/21 ENTITLEMENT SET

2 | 12/8/21 | SD SET 4 01/21/22 50% DD SET

5 | 03/22/22 | 100% DD SET

6 | 08/22/22 | 50% CD SET 7 09/29/22 PERMIT SUBMITTAL

ROOF DETAILS

SCALE As indicated

North Housing, Block A

Alameda, CA 94501

JOB NO. DRAWN Author CHECKED Checker Approver

JOB CAPTAIN ISSUE

DATE DESCRIPTION 1 08/27/21 ENTITLEMENT SET 2 12/8/21 SD SET 5 03/22/22 100% DD SET 6 08/22/22 50% CD SET

7 09/29/22 PERMIT SUBMITTAL

- BLOCKING, SSD

HEADER, SSD

25 A8.30 COUNTER FLASHING

- SINGLE PLY ROOFING

O/ 3/4" PLYWOOD

A8.30 COUNTER FLASHING

GSM GUTTER ASSEMBLY

1/2" PT WD EDGE NAILER

PSL HEADER SSD LSL LEDGER, SSD -

- METAL FASCIA W/ CONT BACKER CLEAT

O/ 5/8" PLYWOOD O/ 9 1/2" TJI JOISTS,SSD

2" CONT. SCREENED SOFFIT VENT

PERIMETER SOFFIT VENT, SEE (24) A8.30

RESISTIVE BARRIER

- 6X6 WOOD POST W.O., SSD

- 6X CONTINOUS NAILER

- SINGLE PLY ROOFING O/ 1/2" MIN. TAPERED INSULATION

2X3 TURNED FLAT, FURRING STRIPS @ 16" O.C. FASTENED

CEMENT PLASTER O/ SELF-FURRING LATH O/ WATER

DOWNSPOUT, FOR ATTACHMENT TO POST, SEE

TO TJIS W/ #12 X 3" WD SCREW @ EA. JOIST; 1-1/2" MIN EMBED, TYP.

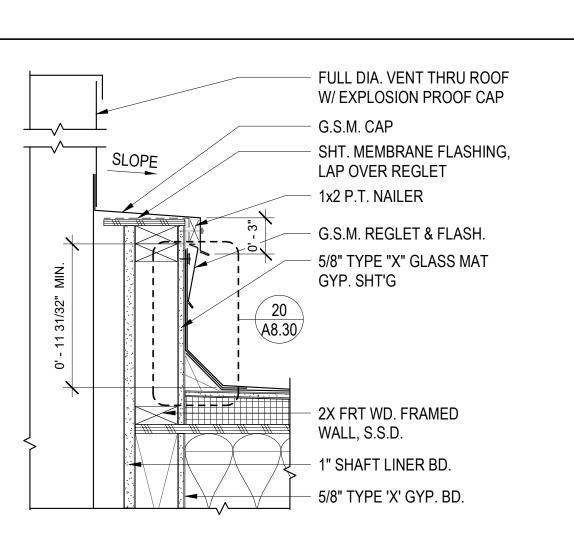
O/ 1/2" MIN. TAPERED INSULATION

O/ 9 1/2" CANTILEVERED TJI JOISTS,SSD

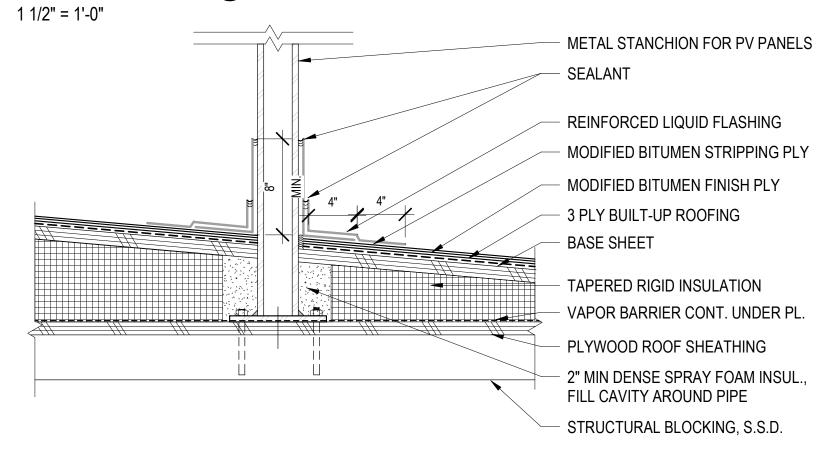
DRAWING TITLE **ROOF DETAILS**

SCALE As indicated

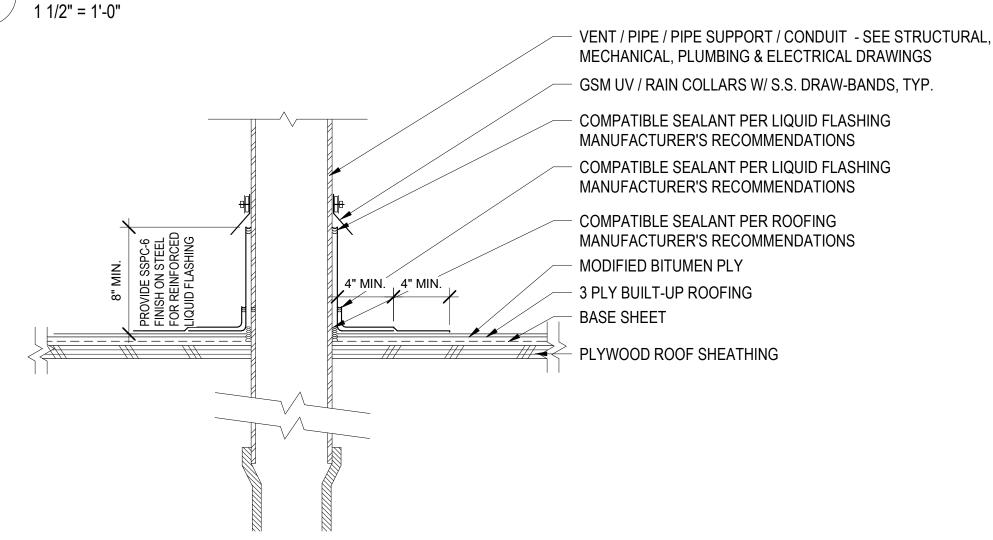
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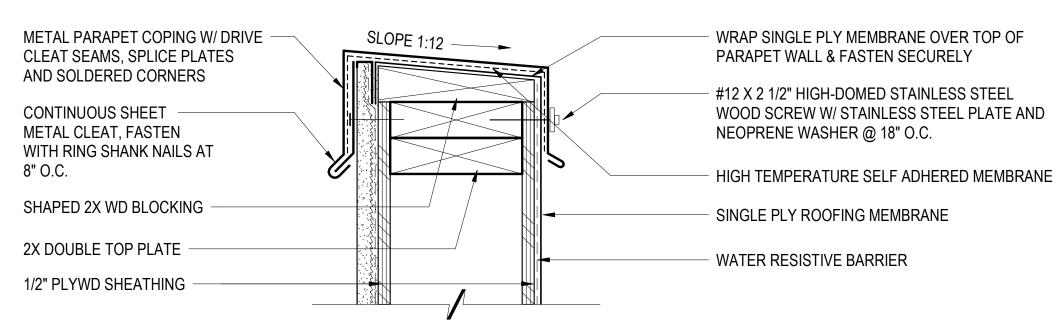
1 TRASH CHUTE @ FLAT ROOF1
1 1/2" = 1'-0"



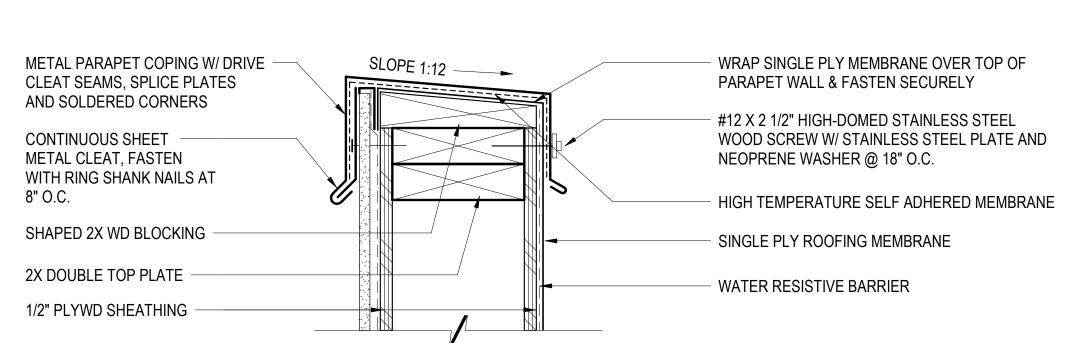
2 STANCHION FLASHING AT B.U.R.
1 1/2" = 1'-0"



3 PLUMBING STACK @ ROOF
1 1/2" = 1'-0"



4 PARAPET COPING - CEMENT PLASTER
3" = 1'-0"

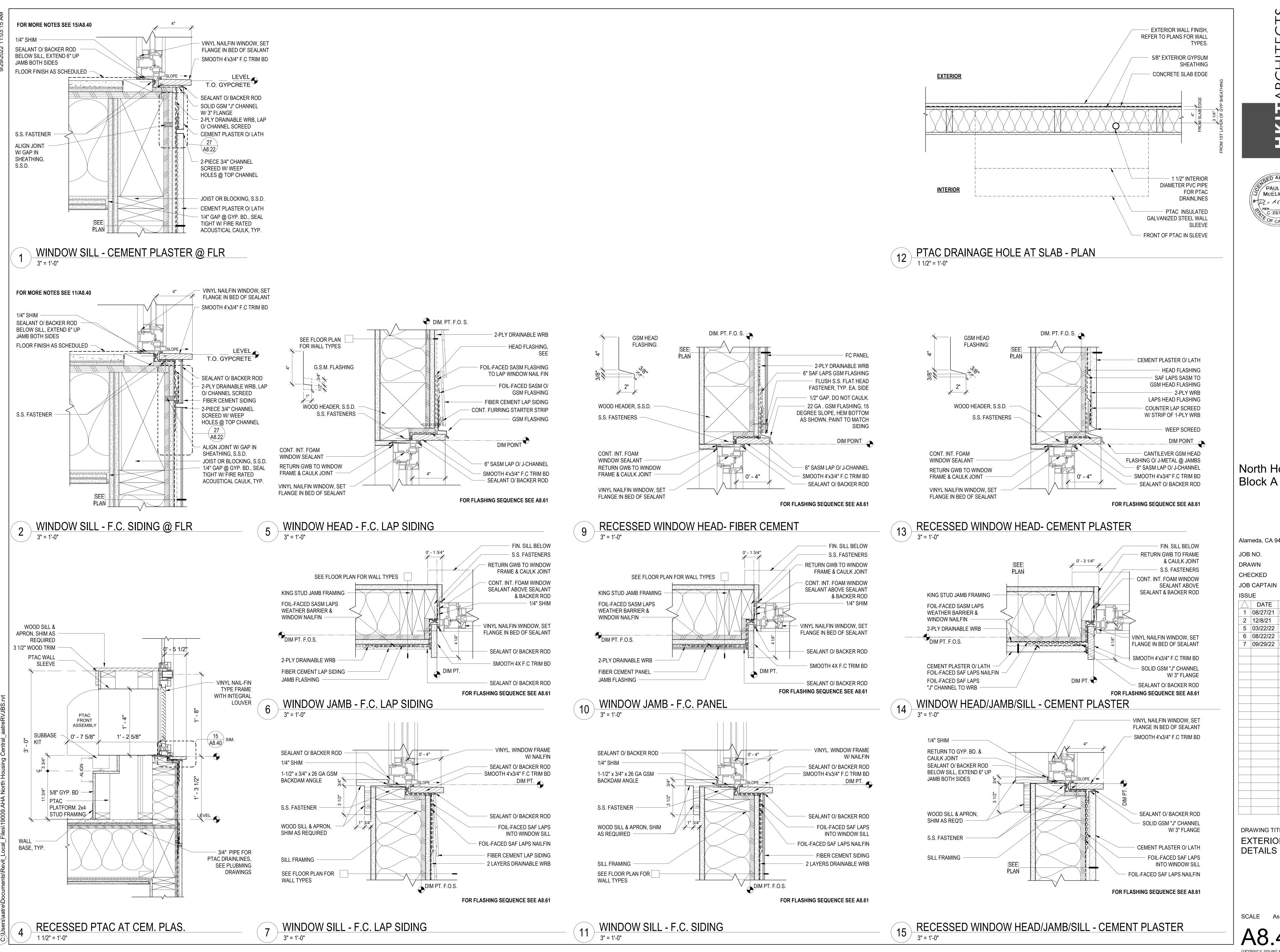


5 PARAPET COPING - FIBER CEMENT PANEL

PSH 1 SOUTH WALKWAY CANOPY

PSH 1 SOUTH LOBBY LOW ROOF
1 1/2" = 1'-0"

- 1/2" PT WD EDGE NAILER



PAUL M MCELWEE

North Housing, Block A

Alameda, CA 94501

JOB NO. **Author**

CHECKED Checker

Approver

DATE DESCRIPTION 1 08/27/21 ENTITLEMENT SET

2 | 12/8/21 | SD SET 5 | 03/22/22 | 100% DD SET

6 | 08/22/22 | 50% CD SET

7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE **EXTERIOR WINDOW**

SCALE As indicated

DIM. PT. F.O. S.

__SEE PLAN

2-PLY DRAINABLE WRB, LAPS SASM

SASM LAPS VENT FLANGE

CEMENT PLASTER O/ LATH

VENT CAP W/ 3-INCH FACE-

FLANGE ALL SIDES, SET IN

BED OF SEALANT, PAINT TO MATCH ADJ. WALL COLOR

CEMENT PLASTER O/ LATH

SILL FLASHING LAPS AIR BARRIER, SEE

SEE RCP'S FOR SOFFIT — LOCATION AND EXTENTS

2-PLY DRAINABLE WRB

8 C.P. (WOOD STUD)
3" = 1'-0"

LOUVER SILL (JAMB SIM.) -

2X BLOCKING AS REQ'D

FOR VENT LOCATION

AND SIZES, S.M.D.

HEAD FLASHING, SEE A8.61

`+-----|

GSM HEAD FLASHING, SEE

FOR FLUSH MOUNT, SEE

1 SUNSHADE @ CEMENT PLASTER
3" = 1'-0"

GSM HEAD FLASHING

NAILFIN WINDOW

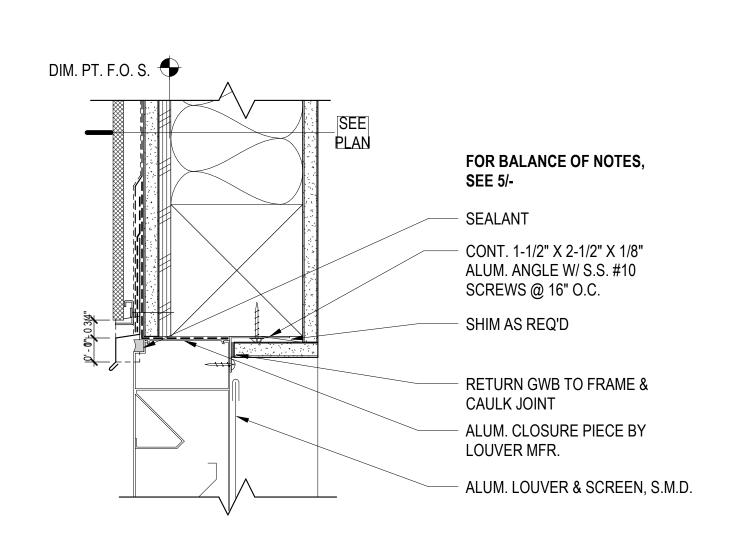
ELEVATION

3 SUNSHADE ANCHORAGE AT VERTICAL FIN 3" = 1'-0"

ALUMINUM-FACED S.A.S.M. EACH

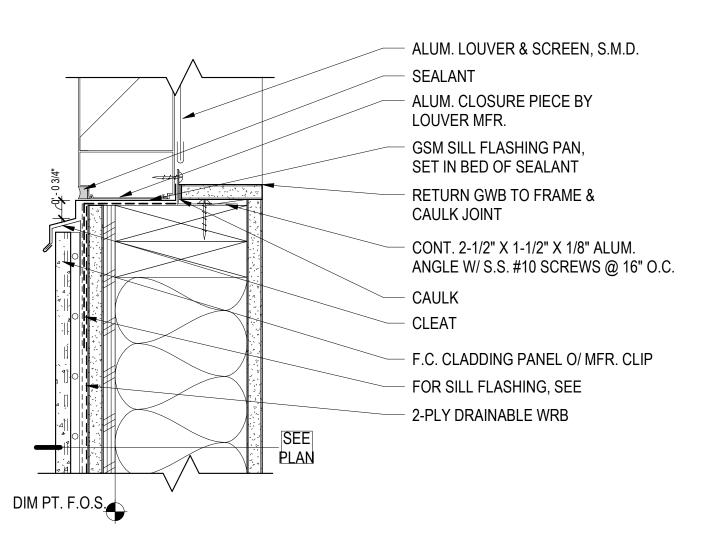
L8x6x1/2 STEEL ANGLE, S.S.D.

SIDE, LAP O/ GSM COLLAR FLASHING

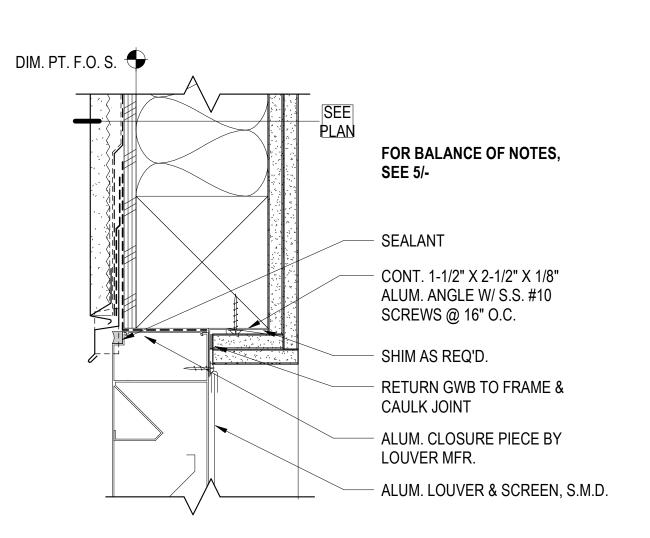


4 LOUVER HEAD - F.C.C.P. (WOOD 1HR)

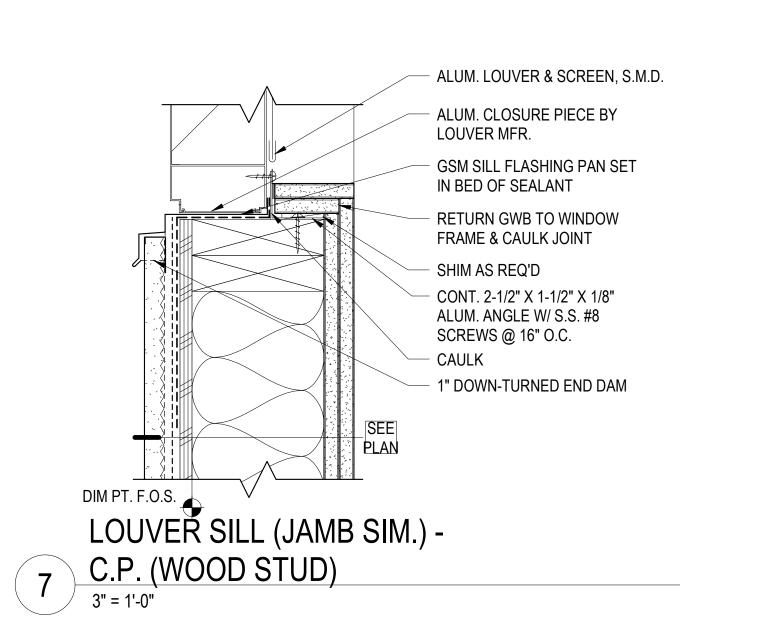
3" = 1'-0"



5 LOUVER SILL (JAMB SIM.) - F.C.C.P. (WOOD 1HR)









North Housing, Block A

Alameda, CA 94501

JOB NO. DRAWN Author

CHECKED Approver

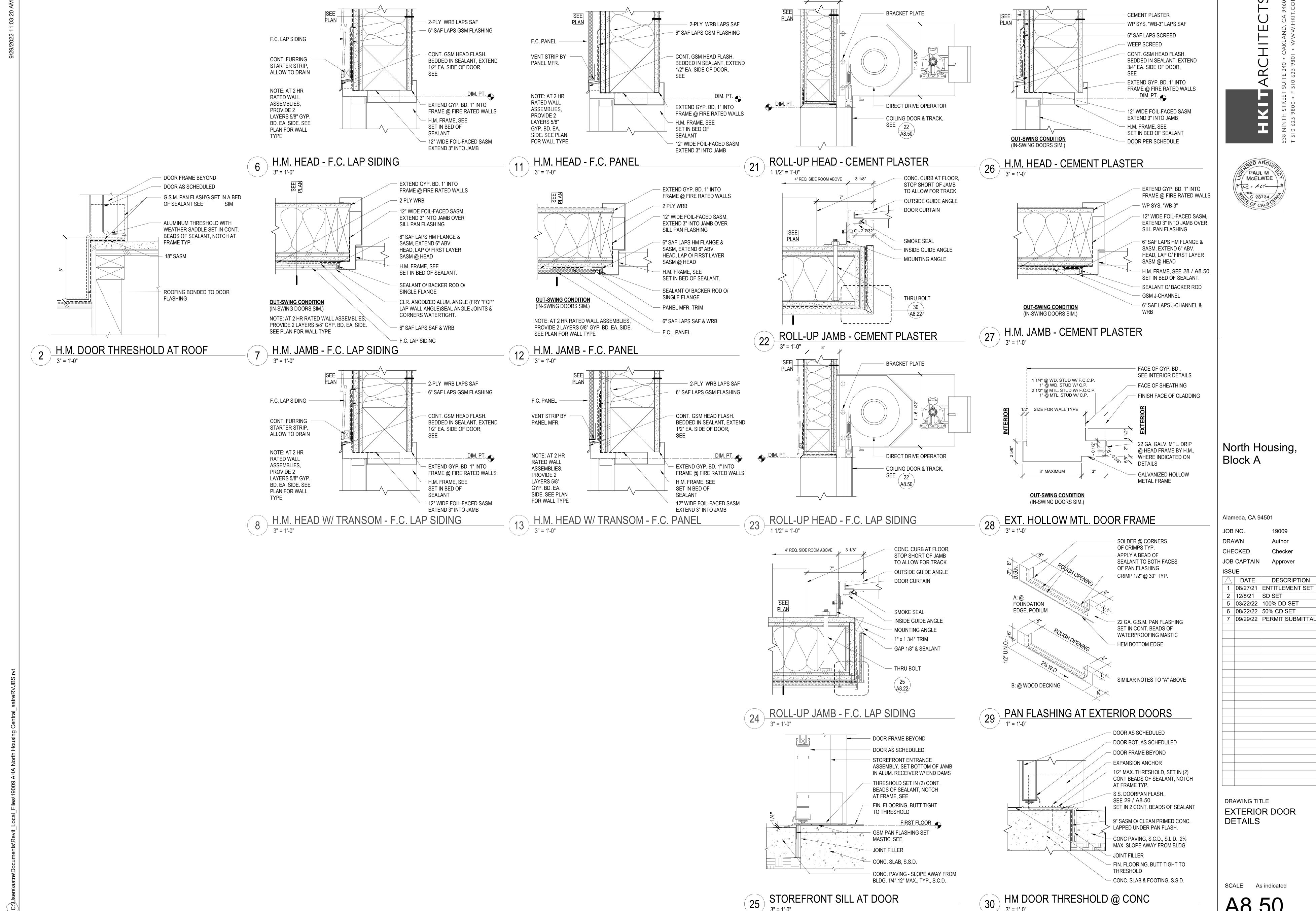
JOB CAPTAIN ISSUE

DESCRIPTION 7 09/29/22 PERMIT SUBMITTAL

Checker

DRAWING TITLE EXTERIOR LOUVER & SUNSHADE DETAILS

SCALE 3" = 1'-0"



North Housing, Block A

Alameda, CA 94501

Author

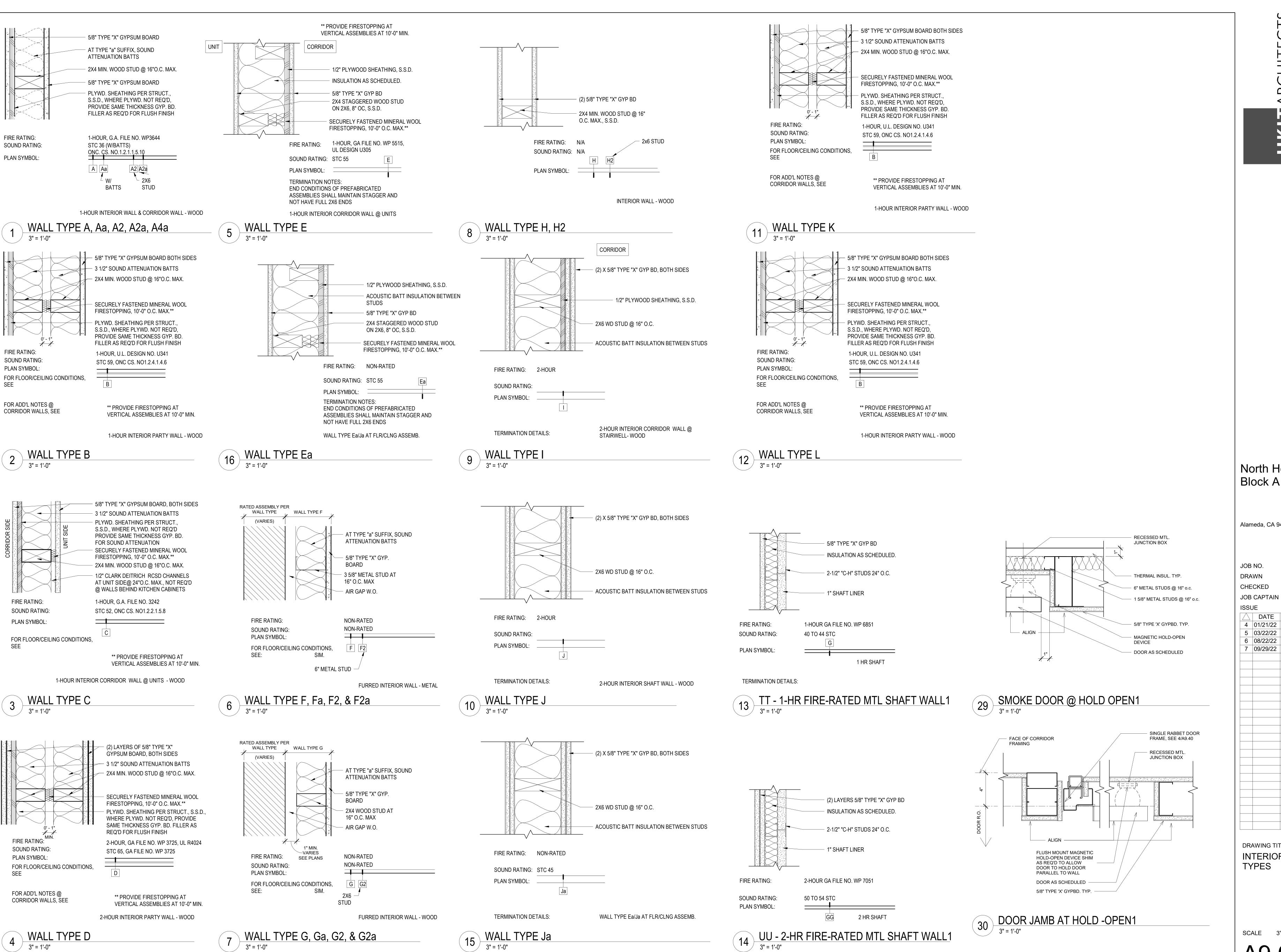
Checker JOB CAPTAIN Approver

DESCRIPTION 4 01/21/22 50% DD SET 5 03/22/22 100% DD SET

6 08/22/22 50% CD SET 7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE **EXTERIOR**

SCALE As indicated



3" = 1'-0"

3" = 1'-0"

North Housing, Block A

Alameda, CA 94501

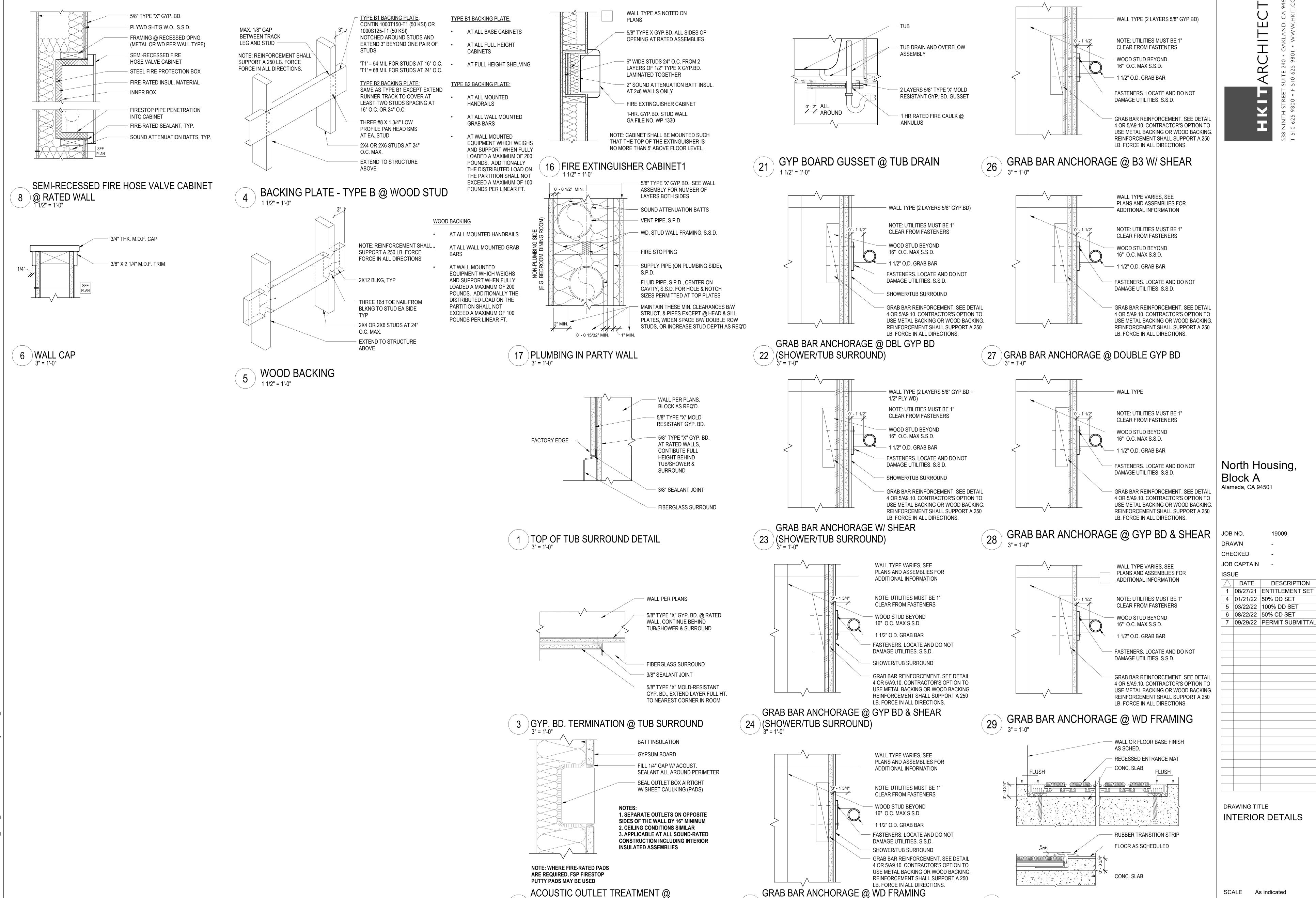
Author Checker Approver

DESCRIPTION 4 01/21/22 50% DD SET 5 03/22/22 100% DD SET

6 08/22/22 50% CD SET 7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE INTERIOR WALL

SCALE 3" = 1'-0"



2 SOUND-RATED WALLS

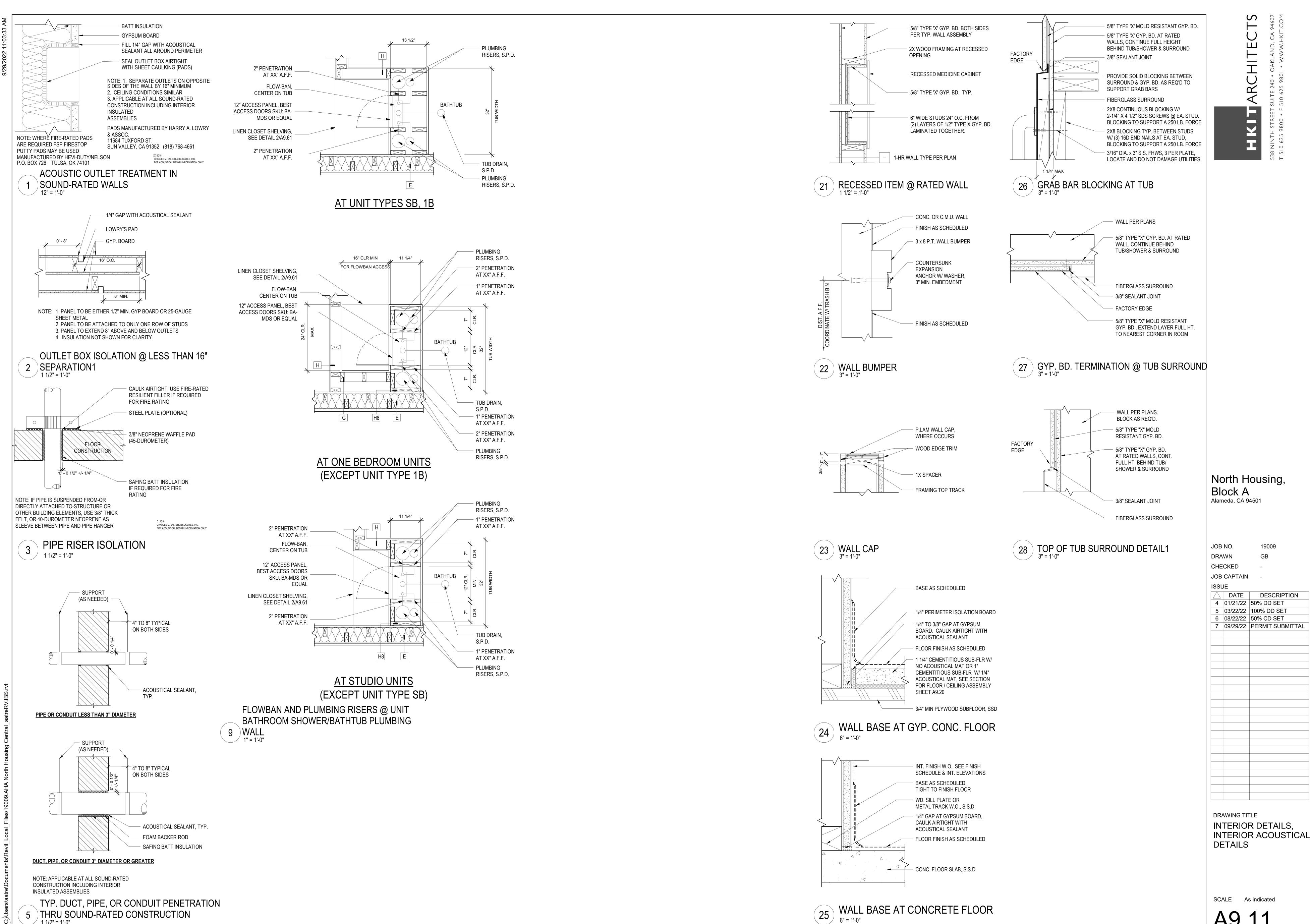
12" = 1'-0"

25 (SHOWER/TUB SURROUND)

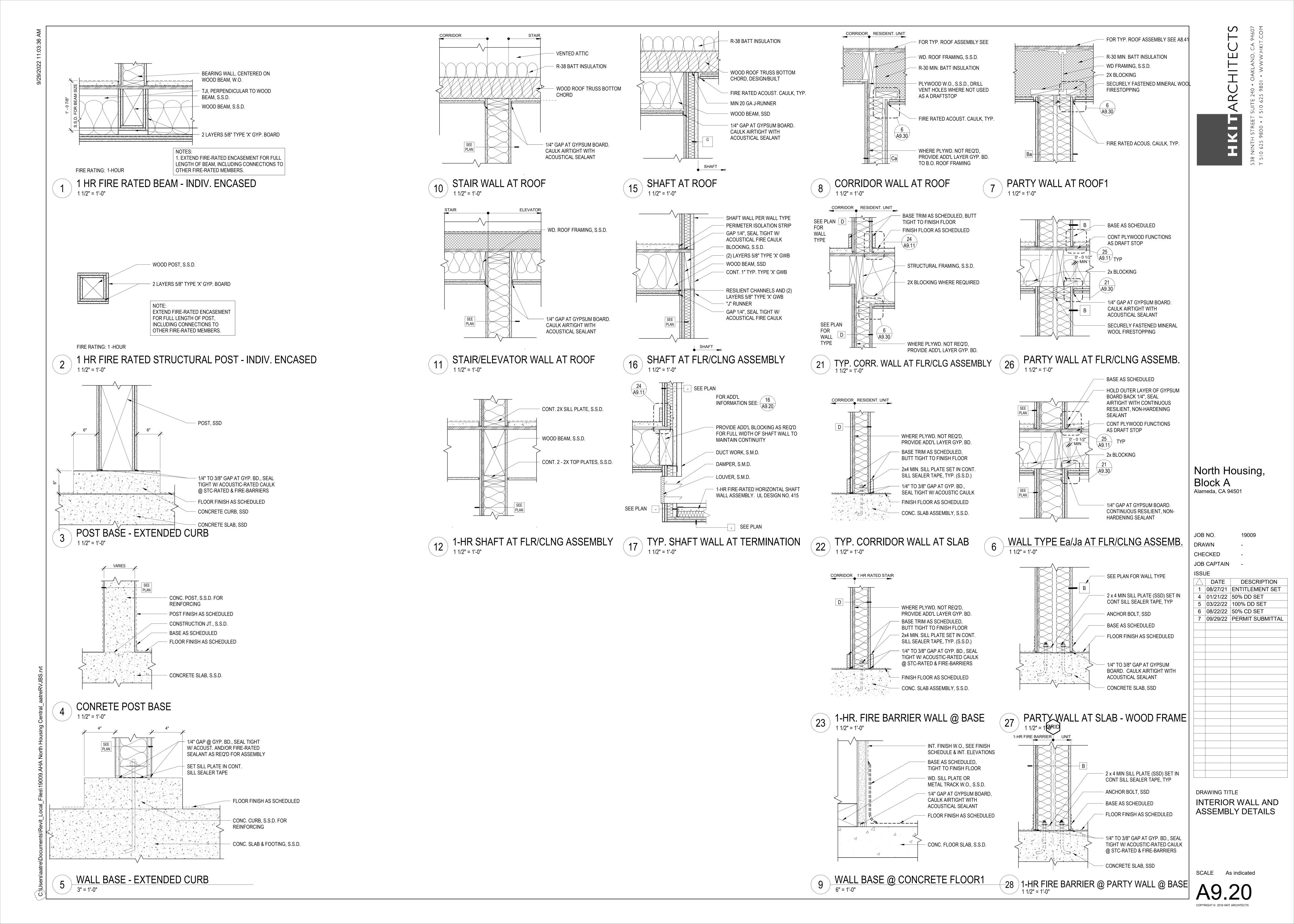
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30 RECESSED WALK-OFF MAT

6" = 1'-0"



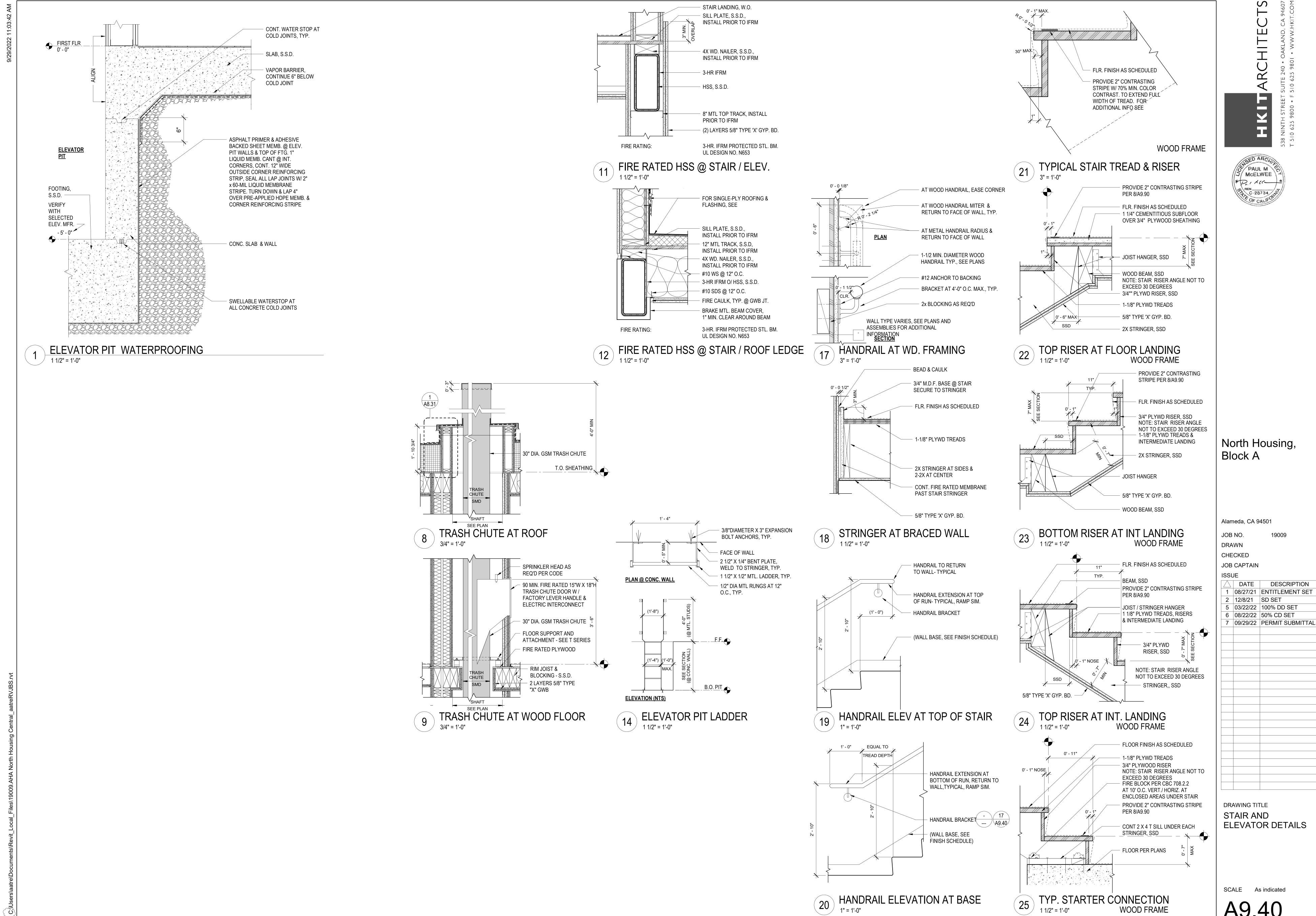
5 THRU SOUND-RATED CONSTRUCTION

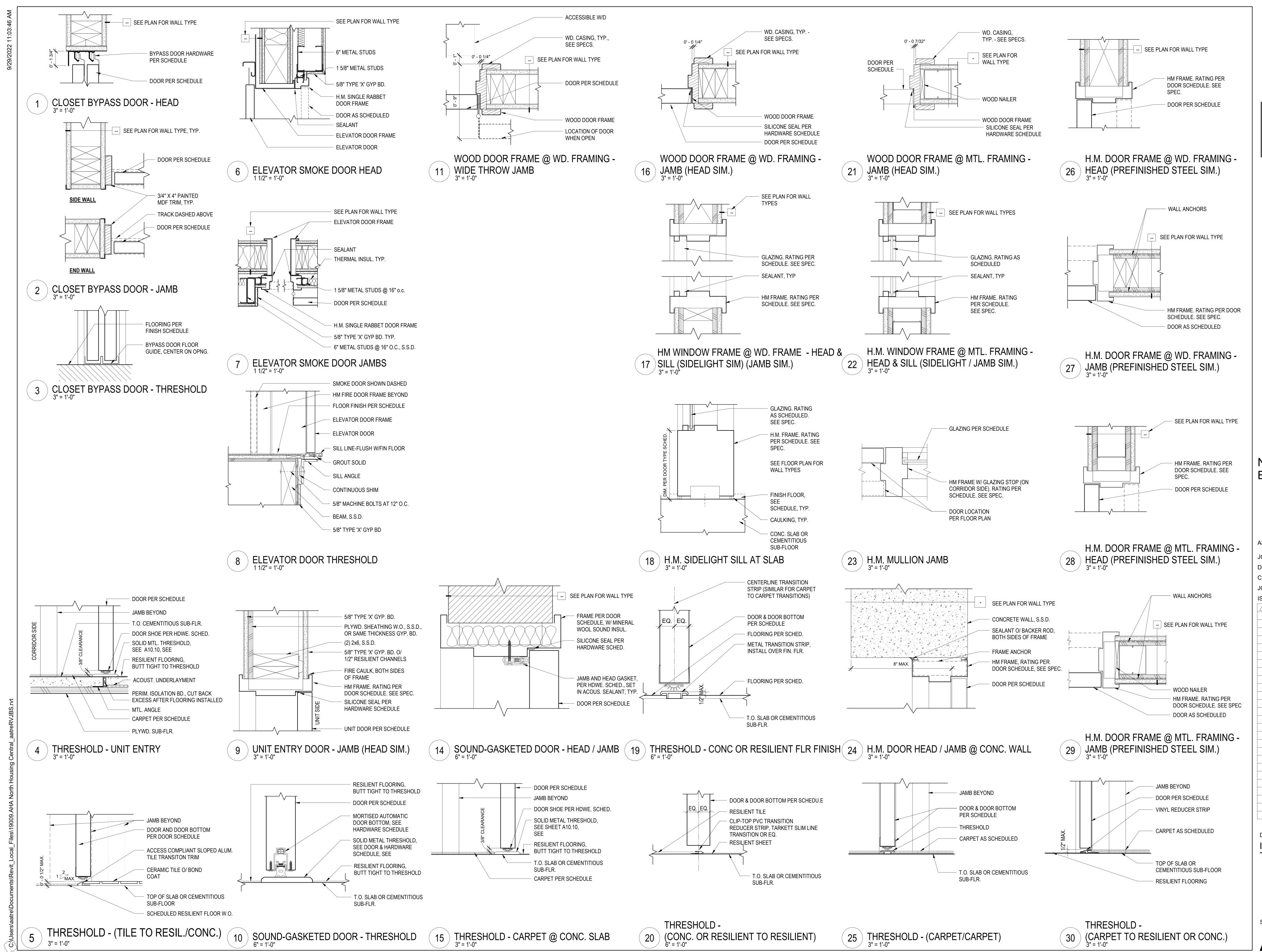


AS indicated

AS indicated

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SED ARCHIA PAUL M MCELWEE REN. C-28734 COF CALIFORNIA

North Housing, Block A

Alameda, CA 94501

JOB NO. DRAWN

CHECKED Checker JOB CAPTAIN Approve

ISSUE

DATE DESCRIPTION 5 | 03/22/22 | 100% DD SET

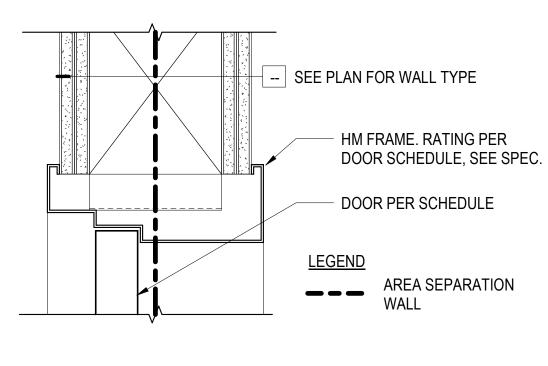
1 08/27/21 ENTITLEMENT SET

6 08/22/22 50% CD SET

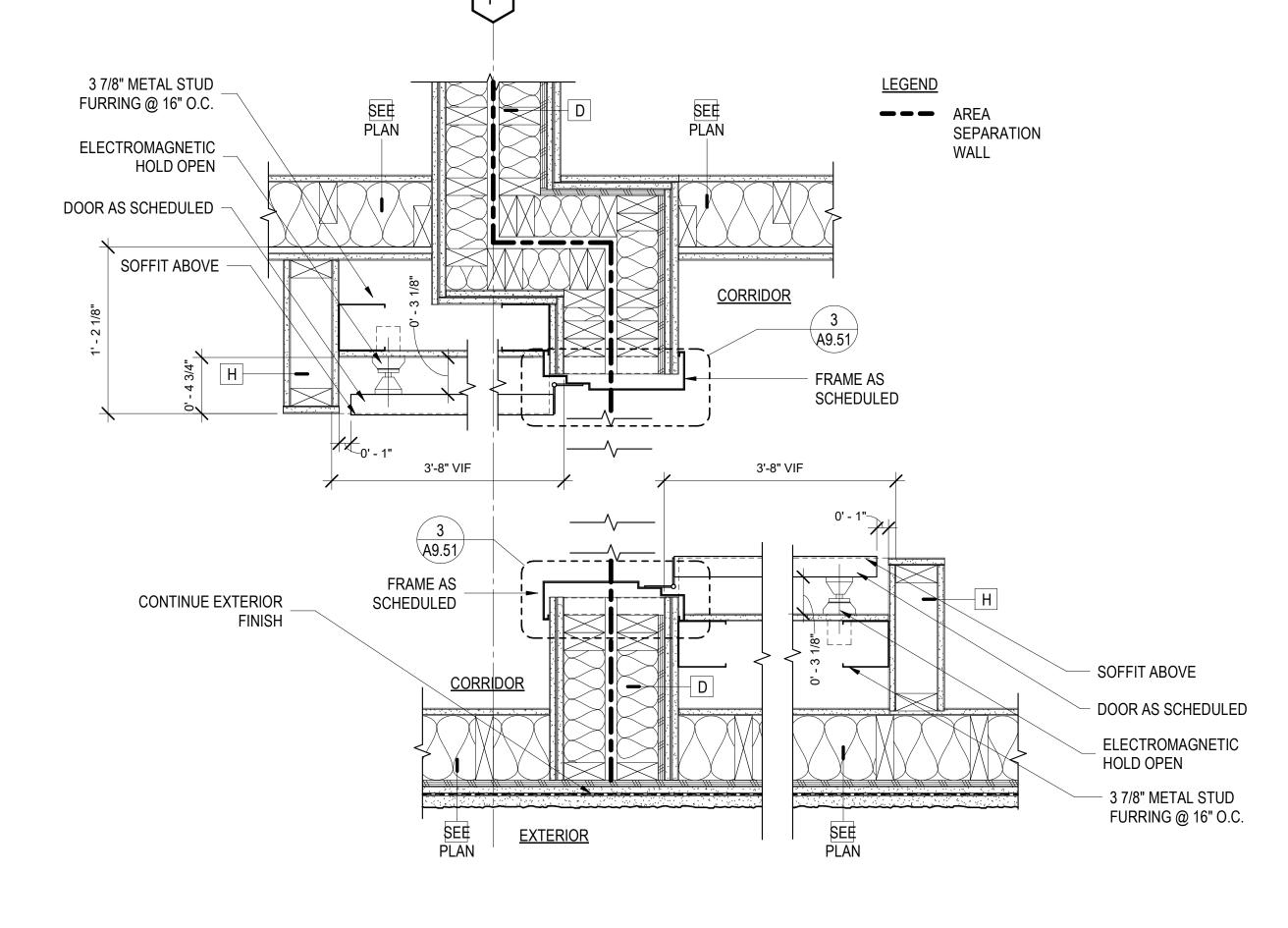
7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE INTERIOR DOOR & THRESHOLD DETAILS

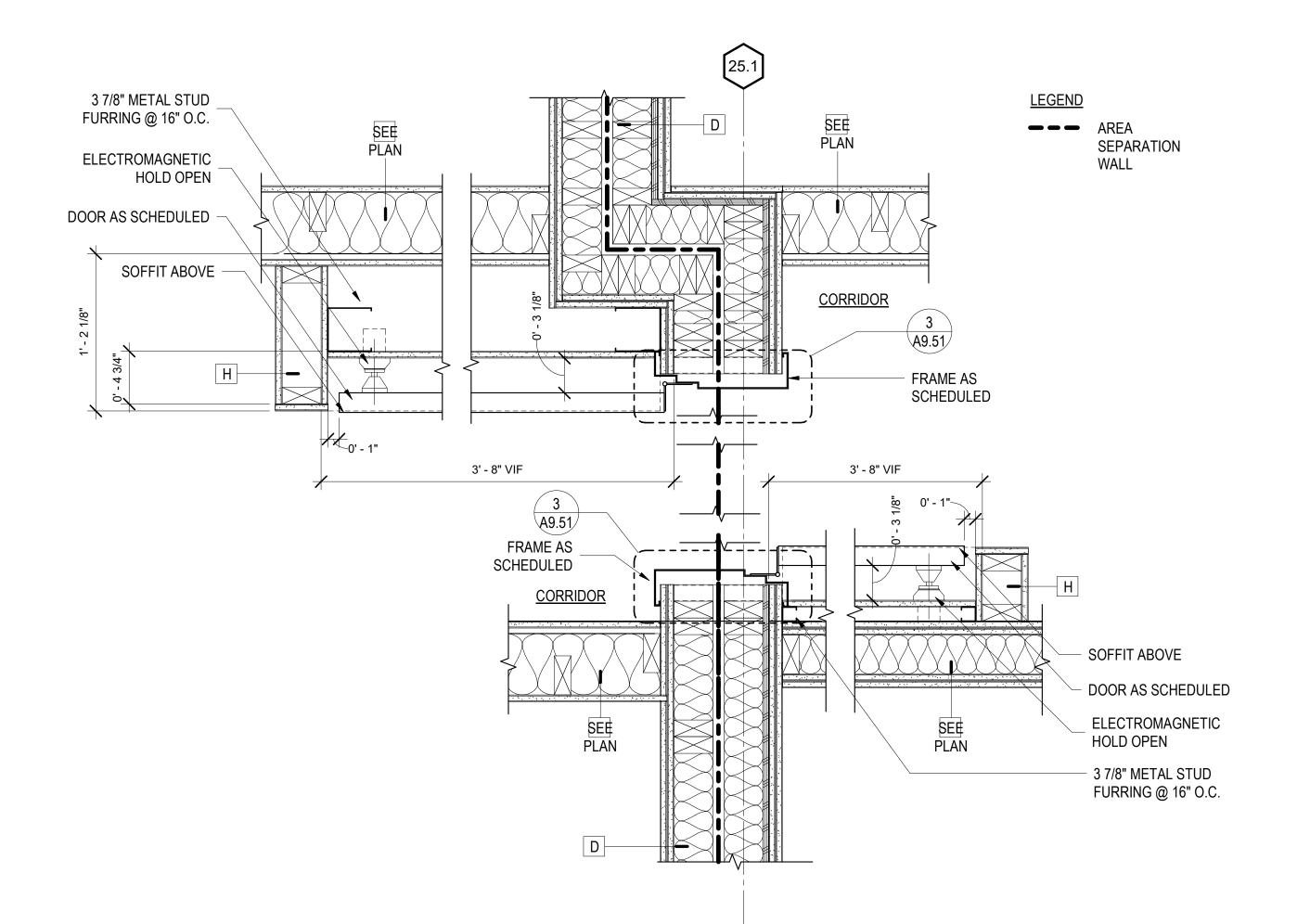
SCALE As indicated



3 FIRE BARRIER DOOR - HEAD (JAMB SIM.)



FIRE BARRIER DOOR & HOLD OPEN - PSH 1
1 1/2" = 1'-0"



FIRE BARRIER DOOR & HOLD OPEN - SEN
1 1/2" = 1'-0"

North Housing, Block A

Alameda, CA 94501

JOB NO.

DRAWN
CHECKED Checker
JOB CAPTAIN Approver

ISSUE

DATE DESCRIPTION
7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE
INTERIOR DOOR &
THRESHOLD DETAILS

SCALE As indicated

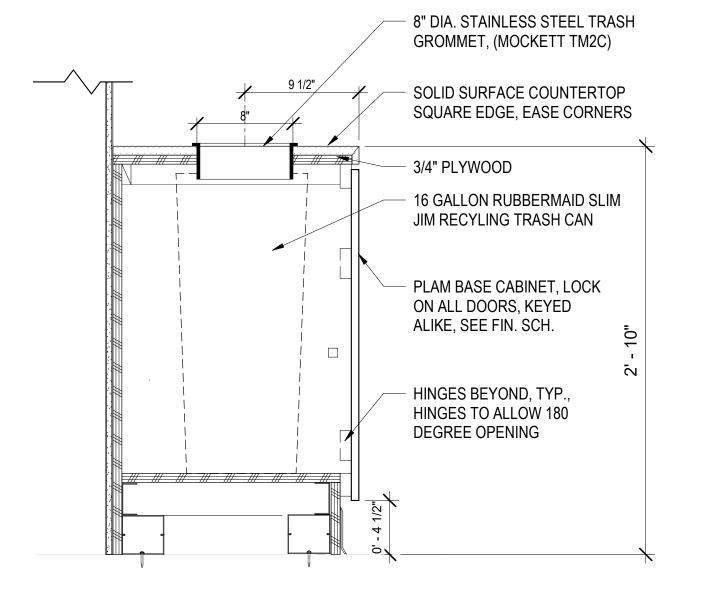
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[/] 3" = 1'-0"

1 1/2" = 1'-0"

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SOLID SURFACE OVER 1/2" PLYWD., SQUARE EDGE - EASE CORNERS SS-2 FRAMING - SIZE AS REQ'D TO ACHEIVE OVERALL DIMENSIONS. PLASTIC LAMINATE (PLAM-1) O/ 1/2" PLYWD -PRE-FABRICATED MAILBOXES, TYP. 1 X WD. FURRING STRIPS @ 16" O.C.



2 MAILBOX END DETAIL
1 1/2" = 1'-0"

4 MAILBOX RECYCLING COUNTER
1 1/2" = 1'-0"

North Housing, Block A

Alameda, CA 94501

JOB NO. 19009
DRAWN Author
CHECKED Checker
JOB CAPTAIN Approver
ISSUE

 ✓
 DATE
 DESCRIPTION

 5
 03/22/22
 100% DD SET

 6
 08/22/22
 50% CD SET

 7
 09/29/22
 PERMIT SUBMITTAL

DRAWING TITLE

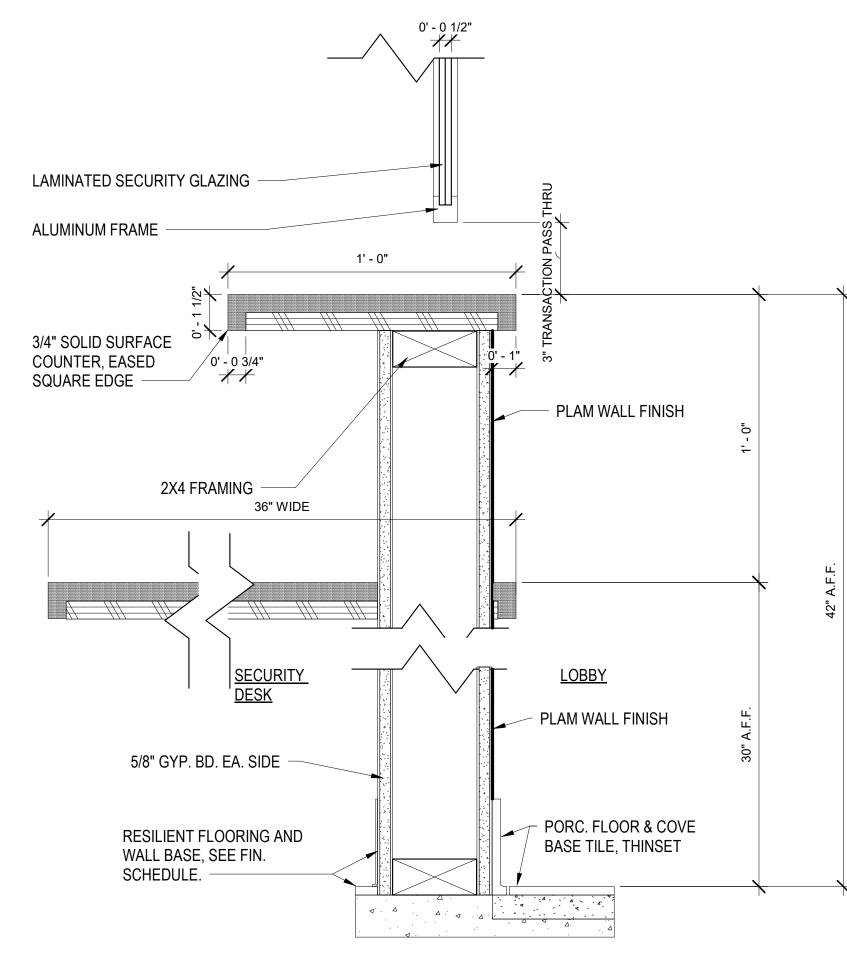
MAILBOX DETAILS

(PSH 1 & SEN)

SCALE 1 1/2" = 1'-0"

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1 PSH1 - LOBBY GLAZING SILL, JAMB SIM. 3" = 1'-0"



2 PSH1-LOBBY TRANSACTION COUNTER
3" = 1'-0"

North Housing, Block A

Alameda, CA 94501

JOB NO. 19009
DRAWN Author
CHECKED Checker
JOB CAPTAIN Approver
ISSUE

DATE DESCRIPTION
6 08/22/22 50% CD SET
7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE
SECURITY DESK
DETAILS (PSH 1)

SCALE 3" = 1'-0"

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North Housing, Block A Alameda, CA 94501

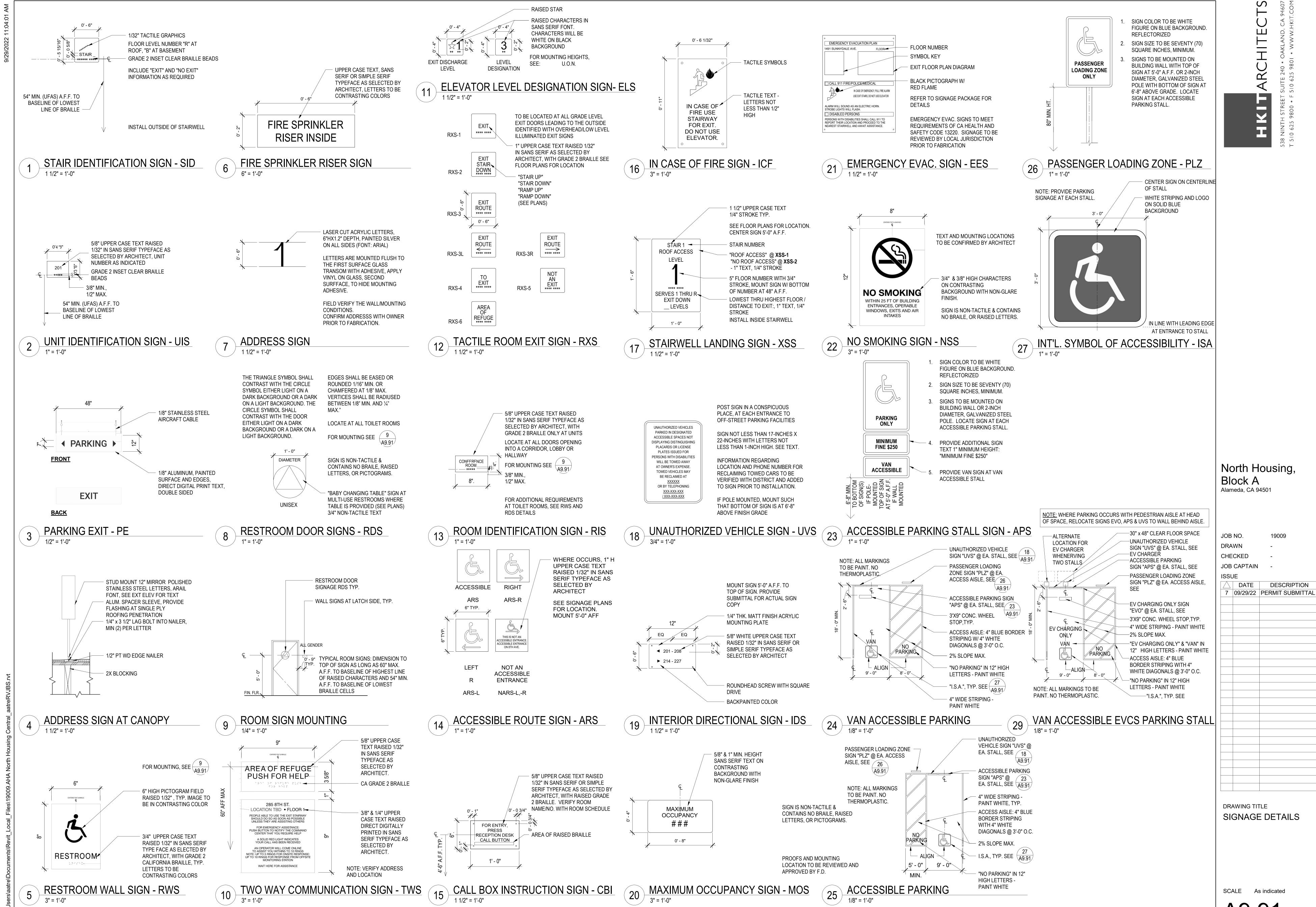
JOB NO. **DRAWN**

CHECKED JOB CAPTAIN

DESCRIPTION 4 01/21/22 50% DD SET 5 03/22/22 100% DD SET 6 08/22/22 50% CD SET 7 | 09/29/22 | PERMIT SUBMITTAL

DRAWING TITLE STANDARD **ACCESSIBILITY**

SCALE As indicated



A9.91

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KEYNOTES

TYPICAL UNIT FLOORING DIRECTION

PAUL M
MCELWEE

**

CO. PRINTED

**

CO.

North Housing, Block A

PSH PHASE 1

500 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO. 1

DRAWN Author
CHECKED Check

JOB CAPTAIN

ISSUE

DATE DESCRIPTION

5 03/22/22 100% DD SET

6 08/22/22 50% CD SET

7 09/29/22 PERMIT SUBMITT

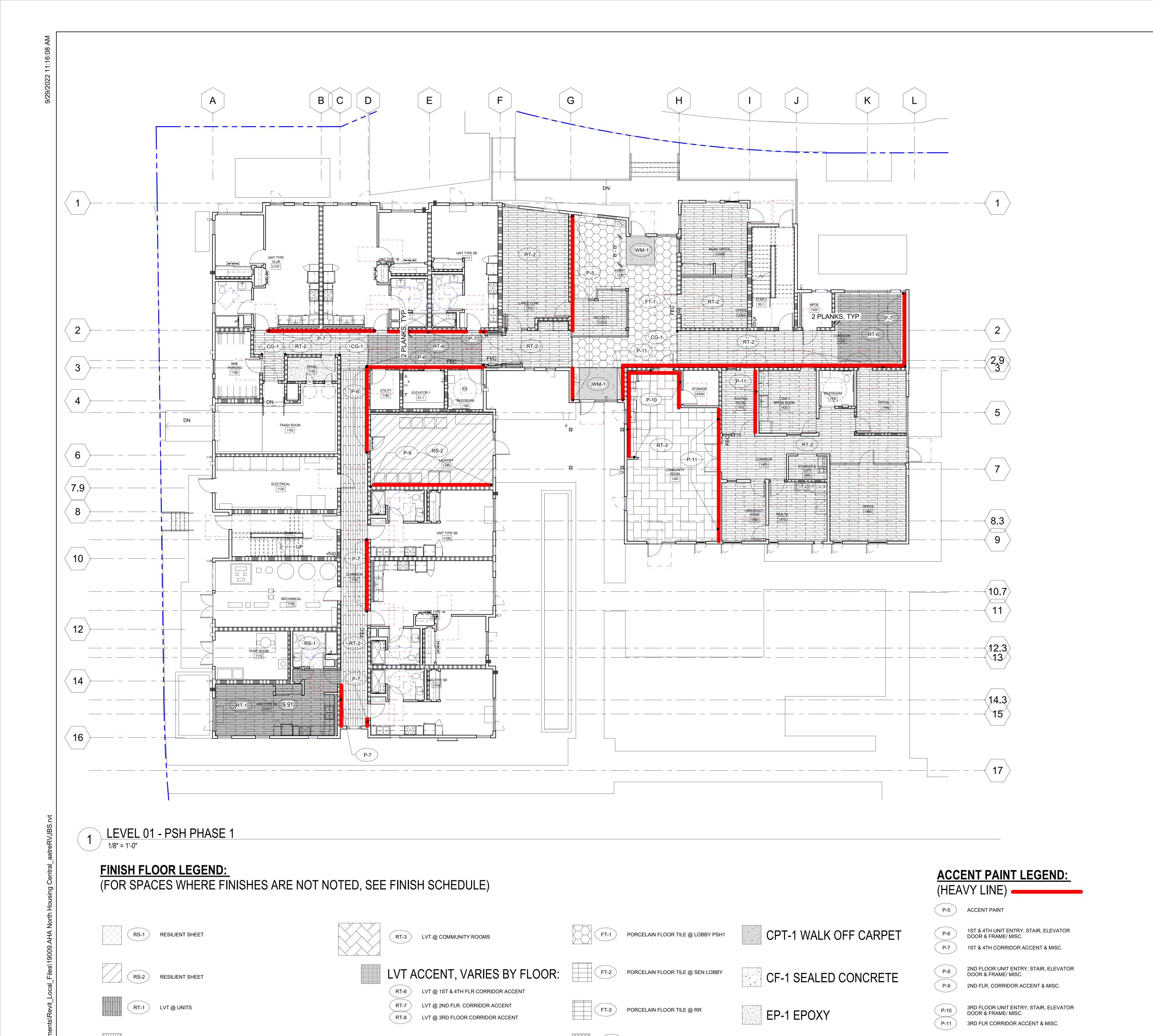
6 08/22/22 50% CD SET
7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE
PSH 1 - LEVEL 1

FINISH PLAN

SCALE 1/8" = 1'-0"

A10.1 1
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WM-1 RECESSED WALK OFF MAT

RT-2 LVT @ OFFICES & CORRIDORS



KEYNOTES

TYPICAL UNIT FLOORING DIRECTION

North Housing, Block A

PSH PHASE 1

500 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO. 1

DRAWN Author
CHECKED Check

JOB CAPTAIN

ISSUE

DATE DESCRIPTION

5 03/22/22 100% DD SET

6 08/22/22 50% CD SET

7 09/29/22 PERMIT SUBMITT

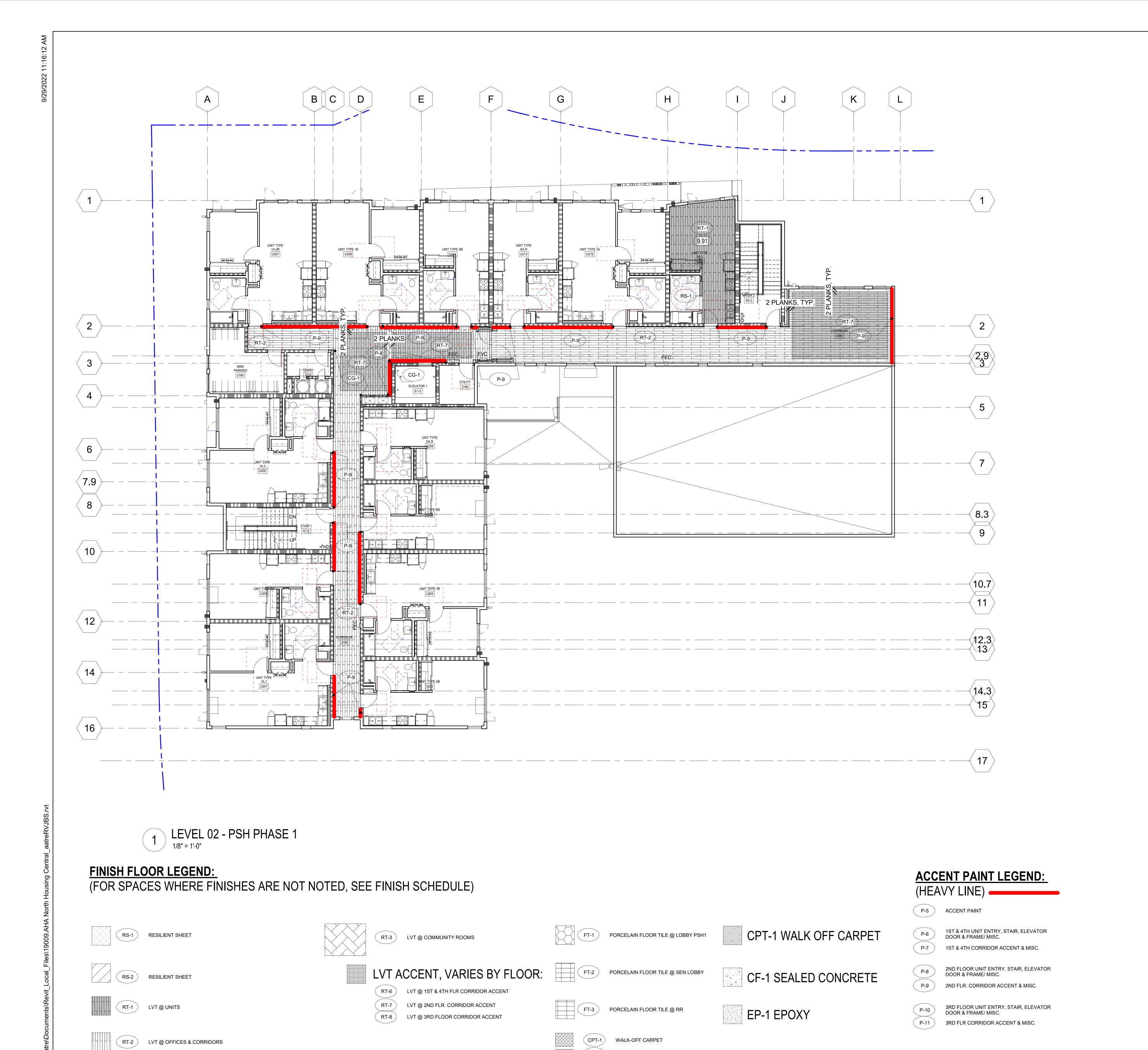
6 08/22/22 50% CD SET
7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE
PSH 1 - LEVEL 2

FINISH PLAN

SCALE 1/8" = 1'-0"

A10.12
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WM-1

RECESSED WALK OFF MAT



1/2" THICK TACKABLE ACOUSTIC WALL PANEL

North Housing, Block A

PSH PHASE 1

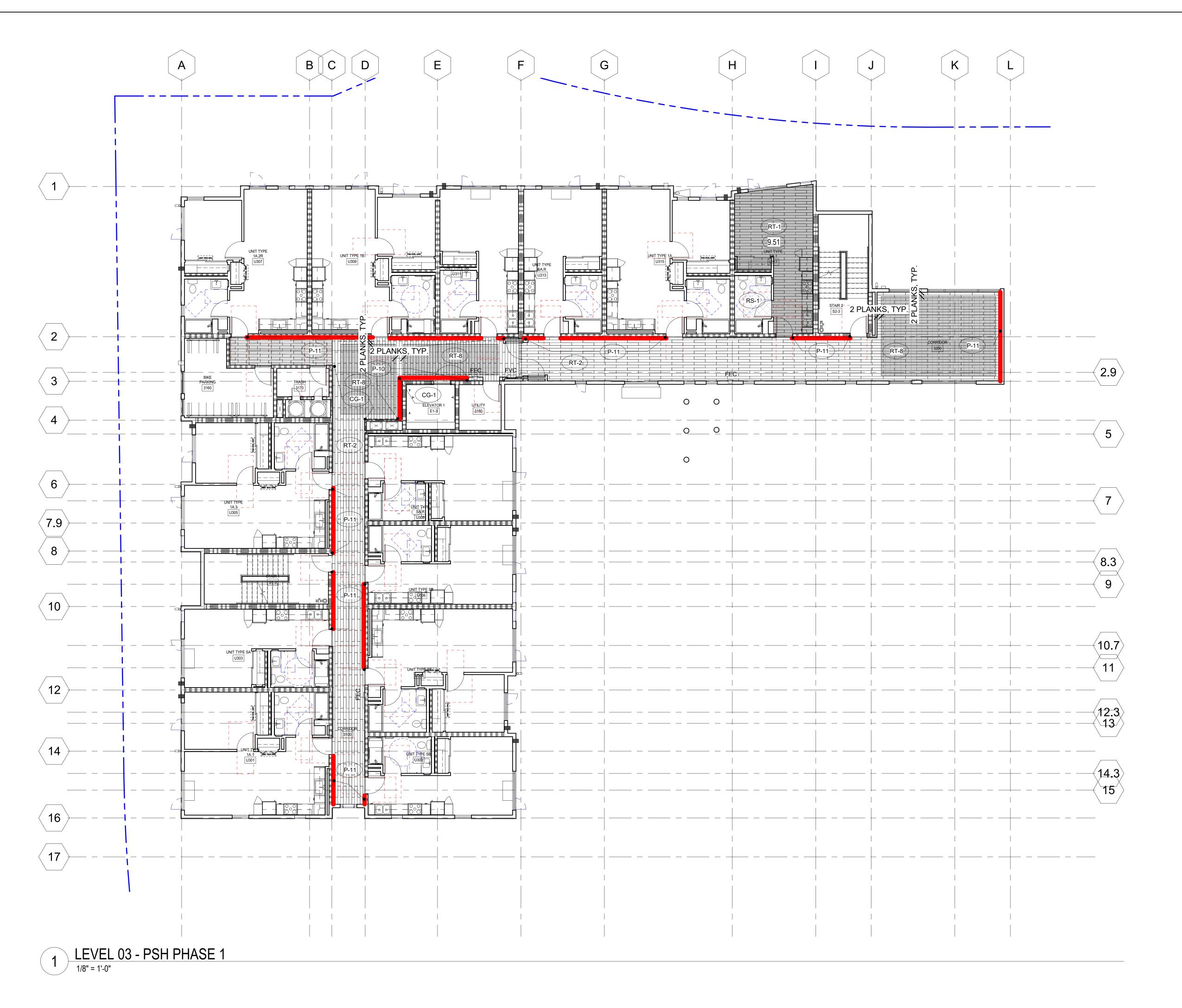
500 MOSLEY AVENUE ALAMEDA, CA 94501

CHECKED JOB CAPTAIN

ISSUE DESCRIPTION 6 08/22/22 50% CD SET 7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE PSH 1 - LEVEL 3 FINISH PLAN

SCALE 1/8" = 1'-0"

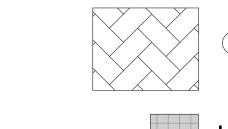


FINISH FLOOR LEGEND: (FOR SPACES WHERE FINISHES ARE NOT NOTED, SEE FINISH SCHEDULE)

RS-1 RESILIENT SHEET

RS-2 RESILIENT SHEET

RT-2 LVT @ OFFICES & CORRIDORS





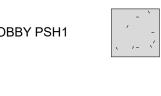
RT-6 LVT @ 1ST & 4TH FLR CORRIDOR ACCENT

LVT @ 2ND FLR. CORRIDOR ACCENT

LVT @ 3RD FLOOR CORRIDOR ACCENT





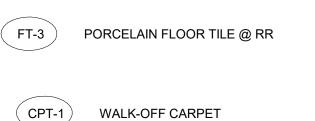


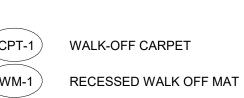












CPT-1 WALK-OFF CARPET (WM-1)

LVT ACCENT, VARIES BY FLOOR: FT-2 PORCELAIN FLOOR TILE @ SEN LOBBY

CF-1 SEALED CONCRETE

EP-1 EPOXY

1ST & 4TH UNIT ENTRY, STAIR, ELEVATOR DOOR & FRAME/ MISC. P-7 1ST & 4TH CORRIDOR ACCENT & MISC.

2ND FLOOR UNIT ENTRY, STAIR, ELEVATOR DOOR & FRAME/ MISC. P-8

2ND FLOOR UNIT ENTRY, STAIR, ELEVA DOOR & FRAME/ MISC.

P-9

2ND FLR. CORRIDOR ACCENT & MISC.

ACCENT PAINT LEGEND:

(HEAVY LINE)

P-5 ACCENT PAINT

3RD FLOOR UNIT ENTRY, STAIR, ELEVATOR DOOR & FRAME/ MISC. 3RD FLR CORRIDOR ACCENT & MISC.

PSH PHASE 1

500 MOSLEY AVENUE ALAMEDA, CA 94501

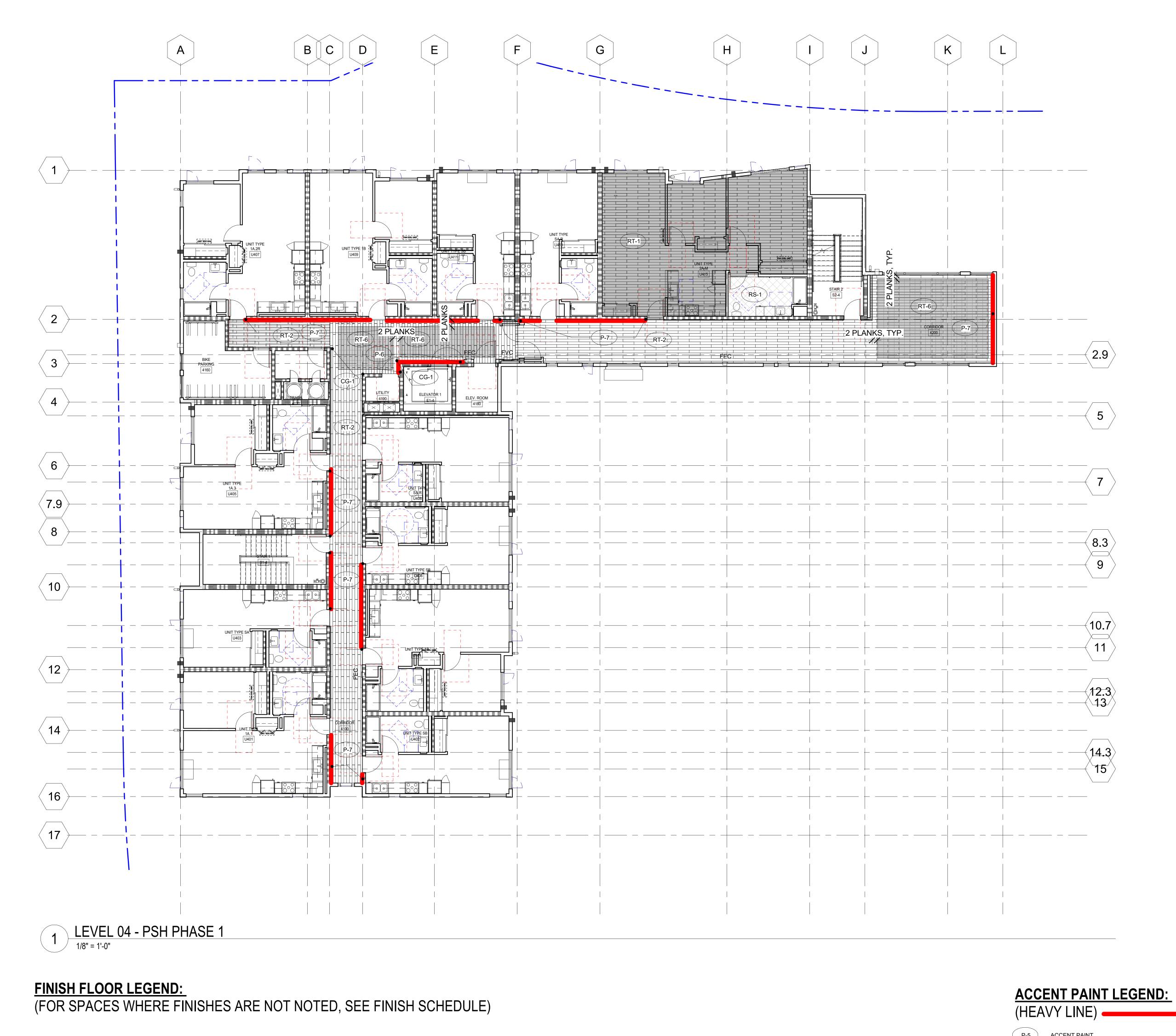
JOB CAPTAIN

6 08/22/22 50% CD SET 7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE PSH 1 - LEVEL 4

FINISH PLAN

SCALE 1/8" = 1'-0"





RS-2 RESILIENT SHEET

RT-1 LVT @ UNITS









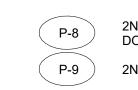








CF-1 SEALED CONCRETE



P-8

2ND FLOOR UNIT ENTRY, STAIR, ELEV.
DOOR & FRAME/ MISC.

2ND FLR. CORRIDOR ACCENT & MISC. 2ND FLOOR UNIT ENTRY, STAIR, ELEVATOR DOOR & FRAME/ MISC.

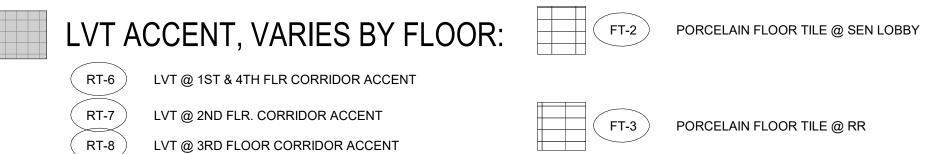
P-6 1ST & 4TH UNIT ENTRY, STAIR, ELEVATOR DOOR & FRAME/ MISC.

P-7 1ST & 4TH CORRIDOR ACCENT & MISC.



3RD FLOOR UNIT ENTRY, STAIR, ELEVATOR DOOR & FRAME/ MISC.





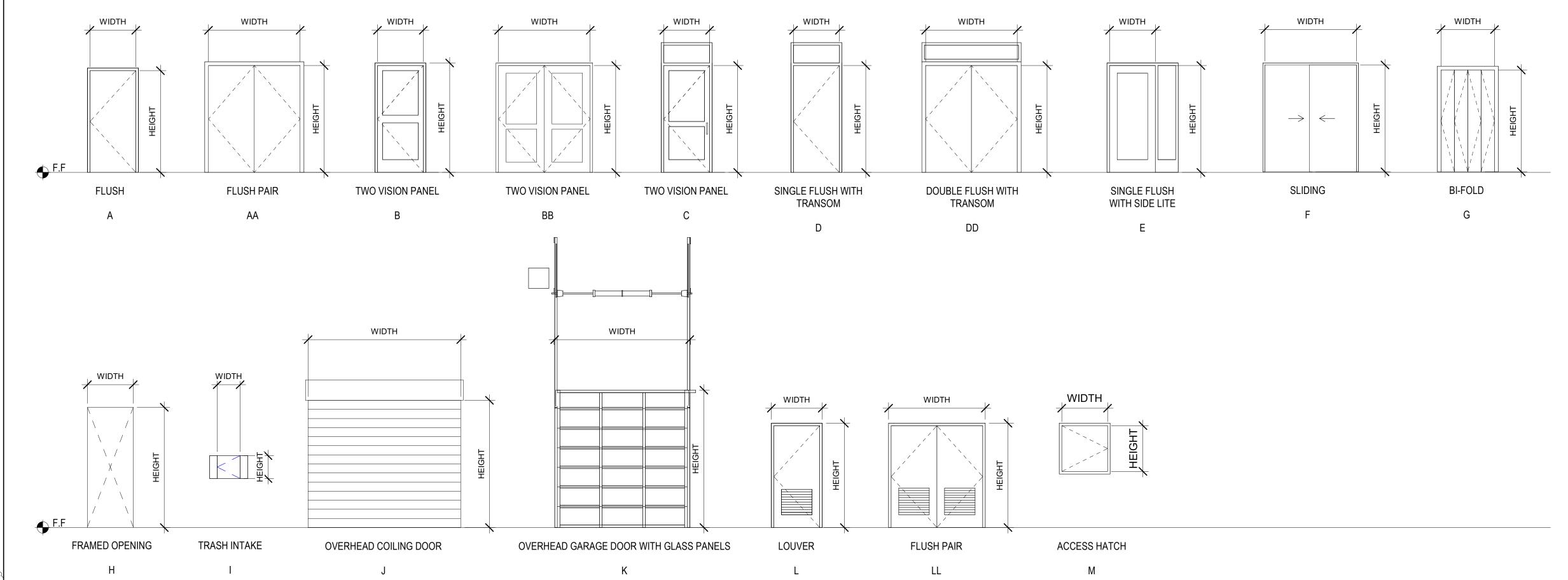


CPT-1 WALK-OFF CARPET WM-1 RECESSED WALK OFF MAT

RT-2 LVT @ OFFICES & CORRIDORS

							DOOR	AND F	IARDW	ARE SC	HEDUL	E - PSF	11-LE	VEL 1				
		DC	OOR			D	OOR			DETAILS			FRAME			SIGN	NAGE	
ROOM NAME	DOOR NO.	WIDTH	HEIGHT	FIRE RATING	TYPE	MATERIAL	FINISH	COLOR (EXT/INT)	THRESHOLD	HEAD	JAMB	MATERIAL	FINISH	COLOR (EXT/INT)	HARDWARE GROUP	PULL SIDE	PUSH SIDE	REMARKS
PUMP ROOM	1110	5' - 0"	7' - 0"	-	DD	HM-G	PA	MATCH EXT/P-2	30/A8.50	8/A8.50	7/A8.50	HM-G	PA	MATCH EXT/P-2	14	RIS		A,B,C,N,E
MECHANICAL	1120.1	3' - 0"	6' - 8"	20 MIN.	Α	HM-G	PA	P-2	20/A9.50	26/A9.50	27/A9.50	HM-G	PA	P-2	18		RIS	C,N,E,L,P
MECHANICAL	1120.2	5' - 0"	7' - 0"	-	D	HM-G	PA	MATCH	30/A8.50	8/A8.50	7/A8.50	HM-G	PA	MATCH	15	RIS		A,C,N,E
ELECTRICAL	1130.1	3' - 0"	6' - 8"	20 MIN.	Λ	SC WD	PA	EXT/P-2 P-2	20/A9.50	26/A9.50	27/A9.50	HM	PA	EXT/P-2 P-2	21		RIS	C,N,E,L,P
ELECTRICAL	1130.1	3' - 0"	7' - 0"	ZO IVIIIN.	ı	HM-G	PA	MATCH	30A8.50	6/A8.50	7/A8.50	HM-G	PA	MATCH	07	RIS	Nio	A,C,N,E
	1100.2							EXT/P-2	00710.00	077 10.00	777 10.00			EXT/P-2		1 110		7,0,11,0
LAUNDRY	1140.1	3' - 0"	7' - 0"	20 MIN.	Α	SC WD	PA	P-6/P-2	19/A9.50	26/A9.50	27/A9.50	HM-G	PA	P-6/P-2	29		RIS	I,E,J,L,P
LAUNDRY	1140.2	3' - 0"	7' - 0"	-	A	HM-G	PA	MATCH EXT/P-2	30/A8.50	6/A8.50	7/A8.50	HM-G	PA	MATCH EXT/P-2	09	RIS		A,B,I,R,E
TRASH ROOM	1150.1	3' - 0"	6' - 8"	20 MIN.	Α	HM	PA	P-2	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	23	RIS		A,C,E,L,P
TRASH ROOM	1150.2	6' - 0"	8' - 4"	-	J	STL	MFR	-	19/A9.50	21/A8.50	22/A8.50	MFR	MFR	-	41			
BIKE PARKING	1160	3' - 0"	6' - 8"	20 MIN.	Α	SC WD	PA	P-2	20/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	30		RIS	I,E,C,A
TRASH ROOM	1170.1	3' - 0"	6' - 8"	20 MIN.	Α	HM	PA	P-2	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	23		RIS	A,C,E,L,P
UTILITY	1180	3' - 0"	6' - 8"	20 MIN.	A	SC WD	PA	P-6	20/A9.50	26/A9.50	27/A9.50	HM	PA	P-6	17		RIS	C,N,P,L
BATHROOM	1190	3' - 0"	6' - 8"	20 MIN.	Α	HM-G	PA	P-6/P-2	5/A9.50	26/A9.50	27/A9.50	HM-G	PA	P-6/P-2	25		RIS	E,C
CORRIDOR	1200.2	6' - 0"	7' - 0"	90 MIN.	AA	SC WD	PA	P-3	19/A9.50	3/A9.51	1/A9.50	HM	PA	P-3	39	RXS-1	RXS-1	A,B,E,H,L
CORRIDOR	1200.3	3' - 0 1/4"	7' - 0 3/4"	-	В	AL	AN	-	25/A8.50	11&17/A8.51	14/A8.51	AL	AN	-	01	RIS	RXS-1	A,B,I,J,R,E
CONFERENCE ROOM	1210.1	3' - 0"	6' - 8"	45 MIN.	Е	SC WD	STAIN & SEAL	-	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	31	MOS	RIS	P,L,E,K, I
CONFERENCE ROOM	1210.2	3' - 0"	6' - 8"	20 MIN.	Α	SC WD	STAIN & SEAL	-	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	31	RIS		P,L,E,K, I
LOBBY	1220.1	3' - 0 1/4"	6' - 10 3/4"		В	AL	AN	-	30/A9.10 & 25/A8.50	1&17/A8.51	2/A8.51	AL	AN	-		ARS, CBI, NSS	EES, RXS-1	A,B,I,J,R,E
LOBBY	1220.2	3' - 0"	6' - 8"	_	В	SC WD	STAIN & SEAL	-	5/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	31	RIS		
OFFICE	1230A	3' - 0"	6' - 8"	45 MIN.	E	SC WD	STAIN & SEAL		5/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	31	RIS		P,L,E,K, I
MGMT OFFICE	1230B.1	3' - 0"	6' - 8"	-	A	SC WD	STAIN & SEAL		19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	26			P,L,E,K
MGMT OFFICE	1230B.2	3' - 0"	7' - 0"	-	В	HM-G	PA	MATCH EXT/P-2	30/A8.50	11/A8.50	12/A8.50	HM-G	PA	P-2	12	RIS	RXS-1	A,P,L,E,R
COMMUNITY ROOM	1240.1	3' - 0"	6' - 8"	45 MIN.	E	SC WD	STAIN & SEAL		5/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	31	RIS		A,B,E,I
CORRIDOR	1240.2	6' - 0"	7' - 0"	45 MIN.	BB	STL	PA	-	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	38		RIS	A,B,J,E,I
COMMUNITY ROOM	1240.4	3' - 0 1/4"	7' - 0 3/4"	-	В	AL	AN	-	25/A8.50	1&17/A8.51	2/A8.51	AL	AN	-	02	RIS	MOS, RXS-1	A,B,I,R,E
STORAGE	1240A	3' - 0"	6' - 8"	-	Α	SC WD	STAIN & SEAL	-	5/A9.50	26/A9.50	27/A9.50	НМ	PA	-	34		RIS	N
MPOE	1250	3' - 0"	6' - 8"	20 MIN.	Α	SC WD	PA	P-2	20/A9.50	26A/9.50	27/A9.50	HM	PA	P-2	20	RIS		
CORRIDOR	1400	3' - 0 1/4"	6' - 10 3/4"	-	В	HM-G	PA	MATCH EXT/P-2	11/A8.50 & 30/A9.10	12/A8.50	30/A8.50	HM-G	PA	MATCH EXT/P-2	08		RXS-1	A,B,I,J,R,E
WAITING ROOM	1410.1	3' - 0"	6' - 8"	45 MIN.	Α	SC WD	STAIN & SEAL	+	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	31	RIS		E, I
WAITING ROOM	1410.1	3' - 0"	6' - 8"	45 MIN.	E	SC WD	STAIN & SEAL		19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	24		RIS	P,L,E,K
CONFERENCE/BREAK ROOM	1420.1	3' - 0"	6' - 8"	45 MIN.	Α	SC WD	STAIN & SEAL		19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	26	RIS		P,L,E,K, I
CONFERENCE/BREAK ROOM	1420.2	3' - 0"	6' - 8"	45 MIN.	Α	SC WD	STAIN & SEAL		19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	26		RIS	P,L,E,K
BATHROOM	1430	3' - 0"	6' - 8"	45 MIN.	Α	HM-G	STAIN & SEAL		5/A9.50	26/A9.50	27/A9.50	HM-G	PA	P-2	25		RIS	E,C
OFFICE	1440.1	3' - 0"	6' - 8"	45 MIN.	Α	SC WD	STAIN & SEAL		19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	26	RIS		P,L,E,K, I
OFFICE - 1	1440.2	3' - 0"	6' - 8"	45 MIN.	Α	SC WD	STAIN & SEAL	-	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	26		RIS	P,L,E,K
OFFICE	1450	3' - 0 1/2"	6' - 10 3/4"	45 MIN.	Α	SC WD	STAIN & SEAL	-	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	26	RIS		P,L,E,K
STORAGE & COPY	1460	4' - 0"	8' - 0"	-	Н	-	-		-	-	11/A9.50	WD	PA			RIS		FRAMED OPENING
HEALTH	1470	3' - 0"	6' - 8"	45 MIN.	Α	SC WD	STAIN & SEAL		19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	26		RIS	
BREAKOUT ROOM	1480.1	3' - 0"	6' - 8"	45 MIN.	Α	SC WD	STAIN & SEAL		19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	26		RIS	
BREAKOUT ROOM	1480.2	3' - 0"	6' - 8"	-	Α	SC WD	STAIN & SEAL	-	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	26	RIS	RIS	

							DOO	R AND	HARDW	ARE S	CHEDU	LE - PSI	11-LE	VEL 2				
		DO	OR			DOC	OR			DETAILS			FRAME		HARDWARE	SIGN	AGE	
ROOM NAME	DOOR NO.	WIDTH	HEIGHT	FIRE RATING	TYPE	MATERIAL	FINISH	COLOR	THRESHOLI) HEAD	JAMB	MATERIAL	FINISH	COLOR	GROUP	PULL SIDE	PUSH SIDE	REMARKS
BIKE PARKING	2160	3' - 0"	6' - 8"	20 MIN.	A	HM	PA	P-2	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	33		RIS	A,C,E,I
TRASH ROOM	2170.1	3' - 0"	6' - 8"	45 MIN.	4	HM	PA	P-2	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	23		RIS	A,C,E,L,P
UTILITY	2180	3' - 0"	6' - 8"	20 MIN.	4	SC WD	PA	P-2	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	18		RIS	C,E,N,P,L
CORRIDOR	2200	6' - 0"	7' - 0"	90 MIN.	4 A	SC WD	PA	P-3	19A/9.50	3/A9.51	1/A9.51	HM	PA	P-3	39	RXS-1	RXS-1	A,B,E,H,L



DOOR SCHEDULE ABBREVIATIONS

AL= ALUMINUM DOOR / FRAME

HM = HOLLOW METAL DOOR / FRAME HM-G = GALVANIZED HOLLOW METAL DOOR / FRAME

STL = STEEL DOOR / FRAME STL-G = GALVANIZED STEEL DOOR/FRAME SC WD = SOLID CORE WOOD

HC WD = HOLLOW CORE WOOD SS = STAINLESS STEEL AN-CL = ALUMINUM ANODIZED FINISH, CLEAR AN-DB = ALUMINUM ANODIZED FINISH, DARK BRONZE ST= STAIN GRADE MATERIAL WITH STAIN FINISH

PA = PAINT GRADE MATERIAL WITH PAINT FINISH

MFR = MANUFACTURER / FACTORY FINISH SA = SATIN SHEEN

SG = SEMI-GLOSS SHEEN = SEE GLAZING SCHEDULE MA = MATCH ADJACENT WALL COLOR NR = NON-RATED

= NOT APPLICABLE

EMHO = ELECTRO-MAGNETIC HOLD OPEN, TIED TO FIRE ALARM SYSTEM PVDF = FLUOROPOLYMER 70% PVDF 2-COAT

GENERAL NOTES-DOOR SCHEDULE

1. PROVIDE ROOM IDENTIFICATION SIGNAGE, UNIT ADDRESS SIGNAGE, AND CODE-REQUIRED EGRESS AND WAYFINDING SIGNAGE TYPICAL AT ALL DOORS, SEE A10.50 AND A10.51 FOR ADDITIONAL INFO

2. ALL EXIT DOORS SHALL OPEN FROM THE INSIDE WITHOUT A KEY OR SPECIAL KNOWLEDGE

3. THE MAXIMUM OPERATING FORCE OF DOORS SHALL NOT EXCEED 5.0 LB FOR EXTERIOR DOOR AND 5LB FOR INTERIOR DOORS, SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THESE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, THE MAX. EFFORT TO OPERATE THE DOOR MAY BE INCREASED TO THE MINIMUM ALLOWABLE BY THE APPROPRIATE ENFORCEMENT AGENCY, NOT TO EXCEED 15LB

4. DOOR LOCKING AND LATCHING HARDWARE INCLUDING SEPARATE BOLTS OR KEYHOLES SHALL BE LOCATED AT 36" A.F.F. AND SHALL NOT REQUIRE GRASPING OR TWISTING OF THE WRIST TO OPERATE

5. MAXIMUM THRESHOLD HEIGHT SHALL BE 1/2". SEE DETAIL ON A9.00 FOR THRESHOLD PROFILE REQUIREMENTS

6. PROVIDE ILLUMINATED EXIT SIGNAGE, S.E.D.

7. ALL EXT. AND WET AREA H.M. DOORS AND FRAMES TO BE GALVANIZED, SEE SPECIFICATIONS

8. PROVIDE COMPRESSION SEALS ALL SIDES AT EXTERIOR DOORS

9. SEE SHEET A8.40 FOR TYPICAL EXTERIOR DOOR DETAILS. SEE SHEET A9.40 FOR TYPICAL INTERIOR DOOR DETAILS

10. PAINTED DOOR, DOOR FRAME AND MANUFACTURER FINISHED PAINTED SURFACES TO BE SEMI-GLOSS FINISH, U.O.N. *COLOR TO MATCH PAINT ACCENT COLOR AT CORRIDOR SIDE. UNIT SIDE TO BE 'P-1'

11. PROVIDE A 10" SMOOTH, UNINTURRUPTED SURFACE AT BASE OF SWINGING DOORS OR GATES (AT PUSH SIDE), EXTENDING THE FULL WIDTH OF DOOR

12. FIRE-RATED DOORS HELD IN THE OPEN POSITION BY ELECTROMAGNETIC HOLD-OPEN DEVICES SHALL BE AUTOMATIC CLOSING UPON ACTIVATION OF THE FIRE ALARM SYSTEM (PER CBC 716.5.9.3)

13. ALL DOORS, EXCEPT BI-PASS AND BI-FOLD CLOSET DOORS, SHALL HAVE A LATCH OR LOCK SET WITH LEVER HARDWARE

14. SMOKE AND DRAFT CONTROL TESTED PER CBC 716.5.3.1 IN ACCORDANCE WITH UL1784 WITHOUT ARTIFICIAL BOTTOM SEAL. DOOR DESIGN COMPLIES WITH CBC SECTION 3002.6, PENDING FIELD VERIFICATION BY FIELD INSPECTOR

15. SEE SPEC. 08 71 00 FOR HARDWARE GROUPS

16. ENTRY UNIT LOCKS SHALL BE PROVIDED WITH A COMBINATION 1/2-INCH (12.7 MM) THROW DEADLATCH WITH A MINIMUM 1-INCH (25.4 MM) THROW DEADBOLT, AND SO CONSTRUCTED THAT BOTH THE DEADLATCH AND DEADBOLT RETRACT SIMULTANEOUSLY BY KNOB OR LEVER.

17. HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERABLE PARTS ON DOORS TO BE LOCATED AT 36" (34" MIN AND 44 " MAX.) ABOVE THE FINISH FLOOR OR GROUND. DOOR HARDWARE SHALL NOT REQUIRE GRASPING OR TWISTING TO OPERATE."

18. DOOR CLOSERS AND GATE CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM

19. REFER TO GLAZING SCHEDULE ON WINDOW SCHEDULE SHEET. PROVIDE FIRE RATING AS INDICATED ON SCHEDULE

DOOR HARDWARE KEY

A. CLOSER - DOOR CLOSERS AND GATE CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM. MOUNTED AT MINIMUM 78" AFF.

B. <u>EXIT DEVICE</u> - ALL EXIT DOORS SHALL OPEN FROM THE INSIDE WITHOUT A KEY OR SPECIAL KNOWLEDGE.

C. <u>KICK PLATE</u> - PROVIDE A 10" SMOOTH, UNINTURRUPTED SURFACE AT BASE OF SWINGING DOORS OR GATES (AT PUSH SIDE), EXTENDING THE FULL WIDTH OF DOOR OR GATE.

D. ENTRY UNIT LOCK - ENTRY UNIT LOCKS SHALL BE PROVIDED WITH A COMBINATION 1/2-INCH (12.7 MM) THROW DEADLATCH WITH A MINIMUM 1-INCH (25.4 CHECKED MM) THROW DEADBOLT, AND SO CONSTRUCTED THAT BOTH THE DEADLATCH AND DEADBOLT RETRACT SIMULTANEOUSLY BY KNOB OR LEVER.

E. <u>THRESHOLD</u> - MAXIMUM THRESHOLD HEIGHT SHALL BE 1/2". SEE DETAIL ON A9.00 FOR THRESHOLD PROFILE REQUIREMENTS

F. COORDINATOR - CAN BE MOUNTED AT A MINIMUM 80" AFF

G. OVERHEAD STOP - CAN BE MOUNTED AT A MINIMUM 78" AFF

H. <u>EMHO</u> - FIRE-RATED DOORS HELD IN THE OPEN POSITION BY ELECTROMAGNETIC HOLD-OPEN DEVICES SHALL BE AUTOMATIC CLOSING UPON ACTIVATION OF THE FIRE ALARM SYSTEM (PER CBC 716.5.9.3)

I. <u>CARD READER</u> - MUST COMPLY WITH SECTION 11B-308

J. POWER OPERATOR W. ACTUATORS - THERE SHALL BE TWO PUSH PLATES; THE CENTERLINE OF ONE PUSH PLATE SHALL BE 7 INCHES (178 MM) MINIMUM AND 8 INCHES (203 MM) MAXIMUM ABOVE THE FLOOR OR GROUND SURFACE AND THE CENTERLINE OF THE SECOND PUSH PLATE SHALL BE 30 INCHES (762 MM) MINIMUM AND 44 INCHES (1118 MM) MAXIMUM ABOVE THE FLOOR OR GROUND SURFACE. EACH PUSH PLATE SHALL BE A MINIMUM OF 4 INCHES (102 MM) DIAMETER OR A MINIMUM OF 4 INCHES BY 4 INCHES (102 MM BY 102 MM) SQUARE AND SHALL DISPLAY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTION 11B-703.7.

K. <u>CLASSROOM LOCKSET</u> - SHALL BE OPERABLE WITH ONE HAND, AND SHALL NOT REQUIRE GRASPING OR TWISTING OF THE WRIST TO OPERATE

L. SMOKE GASKET -

M. PRIVACY LOCK - SHALL BE OPERABLE WITH ONE HAND, AND SHALL NOT REQUIRE GRASPING OR TWISTING OF THE WRIST TO OPERATE

N. STOREROOM LOCK - PROVIDE SFMOD APPROVED MORTISE STOREROOM LOCK, AS SPECIFIED.

O. <u>WEATHERSEAL</u>

P. ACOUSTIC DOOR THRESHOLD - ZERO 253, PEMKO 234V, OR EQUAL.

Q. <u>INTEGRATED DOOR SYSTEM</u> - W/ FLUSH HARDWARE

R. <u>ALARM</u> -

S. <u>PANIC HARDWARE</u>

North Housing, Block A

PAUL M

PS. I Recent

C-28734 CF CALIFORN

MCELWEE \

PSH PHASE 1

500 MOSLEY AVENUE

ALAMEDA, CA 94501 JOB NO. DRAWN

JOB CAPTAIN ISSUE

DESCRIPTION 2 | 12/8/21 | SD SET 5 | 03/22/22 | 100% DD SET 6 08/22/22 50% CD SET 7 | 09/29/22 | PERMIT SUBMITTAL

Checker

DRAWING TITLE PSH 1 - DOOR SCHEDULE AND DOOR TYPES

SCALE 1/4" = 1'-0"

DOOR AND HARDWARE SCHEDULE - PSH 1 - LEVEL 3

		DC	OOR			DO	OR			DETAILS			FRAME		HARDWARE	SIGN	NAGE	
ROOM NAME	DOOR NO.	WIDTH	HEIGHT	FIRE RATING	TYPE	MATERIAL	FINISH	COLOR	THRESHOLD	HEAD	JAMB	MATERIAL	FINISH	COLOR	GROUP	PULL SIDE	PUSH SIDE	REMARKS
BIKE PARKING	3160	3' - 0"	6' - 8"	20 MIN.	4	HM	PA	P-2	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	32		RIS	A,C,E,I
TRASH ROOM	3170.1	3' - 0"	6' - 8"	20 MIN.	4	HM	PA	P-2	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	23		RIS	A,C,E,L,P
UTILITY	3180	3' - 0"	6' - 8"	90 MIN.	4	SC WD	PA	P-2	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	18		RIS	C,E,N,P,L
CORRIDOR	3200	6' - 0"	7' - 0"	90 MIN.	4 A	SC WD	PA	P-3	19/A9.50	3/A9.51	1/A9.51	HM	PA	P-3	39	RXS-1	RXS-1	A,B,E,H,L

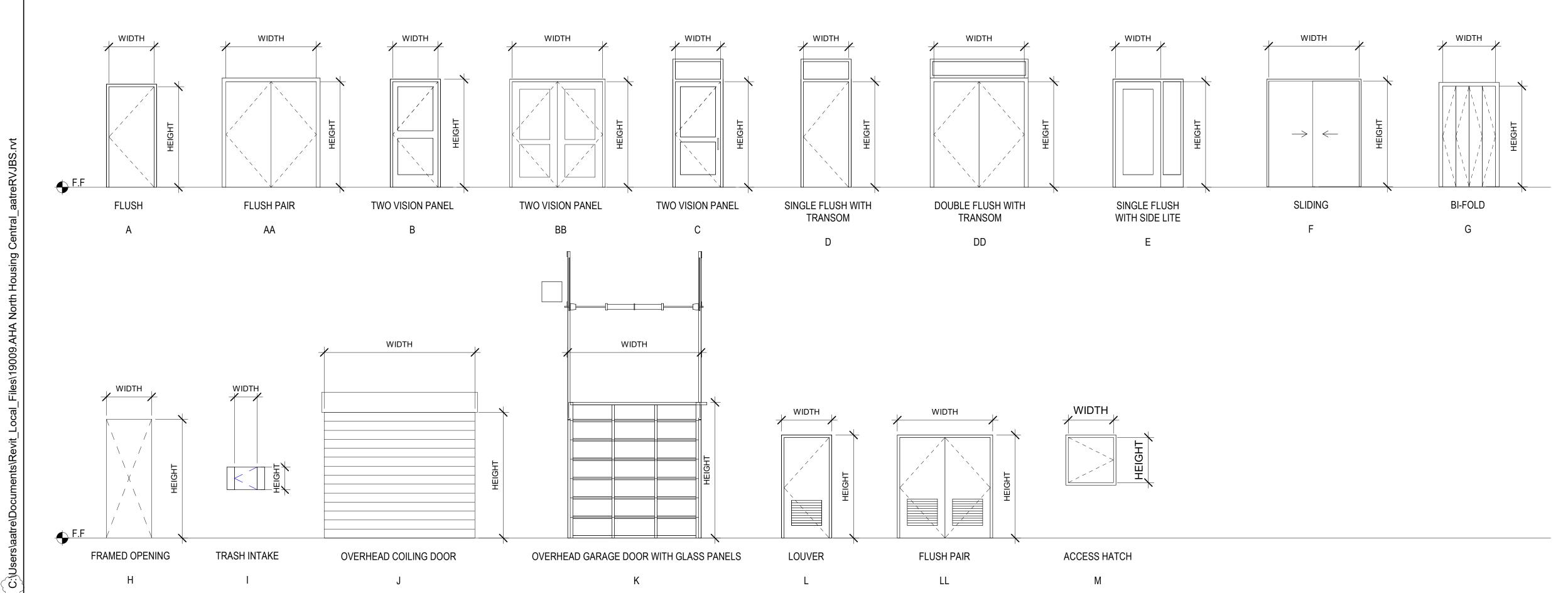
							DOO	R AND H	ARDW	ARE SC	HEDUL	.E - PSH	1 - LE\	/EL 4				
		DC	OOR			DC	OR			DETAILS			FRAME		HARDWARE	SIGN	NAGE	
ROOM NAME	DOOR NO.	WIDTH	HEIGHT	FIRE RATING	TYPE	MATERIAL	FINISH	COLOR	THRESHOLD	HEAD	JAMB	MATERIAL	FINISH	COLOR	GROUP	PULL SIDE	PUSH SIDE	REMARKS
BIKE PARKING	4160	3' - 0"	6' - 8"	20 MIN.	Α	HM	PA	P-2	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	32		RIS	A,C,E,I
TRASH ROOM	4170.1	3' - 0"	6' - 8"	20 MIN.	Α	HM	PA	P-2	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	23		RIS	A,C,E,L,P
ELEV. ROOM	4180	4' - 0"	7' - 0"	90 MIN.	Α	SC WD	PA	P-2	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	19	RIS		A,C,E,N,P,L
UTILITY	4190	3' - 0"	6' - 8"	20 MIN.	Α	SC WD	PA	P-2	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-2	18	RIS		C,E,N,P,L
CORRIDOR	4200	6' - 0"	7' - 0"	90 MIN.	AA	SC WD	PA	P-3	19/A9.50	3/A9.51	1/A9.51	HM	PA	P-3	39	RXS-1	RXS-1	A,B,E,H,L

						D	OOR A	AND HA	RDWAR	E SCHE	EDULE	- PSH 1	- ELEV	ATORS					
		DC	OOR			DC	OR			DETAILS			FRAME		HARDWARE	SIGNAGE			
ROOM NAME	DOOR NO.	WIDTH	HEIGHT	FIRE RATING	TYPE	MATERIAL	FINISH	COLOR	THRESHOLD	HEAD	JAMB	MATERIAL	FINISH	COLOR	GROUP	PULL SIDE PUSH S	SIDE	REMARKS	
ELEVATOR 1	E1-1	0' - 0"	0' - 0"	90 MIN.	ELEV.	SS	MANUF	-	8/A9.50	6/A9.50	7/A9.50	SS	MANUF	-	40		A, i,H,L		
ELEVATOR 1	E1-2	3' - 0"	7' - 0 1/2"	20 MIN.	Α	HM	PA	P-8	8/A9.50	6/A9.50	7/A9.50	HM	PA	P-8	40		A,H,L		
ELEVATOR 1	E1-3	3' - 0"	7' - 0 1/2"	20 MIN.	Α	HM	PA	P-10	8/A9.50	6/A9.50	7/A9.50	HM	PA	P-10	40		A,H,L		
FI FVATOR 1	F1-4	3' - 0"	7' - 0 1/2"	20 MIN	Α	HM	PA	P-6	8/A9.50	6/A9.50	7/A9.50	HM	PA	P-6	40		AHI		

								OIN AIN	D HARD			OLL - I		OIAII				
		DC	OOR			DOC	OR .			DETAILS			FRAME		HARDWARE	SIGN	IAGE	
ROOM NAME	DOOR NO.	WIDTH	HEIGHT	FIRE RATING	TYPE	MATERIAL	FINISH	COLOR	THRESHOLD	HEAD	JAMB	MATERIAL	FINISH	COLOR	GROUP	PULL SIDE	PUSH SIDE	REMARKS
STAIR 1	S1-1.1	3' - 0"	6' - 8"	90 MIN.	A	НМ	PA	P-6	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-6	22	XSS	SID, EES, ARS, RXS-1	
STAIR 1	S1-1.2	3' - 0"	7' - 0"	NR	A	HM-G	PA	MATCH EXT/P-6	30/A8.50	26/A8.50	27/A8.50	HM-G	PA	MATCH EXT/P-6	05	SID	RXS-1, XSS A,B,L,R,E	
STAIR 1	S1-2	3' - 0"	6' - 8"	90 MIN.	Α	HM	PA	P-8	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-8	22	XSS	SID, EES A,B,L	
STAIR 1	S1-3	3' - 0"	6' - 8"	90 MIN.	Α	HM	PA	P-10	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-10	22	XSS	SID, EES A,B,L	
STAIR 1	S1-4	3' - 0"	6' - 8"	90 MIN.	Α	HM	PA	P-6	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-6	22	XSS	SID, EES A,B,L	
STAIR 2	S2-1.1	3' - 0"	6' - 8"	90 MIN.	A	НМ	PA	P-6	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-6	22	XSS	SID, EES, A,B,L ARS, RXS-1	
STAIR 2	S2-1.2	3' - 0"	7' - 0"	NR	A	HM-G	PA	MATCH EXT/P-6	30/A8.50	26/A8.50	27/A8.50	HM-G	PA	MATCH EXT/P-6	06	SID	RXS-1, XSS A,B,L,R,E	
STAIR 2	S2-2	3' - 0"	6' - 8"	90 MIN.	Α	HM	PA	P-8	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-8	22	XSS	SID, EES A,B,L	
STAIR 2	S2-3	3' - 0"	6' - 8"	90 MIN.	Α	HM	PA	P-10	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-10	22	XSS	SID, EES A,B,L	
STAIR 2	S2-4	3' - 0"	6' - 8"	90 MIN.	Α	HM	PA	P-6	19/A9.50	26/A9.50	27/A9.50	HM	PA	P-6	22	XSS	SID, EES A,B.L	
STAIR 2	S2-R	3' - 0"	6' - 8"	90 MIN.	Α	HM-G	PA	P-2	2/A8.50	26/A8.50	27/A8.50	HM-G	PA	P-2	13	XSS	A,B,L,R,E	

							DC	OR AN	ID HAR	DWAR	E SCHE	DULE -	PSH 1 -	UNITS	1. ALL DOOR	S AND FRAMES Y DOOR AND F	IN THE UNITS F	PAINT COLOR	P-1 AT CORRIDOR SIDE, SEE FINISH FLOOR PLANS, P-1 INSIDE OF UNIT.
		DO	OR		DOOR			DOOR			DETAILS			FRAME		HARDWARE	SIGN	NAGE	
ROOM NAME	DOOR NO.	WIDTH	HEIGHT	TYPE	GLAZING	FIRE RATING	MATERIAL	FINISH	COLOR	THRESHOLD) HEAD	JAMB	MATERIAL	FINISH	COLOR	GROUP	PULL SIDE	PUSH SIDE	REMARKS
UNIT ENTRY	U1	3' - 0"	6' - 8"	Α		20 MIN.	SC WD	PA		4/A9.50	9/A9.50	9/A9.50	HM	PA		A		UIS	A,C,E,P,L,D, DOOR VIEWER
BATHROOM	U2	3' - 0"	6' - 8"	Α		-	HC WD	PA		19/A9.50	16/A9.50	16/A9.50	WD	PA		С			
BEDROOM	U3	3' - 0"	6' - 8"	Α		-	HC WD	PA		19/A9.50	16/A9.50	16/A9.50	WD	PA		С			
CLOSET	U4	4' - 6"	6' - 8"	F		-	HC WD	PA		3/A9.50	1/A9.50	2/A9.50	-	-		D			
CLOSET	U5.1	6' - 0"	6' - 8"	F		-	HC WD	PA		3/A9.50	1/A9.50	2/A9.50	-	-		D			
CLOSET	U6.1	7' - 6"	6' - 8"	F		-	HC WD	PA		3/A9.50	1/A9.50	2/A9.50	-	-		D			
CLOSET	U7	8' - 0"	6' - 8"	F		-	HC WD	PA		3/A9.50	1/A9.50	2/A9.50	-	-		D			
CLOSET	U9	3' - 6"	6' - 8"	G		-	HC WD	PA		3/A9.50	1/A9.50	2/A9.50	-	-		Е			

LINIT DOOD & EDAME DAINT COLOD NOTES



DOOR SCHEDULE ABBREVIATIONS

AL= ALUMINUM DOOR / FRAME HM = HOLLOW METAL DOOR / FRAME HM-G = GALVANIZED HOLLOW METAL DOOR

HM-G = GALVANIZED HOLLOW METAL DOOR / FRAME STL = STEEL DOOR / FRAME STL-G = GALVANIZED STEEL DOOR/FRAME SC WD = SOLID CORE WOOD

HC WD = HOLLOW CORE WOOD

SS = STAINLESS STEEL

AN-CL = ALUMINUM ANODIZED FINISH, CLEAR

AN-DB = ALUMINUM ANODIZED FINISH, DARK BRONZE

ST= STAIN GRADE MATERIAL WITH STAIN FINISH

PA = PAINT GRADE MATERIAL WITH PAINT FINISH

MFR = MANUFACTURER / FACTORY FINISH
SA = SATIN SHEEN
SG = SEMLGLOSS SHEEN

SG = SEMI-GLOSS SHEEN
= SEE GLAZING SCHEDULE
MA = MATCH ADJACENT WALL COLOR
NR = NON-RATED

- = NOT APPLICABLE
EMHO = ELECTRO-MAGNETIC HOLD OPEN, TIED TO FIRE ALARM SYSTEM
PVDF = FLUOROPOLYMER 70% PVDF 2-COAT

GENERAL NOTES- DOOR SCHEDULE

1. PROVIDE ROOM IDENTIFICATION SIGNAGE, UNIT ADDRESS SIGNAGE, AND CODE-REQUIRED EGRESS AND WAYFINDING SIGNAGE TYPICAL AT ALL DOORS, SEE A10.50 AND A10.51 FOR ADDITIONAL INFO

2. ALL EXIT DOORS SHALL OPEN FROM THE INSIDE WITHOUT A KEY OR SPECIAL KNOWLEDGE

3. THE MAXIMUM OPERATING FORCE OF DOORS SHALL NOT EXCEED 5.0 LB FOR EXTERIOR DOOR AND 5LB FOR INTERIOR DOORS, SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THESE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, THE MAX. EFFORT TO OPERATE THE DOOR MAY BE INCREASED TO THE MINIMUM ALLOWABLE BY THE APPROPRIATE ENFORCEMENT AGENCY, NOT TO EXCEED 15LB

4. DOOR LOCKING AND LATCHING HARDWARE INCLUDING SEPARATE BOLTS OR KEYHOLES SHALL BE LOCATED AT 36" A.F.F. AND SHALL NOT REQUIRE GRASPING OR TWISTING OF THE WRIST TO OPERATE

5. MAXIMUM THRESHOLD HEIGHT SHALL BE 1/2". SEE DETAIL ON A9.00 FOR THRESHOLD PROFILE REQUIREMENTS

6. PROVIDE ILLUMINATED EXIT SIGNAGE, S.E.D.

7. ALL EXT. AND WET AREA H.M. DOORS AND FRAMES TO BE GALVANIZED, SEE SPECIFICATIONS

8. PROVIDE COMPRESSION SEALS ALL SIDES AT EXTERIOR DOORS

9. SEE SHEET A8.40 FOR TYPICAL EXTERIOR DOOR DETAILS. SEE SHEET A9.40 FOR TYPICAL INTERIOR DOOR DETAILS

10. PAINTED DOOR, DOOR FRAME AND MANUFACTURER FINISHED PAINTED SURFACES TO BE SEMI-GLOSS FINISH, U.O.N. *COLOR TO MATCH PAINT ACCENT COLOR AT CORRIDOR SIDE. UNIT SIDE TO BE 'P-1'

11. PROVIDE A 10" SMOOTH, UNINTURRUPTED SURFACE AT BASE OF SWINGING DOORS OR GATES (AT PUSH SIDE), EXTENDING THE FULL WIDTH OF DOOR OR GATE.

12. FIRE-RATED DOORS HELD IN THE OPEN POSITION BY ELECTROMAGNETIC HOLD-OPEN DEVICES SHALL BE AUTOMATIC CLOSING UPON ACTIVATION OF THE FIRE ALARM SYSTEM (PER CBC 716.5.9.3)

13. ALL DOORS, EXCEPT BI-PASS AND BI-FOLD CLOSET DOORS, SHALL HAVE A LATCH OR LOCK SET WITH LEVER HARDWARE

14. SMOKE AND DRAFT CONTROL TESTED PER CBC 716.5.3.1 IN ACCORDANCE WITH UL1784 WITHOUT ARTIFICIAL BOTTOM SEAL. DOOR DESIGN COMPLIES WITH CBC SECTION 3002.6, PENDING FIELD VERIFICATION BY FIELD INSPECTOR

15. SEE SPEC. 08 71 00 FOR HARDWARE GROUPS

16. ENTRY UNIT LOCKS SHALL BE PROVIDED WITH A COMBINATION 1/2-INCH (12.7 MM) THROW DEADLATCH WITH A MINIMUM 1-INCH (25.4 MM) THROW DEADBOLT, AND SO CONSTRUCTED THAT BOTH THE DEADLATCH AND DEADBOLT RETRACT SIMULTANEOUSLY BY KNOB OR LEVER.

17. HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERABLE PARTS ON DOORS TO BE LOCATED AT 36" (34" MIN AND 44 " MAX.) ABOVE THE FINISH FLOOR OR GROUND. DOOR HARDWARE SHALL NOT REQUIRE GRASPING OR TWISTING TO OPERATE."

18. DOOR CLOSERS AND GATE CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM

19. REFER TO GLAZING SCHEDULE ON WINDOW SCHEDULE SHEET. PROVIDE FIRE RATING AS INDICATED ON SCHEDULE

DOOR HARDWARE KEY

A. <u>CLOSER</u> - DOOR CLOSERS AND GATE CLOSERS SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE TIME REQUIRED TO MOVE THE DOOR TO A POSITION OF 12 DEGREES FROM THE LATCH IS 5 SECONDS MINIMUM. MOUNTED AT MINIMUM 78" AFF.

B. <u>EXIT DEVICE</u> - ALL EXIT DOORS SHALL OPEN FROM THE INSIDE WITHOUT A KEY OR SPECIAL KNOWLEDGE.

C. <u>KICK PLATE</u> - PROVIDE A 10" SMOOTH, UNINTURRUPTED SURFACE AT BASE OF SWINGING DOORS OR GATES (AT PUSH SIDE), EXTENDING THE FULL WIDTH OF DOOR OR GATE.

D. <u>ENTRY UNIT LOCK</u> - ENTRY UNIT LOCKS SHALL BE PROVIDED WITH A COMBINATION 1/2-INCH (12.7 MM) THROW DEADLATCH WITH A MINIMUM 1-INCH (25.4 MM) THROW DEADBOLT, AND SO CONSTRUCTED THAT BOTH THE DEADLATCH AND DEADBOLT RETRACT SIMULTANEOUSLY BY KNOB OR LEVER.

E. <u>THRESHOLD</u> - MAXIMUM THRESHOLD HEIGHT SHALL BE 1/2". SEE DETAIL ON A9.00 FOR THRESHOLD PROFILE REQUIREMENTS

F. COORDINATOR - CAN BE MOUNTED AT A MINIMUM 80" AFF

G. <u>OVERHEAD STOP</u> - CAN BE MOUNTED AT A MINIMUM 78" AFF

H. <u>EMHO</u> - FIRE-RATED DOORS HELD IN THE OPEN POSITION BY ELECTROMAGNETIC HOLD-OPEN DEVICES SHALL BE AUTOMATIC CLOSING UPON ACTIVATION OF THE FIRE ALARM SYSTEM (PER CBC 716.5.9.3)

I. <u>CARD READER</u> - MUST COMPLY WITH SECTION 11B-308

J. <u>POWER OPERATOR W. ACTUATORS</u> - THERE SHALL BE TWO PUSH PLATES; THE CENTERLINE OF ONE PUSH PLATE SHALL BE 7 INCHES (178 MM) MINIMUM AND 8 INCHES (203 MM) MAXIMUM ABOVE THE FLOOR OR GROUND SURFACE AND THE CENTERLINE OF THE SECOND PUSH PLATE SHALL BE 30 INCHES (762 MM) MINIMUM AND 44 INCHES (1118 MM) MAXIMUM ABOVE THE FLOOR OR GROUND SURFACE. EACH PUSH PLATE SHALL BE A MINIMUM OF 4 INCHES (102 MM) DIAMETER OR A MINIMUM OF 4 INCHES BY 4 INCHES (102 MM BY 102 MM) SQUARE AND SHALL DISPLAY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTION 11B-703.7.

K. <u>CLASSROOM LOCKSET</u> - SHALL BE OPERABLE WITH ONE HAND, AND SHALL NOT REQUIRE GRASPING OR TWISTING OF THE WRIST TO OPERATE

L. <u>SMOKE GASKET</u> -

M. PRIVACY LOCK - SHALL BE OPERABLE WITH ONE HAND, AND SHALL NOT REQUIRE GRASPING OR TWISTING OF THE WRIST TO OPERATE

 ${\tt N.\underline{STOREROOM\,LOCK}\,-\,PROVIDE\,SFMOD\,APPROVED\,MORTISE\,STOREROOM\,LOCK,\,AS\,SPECIFIED.}$

O. <u>WEATHERSEAL</u>

P. <u>ACOUSTIC DOOR THRESHOLD</u> - ZERO 253, PEMKO 234V, OR EQUAL.

Q. <u>INTEGRATED DOOR SYSTEM</u> - W/ FLUSH HARDWARE

R. <u>ALARM</u> -

S. <u>PANIC HARDWARE</u>

North Housing, Block A

PAUL M

PS. I Recent

C-28734

MCELWEE

PSH PHASE 1

500 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO. 19009

DRAWN Author

CHECKED Checker

JOB CAPTAIN ISSUE

△ DATE DESCRIPTION
 2 12/8/21 SD SET
 5 03/22/22 100% DD SET
 6 08/22/22 50% CD SET
 7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE
PSH 1 - DOOR
SCHEDULE AND
DOOR TYPES

SCALE 1/4" = 1'-0"

A 10.16

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LEVEL 4 - TOS (*)

\$F-10

8 PSH 1 - LEVEL 4 SOUTH CORRIDOR

В

PSH 1 - LEVEL 3 SOUTH CORRIDOR

1/4" = 1'-0"

PSH 1 - LEVEL 2 SOUTH CORRIDOR

1/4" = 1'-0"

PAUL M MCELWEE

North Housing, Block A

PSH PHASE 1

500 MOSLEY AVENUE ALAMEDA, CA 94501

DRAWN CHECKED

DESCRIPTION 2 | 12/8/21 | SD SET 5 03/22/22 100% DD SET

6 | 08/22/22 | 50% CD SET 7 | 09/29/22 | PERMIT SUBMITTAL

DRAWING TITLE

PSH 1 - WINDOW, LOUVER, & STOREFRONT SCHEDULE

SCALE 1/4" = 1'-0"

SHALL BE LABELED AS CONFORMING WITH AAMA/ WDMA/ CSA 101/ I.S.2/ A440 OR COMPLY WITH SECTION 1714.5.2

O. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET (0.53 m2). THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES. EMERGENCY ESCAPE AND

RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES (1118 mm)

N. PROVIDE TEMPERED GLAZING WHERE INDICATED IN ACCORDANCE WITH CBC 2406.3.

MEASURED FROM THE FLOOR PER 2019 CBC 1030.

DRAWING TITLE PSH 1 - INTERIOR FINISH SCHEDULE

SCALE

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00 CORRIDOR	VINYL PLANK	-	RT-2, RT-6		PA SG	WB-2, P-3	GYP BD	PA ES	P-3, P-7	GYP BD	PA ES	P-4	TTLIVI	IVIATENIAL	III LIVI	IVIATEIXIAE IVIVIXIX
10 PUMP ROOM	CONCRETE	SEALED	CF-1	RUBBER	-	B-2	GYP BD	PA ES	P-4	GYP BD	PA ES	P-4				
20 MECHANICAL	CONCRETE	SEALED	CF-1	RUBBER	_	B-2	GYP BD	PA ES	P-4	GYP BD	PA ES	P-4				
30 ELECTRICAL	CONCRETE	SEALED	CF-1	RUBBER	_	B-2	GYP BD	PA ES	P-4	GYP BD	PA ES	P-4				
40 LAUNDRY	RESIL SHEET	-	RS-2	RUBBER	_	B-2	GYP BD	PA ES	P-4	GYP BD	PA SG	P-4	COUNTERTOP	SOLID SURFACE	SS-1	
50 TRASH ROOM	EPOXY		EP-1	EPOXY	COVED	EP-1	GYP BD/ FRP	PA SG/	P-3, FRP-1	GYP BD	PA SG	P-4	COUNTERNO	COLID CONTROL		
60 BIKE PARKING	RESIL SHEET	_	RS-2	RUBBER	-	B-2	GYP BD	PA ES	P-4	GYP BD	PA SG	P-4				
70 TRASH	RESIL SHEET	-	RS-2	RS-2	SELF COVE	RS-2	GYP BD/ FRP	PA SG/	P-3, FRP-1	GYP BD	PA SG	P-4				
30 UTILITY	CONCRETE	SEALED	CF-1	RUBBER	-	B-2	GYP BD	PA ES	P-4	GYP BD	PA ES	P-4				
90 RESTROOM	POR TILE	-	FT-3	CER TILE	-	TB-1	CER TILE / GYP BD	- / PA SG	WT-3, P-4	GYP BD	PA SG	P-4				
00 CORRIDOR	VINYL PLANK	-	RT-2, RT-6		PA SG	WB-2, P-3	GYP BD	PA ES	P-3, P-7	GYP BD	PA ES	P-4				
10 LARGE CONF.	VINYL PLANK	_	RT-2	RUBBER	-	B-2	GYP BD / ACOUSTIC WALL PANEL	PA ES/ -	P-4. AWP-1	ACT	-	AC-1			MANUAL ROLLER BLINDS	WS-3
20 LOBBY	POR TILE / WALK OFF	-/-	FT-1,	WD	PA SG	WB-2, P-3	GYP BD / WALL COVERING	PA ES / -	P-3,P-5,	WD / ACT	-/-	WDC-1, AC-1	MAILBOX & RECYCLING CASEWORK	SOLID SURFACE/ PLAM	SS-2/	1100
LOBBI	TORTILE / WALK OF	'	WM-1	115	17.00	VVD 2, 1 0	OH BB / WILL GOVERNING	17(207	P-11	WBTTOT	1	7750 1,770 1	WWW.EBOX & NEO FOEING GNOEWORK	OOLID OOT (I MOL) I LI (IVI	PL-1	
20 SECURITY	VINYL PLANK	-	RT-2	RUBBER	-	B-2	GYP BD	PA ES	P-3	ACT	_	AC-1	RECEPTION DESK COUNTERTOP/WALL	SOLID SURFACE/ PLAM	SS-2/	
							2 =2						FINISH		PL-#	
30 OFFICE	VINYL PLANK	-	RT-2	RUBBER	-	B-2	GYP BD	PA ES	P-4	ACT	-	AC-1			MANUAL ROLLER BLINDS	WS-3
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30 MGMT OFFICE	VINYL PLANK	-	RT-2	RUBBER	-	B-2	GYP BD	PA ES	P-4	ACT	-	AC-1			MANUAL ROLLER BLINDS	WS-3
40 000 40 41 51 77 70 00	1		DT 0	14/5	D4 00	WD 0 D 1	OVD DD		@ D4540	\A/D / A OT !	1	MDO 4 40 0/ 5 4	COUNTEDTODIO A CENTODIO		00.4/0	
40 COMMUNITY ROOM	1 VINYL PLANK	-	RT-3	WD	PA SG	WB-2, P-4	GYP BD	PA EG TYP/ SG KITCHEN	@ P-4, P-10, P-11	WD / ACT/ GYP	- / -	WDC-1, AC-2/ P-4	COUNTERTOP/CASEWORK	SOLID SURFACE/ WD	SS-1/C AB-1	
40 STORAGE	RESIL SHEET	_	RS-2	RUBBER	_	B-2	GYP BD	PA ES	P-4	GYP BD	PA ES	P-4			7.6.1	
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50 MPOE	RESIL SHEET	_	RS-2	RUBBER	_	B-2	GYP BD	PA ES	P-4	GYP BD	PA ES	P-4				
00 CORRIDOR	VINYL PLANK	_	RT-2, RT-6		PA SG	WB-2, P-3	GYP BD	PA ES	P-3, P-7	GYP BD	PA ES	P-4				
10 WAITING ROOM	VINYL PLANK	_	RT-2	RUBBER	-	B-2	GYP BD	PA ES	P-4, P-11	ACT	-	AC-1			MANUAL ROLLER BLINDS	WS-3
20 CONF./ BREAK ROO			RT-2	RUBBER	_	B-2	GYP BD / ACOUSTIC WALL PANEL	PA ES/ -	P-4. AWP-1	ACT		AC-1			MANUAL ROLLER BLINDS	WS-3
RESTROOM	POR TILE	-	FT-3	CER TILE	-	TB-1	CER TILE / GYP BD	-/PASG	WT-3, P-4	GYP BD	PA SG	P-4			WANDAL ROLLER BLINDS	VVO-0
		-	RT-2		-			PA ES	P-4	ACT	PA 3G	AC-1			MANUAL ROLLER BLINDS	WS-3
40 OFFICE - 1	VINYL PLANK	-		RUBBER	-	B-2	GYP BD				-					
OFFICE	VINYL PLANK	-	RT-2	RUBBER	-	B-2	GYP BD	PA ES	P-4	ACT	-	AC-1			MANUAL ROLLER BLINDS	WS-3
STORAGE & COPY HEALTH	VINYL PLANK VINYL PLANK	-	RT-2 RT-2	RUBBER RUBBER	-	B-2 B-2	GYP BD GYP BD	PA ES PA ES	P-4 P-4	ACT ACT	-	AC-1 AC-1	COUNTERTOP/CASEWORK	SOLID SURFACE/ WD	SS-1/C MANUAL ROLLER BLINDS AB-1	WS-3
BREAKOUT ROOM	VINYL PLANK	_	RT-2	RUBBER	_	B-2	GYP BD	PA ES	P-4	ACT	_	AC-1			MANUAL ROLLER BLINDS	WS-3
00 CORRIDOR	VINYL PLANK	_	RT-2, RT-7		PA SG	WB-2, P-3	GYP BD	PA ES	P-3, P-9	GYP BD	PA ES	P-4			WWW. COLETTO ELITO	1100
60 BIKE PARKING	RESIL SHEET	_	RS-2	RUBBER	-	B-2	GYP BD	PA ES	P-4	GYP BD	PA SG	P-4				
70 TRASH	RESIL SHEET	_	RS-2	RS-2	SELF	RS-2	GYP BD/ FRP	PA SG/	P-3, FRP-1	GYP BD	PA SG	P-4				
0 HVAOH	INCOIL OFFICE			110-2	COVE	110-2	OH BB/TM	1700/	1 -0, 1141 -1	OH bb	17.00	1 -4				
30 UTILITY	RESIL SHEET	_	RS-2	RUBBER	_	B-2	GYP BD	PA ES	P-4	GYP BD	PA ES	P-4				
00 CORRIDOR	VINYL PLANK	_	RT-2, RT-7		PA SG	WB-2, P-3	GYP BD	PA ES	P-3, P-9	GYP BD	PA ES	P-4				
00 CORRIDOR	VINYL PLANK	_	RT-2, RT-8		PA SG	•	GYP BD	PA ES	P-3, P-11	GYP BD	PA ES	P-4				
60 BIKE PARKING	RESIL SHEET		RS-2	RUBBER	-	B-2	GYP BD	PA ES	P-4	GYP BD	PA SG	P-4				
70 TRASH	RESIL SHEET		RS-2	RS-2	SELF	RS-2	GYP BD/ FRP	PA SG/	P-3, FRP-1	GYP BD	PA SG	P-4				
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	RESIL SHEET VINYL PLANK	-	RS-2 RT-2 RT-8	RUBBER	- PA QC		CAD BU		D_3 D_11	GYP RD	PA FC	P_//				
0 CORRIDOR	VINYL PLANK	-	RT-2, RT-8	WD		WB-2, P-3	GYP BD	PA ES	P-3, P-11	GYP BD	PA ES	P-4 P-4				
0 CORRIDOR 0 CORRIDOR	VINYL PLANK VINYL PLANK		RT-2, RT-8 RT-2, RT-6	WD WD	PA SG	WB-2, P-3 WB-2, P-3	GYP BD	PA ES PA ES	P-3, P-7	GYP BD	PA ES	P-4				
CORRIDOR CORRIDOR BIKE PARKING	VINYL PLANK VINYL PLANK RESIL SHEET		RT-2, RT-8 RT-2, RT-6 RS-2	WD WD RUBBER	PA SG -	WB-2, P-3 WB-2, P-3 B-2	GYP BD GYP BD	PA ES PA ES PA ES	P-3, P-7 P-4	GYP BD GYP BD	PA ES PA SG	P-4 P-4				
CORRIDOR CORRIDOR BIKE PARKING	VINYL PLANK VINYL PLANK	- - - -	RT-2, RT-8 RT-2, RT-6	WD WD	PA SG - SELF	WB-2, P-3 WB-2, P-3	GYP BD	PA ES PA ES	P-3, P-7	GYP BD	PA ES	P-4				
CORRIDOR CORRIDOR BIKE PARKING TRASH	VINYL PLANK VINYL PLANK RESIL SHEET RESIL SHEET	- - - -	RT-2, RT-8 RT-2, RT-6 RS-2 RS-2	WD WD RUBBER RS-2	PA SG -	WB-2, P-3 WB-2, P-3 B-2 RS-2	GYP BD GYP BD GYP BD/ FRP	PA ES PA ES PA ES PA SG/	P-3, P-7 P-4 P-3, FRP-1	GYP BD GYP BD GYP BD	PA ES PA SG PA SG	P-4 P-4 P-4				
BIKE PARKING TRASH BO ELEV. ROOM	VINYL PLANK VINYL PLANK RESIL SHEET RESIL SHEET RESIL SHEET	- - - - -	RT-2, RT-8 RT-2, RT-6 RS-2 RS-2	WD WD RUBBER RS-2 RUBBER	PA SG - SELF	WB-2, P-3 WB-2, P-3 B-2 RS-2	GYP BD GYP BD GYP BD/ FRP GYP BD	PA ES PA ES PA SG/ PA ES	P-3, P-7 P-4 P-3, FRP-1 P-4	GYP BD GYP BD GYP BD	PA ES PA SG PA SG PA ES	P-4 P-4 P-4				
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CORRIDOR CORRIDOR CORRIDOR CORRIDOR TO BIKE PARKING TRASH CORRIDOR TRASH CORRIDOR TRASH CORRIDOR TRASH CORRIDOR TRASH CORRIDOR TRASH CORRIDOR TRASH TRASH CORRIDOR TRASH	VINYL PLANK VINYL PLANK RESIL SHEET RESIL SHEET RESIL SHEET RESIL SHEET	- - - - - -	RT-2, RT-8 RT-2, RT-6 RS-2 RS-2 RS-2 RS-2	WD WD RUBBER RS-2 RUBBER RUBBER	PA SG - SELF COVE	WB-2, P-3 WB-2, P-3 B-2 RS-2 B-2 B-2	GYP BD GYP BD GYP BD/ FRP GYP BD GYP BD	PA ES PA ES PA SG/ PA ES PA ES PA ES	P-3, P-7 P-4 P-3, FRP-1 P-4 P-4	GYP BD GYP BD GYP BD GYP BD GYP BD	PA ES PA SG PA SG PA ES PA ES	P-4 P-4 P-4 P-4 P-4	COUNTERTOP/CASEWORK	SOLID SURFACE/ WD	SS-1/C AB-1	
CORRIDOR CORRIDOR CORRIDOR CORRIDOR CORRIDOR TRASH CORRIDOR CORRIDOR CORRIDOR CORRIDOR CORRIDOR CORRIDOR	VINYL PLANK VINYL PLANK RESIL SHEET RESIL SHEET RESIL SHEET RESIL SHEET VINYL PLANK VINYL PLANK	- - - - - -	RT-2, RT-8 RT-2, RT-6 RS-2 RS-2 RS-2 RS-2 RT-2, RT-6	WD WD RUBBER RS-2 RUBBER RUBBER WD	PA SG - SELF COVE	WB-2, P-3 WB-2, P-3 B-2 RS-2 B-2 B-2 WB-2, P-3	GYP BD GYP BD GYP BD/ FRP GYP BD GYP BD GYP BD GYP BD	PA ES PA ES PA SG/ PA ES PA ES PA ES PA ES PA ES	P-3, P-7 P-4 P-3, FRP-1 P-4 P-4 P-3, P-7	GYP BD GYP BD GYP BD GYP BD GYP BD	PA ES PA SG PA ES PA ES PA ES PA ES	P-4 P-4 P-4 P-4 P-4	COUNTERTOP/CASEWORK	SOLID SURFACE/ WD		WS-1
CORRIDOR COR	VINYL PLANK VINYL PLANK RESIL SHEET RESIL SHEET RESIL SHEET RESIL SHEET VINYL PLANK VINYL PLANK VINYL PLANK	- - - - - - -	RT-2, RT-8 RT-2, RT-6 RS-2 RS-2 RS-2 RT-2, RT-6 RT-1	WD WD RUBBER RS-2 RUBBER RUBBER WD RUBBER WD RUBBER	PA SG - SELF COVE PA SG -	WB-2, P-3 WB-2, P-3 B-2 RS-2 B-2 B-2 WB-2, P-3 B-1	GYP BD GYP BD GYP BD/ FRP GYP BD GYP BD GYP BD GYP BD GYP BD GYP BD	PA ES PA ES PA SG/ PA ES PA ES PA ES PA ES PA ES PA SG PA SG	P-3, P-7 P-4 P-3, FRP-1 P-4 P-3, P-7 P-1	GYP BD	PA ES PA SG PA ES PA ES PA ES PA SG PA ES PA ES	P-4 P-4 P-4 P-4 P-4 P-4 P-1			AB-1 VERTICAL PVC BLINDS	WS-1
CORRIDOR COR	VINYL PLANK VINYL PLANK RESIL SHEET RESIL SHEET RESIL SHEET RESIL SHEET VINYL PLANK VINYL PLANK	-	RT-2, RT-8 RT-2, RT-6 RS-2 RS-2 RS-2 RS-2 RT-2, RT-6 RT-1	WD WD RUBBER RS-2 RUBBER RUBBER WD RUBBER	PA SG - SELF COVE PA SG -	WB-2, P-3 WB-2, P-3 B-2 RS-2 B-2 B-2 WB-2, P-3 B-1	GYP BD GYP BD GYP BD/ FRP GYP BD GYP BD GYP BD GYP BD GYP BD	PA ES PA ES PA SG/ PA ES PA ES PA ES PA ES PA ES PA SG	P-3, P-7 P-4 P-3, FRP-1 P-4 P-3, P-7 P-1	GYP BD GYP BD GYP BD GYP BD GYP BD GYP BD	PA ES PA SG PA ES PA ES PA ES PA ES PA SG	P-4 P-4 P-4 P-4 P-4 P-1	COUNTERTOP/CASEWORK COUNTERTOP/CASEWORK	SOLID SURFACE/ WD CULTURED MARBLE/ WD	AB-1 VERTICAL PVC BLINDS	WS-1
CORRIDOR COR	VINYL PLANK VINYL PLANK RESIL SHEET RESIL SHEET RESIL SHEET RESIL SHEET VINYL PLANK VINYL PLANK VINYL PLANK	-	RT-2, RT-8 RT-2, RT-6 RS-2 RS-2 RS-2 RT-2, RT-6 RT-1	WD WD RUBBER RS-2 RUBBER RUBBER WD RUBBER WD RUBBER	PA SG - SELF COVE PA SG - PA SG -	WB-2, P-3 WB-2, P-3 B-2 RS-2 B-2 B-2 WB-2, P-3 B-1	GYP BD GYP BD GYP BD/ FRP GYP BD GYP BD GYP BD GYP BD GYP BD GYP BD	PA ES PA ES PA SG/ PA ES PA ES PA ES PA ES PA ES PA SG PA SG	P-3, P-7 P-4 P-3, FRP-1 P-4 P-3, P-7 P-1	GYP BD	PA ES PA SG PA ES PA ES PA ES PA SG PA ES PA ES	P-4 P-4 P-4 P-4 P-4 P-4 P-1			AB-1 VERTICAL PVC BLINDS SS-3/C	WS-1
CORRIDOR CORRIDOR CORRIDOR CORRIDOR CORRIDOR TRASH CORRIDOR CORRIDOR TRASH CORRIDOR TRASH CORRIDOR TRASH CORRIDOR TRASH CORRIDOR TRASH CORRIDOR	VINYL PLANK VINYL PLANK RESIL SHEET RESIL SHEET RESIL SHEET VINYL PLANK VINYL PLANK VINYL PLANK VINYL PLANK RESIL SHEET	-	RT-2, RT-8 RT-2, RT-6 RS-2 RS-2 RS-2 RS-2 RT-2, RT-6 RT-1 RT-1	WD WD RUBBER RS-2 RUBBER RUBBER WD RUBBER WD RUBBER	PA SG - SELF COVE PA SG - PA SG -	WB-2, P-3 WB-2, P-3 B-2 RS-2 B-2 WB-2, P-3 B-1 WB-1, P-1 B-1	GYP BD GYP BD GYP BD/FRP GYP BD	PA ES PA ES PA SG/ PA ES PA ES PA ES PA ES PA ES PA SG PA SG	P-3, P-7 P-4 P-3, FRP-1 P-4 P-4 P-3, P-7 P-1 P-1 P-1	GYP BD	PA ES PA SG PA ES PA ES PA ES PA SG PA SG	P-4 P-4 P-4 P-4 P-4 P-1 P-1 P-1			AB-1 VERTICAL PVC BLINDS SS-3/C	WS-1
CORRIDOR CORRIDOR CORRIDOR CORRIDOR CORRIDOR TRASH CORRIDOR CORRIDOR UTILITY COCRRIDOR UNIT KITCHEN UNIT LIVING ROOM UNIT BATHROOM	VINYL PLANK VINYL PLANK RESIL SHEET RESIL SHEET RESIL SHEET VINYL PLANK VINYL PLANK VINYL PLANK VINYL PLANK RESIL SHEET	-	RT-2, RT-8 RT-2, RT-6 RS-2 RS-2 RS-2 RS-2 RT-2, RT-6 RT-1 RT-1	WD WD RUBBER RS-2 RUBBER RUBBER WD RUBBER WD RUBBER	PA SG - SELF COVE PA SG - PA SG -	WB-2, P-3 WB-2, P-3 B-2 RS-2 B-2 WB-2, P-3 B-1 WB-1, P-1 B-1	GYP BD GYP BD GYP BD/FRP GYP BD	PA ES PA ES PA SG/ PA ES PA ES PA ES PA ES PA SG PA SG PA ES PA SG PA ES PA SG	P-3, P-7 P-4 P-3, FRP-1 P-4 P-3, P-7 P-1 P-1 P-1 P-1 P-1	GYP BD	PA ES PA SG PA ES PA ES PA ES PA ES PA SG PA ES PA SG PA ES PA ES PA ES PA ES PA ES	P-4 P-4 P-4 P-4 P-4 P-1 P-1 P-1	COUNTERTOP/CASEWORK		AB-1 VERTICAL PVC BLINDS SS-3/C	WS-1
CORRIDOR COR	VINYL PLANK VINYL PLANK RESIL SHEET RESIL SHEET RESIL SHEET VINYL PLANK VINYL PLANK VINYL PLANK RESIL SHEET VINYL PLANK	-/-	RT-2, RT-8 RT-2, RT-6 RS-2 RS-2 RS-2 RS-2 RT-2, RT-6 RT-1 RT-1	WD WD RUBBER RS-2 RUBBER RUBBER WD RUBBER WD RUBBER	PA SG - SELF COVE PA SG - PA SG - PA SG	WB-2, P-3 WB-2, P-3 B-2 RS-2 B-2 WB-2, P-3 B-1 WB-1, P-1 B-1	GYP BD	PA ES PA ES PA SG/ PA ES PA ES PA ES PA ES PA SG PA ES PA SG PA ES PA SG PA ES PA SG	P-3, P-7 P-4 P-3, FRP-1 P-4 P-3, P-7 P-1 P-1 P-1 P-1 P-1	GYP BD	PA ES PA SG PA ES PA ES PA ES PA ES PA SG PA ES PA ES PA SG PA ES PA SG	P-4 P-4 P-4 P-4 P-4 P-4 P-1 P-1 P-1 P-1 P-1	COUNTERTOP/CASEWORK OR	CULTURED MARBLE/ WD	AB-1 VERTICAL PVC BLINDS SS-3/C AB-1	
CORRIDOR COR	VINYL PLANK VINYL PLANK RESIL SHEET RESIL SHEET RESIL SHEET VINYL PLANK VINYL PLANK VINYL PLANK VINYL PLANK RESIL SHEET	-/-	RT-2, RT-8 RT-2, RT-6 RS-2 RS-2 RS-2 RS-2 RT-2, RT-6 RT-1 RT-1 RS-1	WD WD RUBBER RS-2 RUBBER RUBBER WD RUBBER WD RUBBER	PA SG - SELF COVE PA SG - PA SG -	WB-2, P-3 WB-2, P-3 B-2 RS-2 B-2 WB-2, P-3 B-1 WB-1, P-1 B-1	GYP BD GYP BD GYP BD/FRP GYP BD	PA ES PA ES PA SG/ PA ES PA ES PA ES PA ES PA SG PA ES PA SG PA ES PA SG PA ES PA SG	P-3, P-7 P-4 P-3, FRP-1 P-4 P-3, P-7 P-1 P-1 P-1 P-1 P-1	GYP BD	PA ES PA SG PA ES PA ES PA ES PA ES PA SG PA ES PA SG PA ES PA ES PA ES PA ES PA ES	P-4 P-4 P-4 P-4 P-4 P-4 P-1 P-1 P-1 P-1 P-1	COUNTERTOP/CASEWORK	CULTURED MARBLE/ WD	AB-1 VERTICAL PVC BLINDS SS-3/C AB-1 MISCELLAN	NEOUS
CORRIDOR COR	VINYL PLANK VINYL PLANK RESIL SHEET RESIL SHEET RESIL SHEET VINYL PLANK VINYL PLANK VINYL PLANK RESIL SHEET VINYL PLANK FESIL SHEET VINYL PLANK	-/- OR	RT-2, RT-8 RT-2, RT-6 RS-2 RS-2 RS-2 RT-2, RT-6 RT-1 RT-1 RS-1	WD WD RUBBER RS-2 RUBBER RUBBER WD RUBBER WD RUBBER WD RUBBER WD	PA SG - SELF COVE PA SG - PA SG - PA SG BASE	WB-2, P-3 WB-2, P-3 B-2 RS-2 B-2 WB-2, P-3 B-1 WB-1, P-1 B-1 WB-1, P-1	GYP BD WAL	PA ES PA ES PA SG/ PA ES PA ES PA ES PA SG	P-3, P-7 P-4 P-3, FRP-1 P-4 P-4 P-3, P-7 P-1 P-1 P-1 COLOR	GYP BD	PA ES PA SG PA ES PA ES PA ES PA ES PA SG PA ES PA SG PA ES PA SG PA ES PA SG	P-4 P-4 P-4 P-4 P-4 P-4 P-1 P-1 P-1 P-1 P-1	COUNTERTOP/CASEWORK OR CABINE	CULTURED MARBLE/ WD	AB-1 VERTICAL PVC BLINDS SS-3/C AB-1 MISCELLAN COLOR	NEOUS COLOR
CORRIDOR COR	VINYL PLANK VINYL PLANK RESIL SHEET RESIL SHEET RESIL SHEET VINYL PLANK VINYL PLANK VINYL PLANK RESIL SHEET VINYL PLANK FESIL SHEET VINYL PLANK RESIL SHEET	-/-	RT-2, RT-8 RT-2, RT-6 RS-2 RS-2 RS-2 RS-2 RT-2, RT-6 RT-1 RT-1 RT-1 RS-1 COLOR MARK	WD WD RUBBER RS-2 RUBBER RUBBER WD RUBBER WD RUBBER	PA SG - SELF COVE PA SG - PA SG - PA SG BASE	WB-2, P-3 WB-2, P-3 B-2 RS-2 B-2 WB-2, P-3 B-1 WB-1, P-1 B-1	GYP BD WAL	PA ES PA ES PA SG/ PA ES PA ES PA ES PA SG	P-3, P-7 P-4 P-3, FRP-1 P-4 P-4 P-3, P-7 P-1 P-1 P-1 COLOR MARK	GYP BD	PA ES PA SG PA ES PA ES PA ES PA ES PA SG PA ES PA ES PA SG PA ES PA SG	P-4 P-4 P-4 P-4 P-4 P-4 P-1 P-1 P-1 P-1 P-1	COUNTERTOP/CASEWORK OR	CULTURED MARBLE/ WD	AB-1 VERTICAL PVC BLINDS SS-3/C AB-1 MISCELLAN	NEOUS
CORRIDOR COR	VINYL PLANK VINYL PLANK RESIL SHEET RESIL SHEET RESIL SHEET VINYL PLANK VINYL PLANK VINYL PLANK RESIL SHEET VINYL PLANK FLO MATERIAL VINYL PLANK	-/- OR	RT-2, RT-8 RT-2, RT-6 RS-2 RS-2 RS-2 RT-2, RT-6 RT-1 RT-1 RT-1 RT-1 RT-1 RT-1 RT-1	WD WD RUBBER RS-2 RUBBER RUBBER WD RUBBER WD RUBBER WD RUBBER WD	PA SG - SELF COVE PA SG - PA SG - PA SG BASE	WB-2, P-3 WB-2, P-3 B-2 RS-2 B-2 WB-2, P-3 B-1 WB-1, P-1 B-1 WB-1, P-1	GYP BD WAL MATERIAL PLASTIC LAMINATE	PA ES PA ES PA SG/ PA ES PA ES PA ES PA SG PA ES PA SG PA ES PA SG PA ES PA SG PA ISS PA	P-3, P-7 P-4 P-3, FRP-1 P-4 P-3, P-7 P-1 P-1 P-1 P-1 COLOR MARK EL-1	GYP BD	PA ES PA SG PA ES PA ES PA ES PA ES PA SG PA ES PA SG PA ES PA SG PA ES PA SG	P-4 P-4 P-4 P-4 P-4 P-4 P-1 P-1 P-1 P-1 P-1	COUNTERTOP/CASEWORK OR CABINE	CULTURED MARBLE/ WD	AB-1 VERTICAL PVC BLINDS SS-3/C AB-1 MISCELLAN COLOR	NEOUS COLOR
CORRIDOR COR	VINYL PLANK VINYL PLANK RESIL SHEET RESIL SHEET RESIL SHEET VINYL PLANK VINYL PLANK VINYL PLANK RESIL SHEET VINYL PLANK FESIL SHEET VINYL PLANK RESIL SHEET	-/- OR	RT-2, RT-8 RT-2, RT-6 RS-2 RS-2 RS-2 RS-2 RT-2, RT-6 RT-1 RT-1 RT-1 RS-1 COLOR MARK	WD WD RUBBER RS-2 RUBBER RUBBER WD RUBBER WD RUBBER WD RUBBER WD	PA SG - SELF COVE PA SG - PA SG - PA SG BASE	WB-2, P-3 WB-2, P-3 B-2 RS-2 B-2 WB-2, P-3 B-1 WB-1, P-1 B-1 WB-1, P-1	GYP BD WAL	PA ES PA ES PA SG/ PA ES PA ES PA ES PA SG	P-3, P-7 P-4 P-3, FRP-1 P-4 P-4 P-3, P-7 P-1 P-1 P-1 COLOR MARK	GYP BD	PA ES PA SG PA ES PA ES PA ES PA ES PA SG PA ES PA SG PA ES PA SG PA ES PA SG	P-4 P-4 P-4 P-4 P-4 P-4 P-1 P-1 P-1 P-1 P-1	COUNTERTOP/CASEWORK OR CABINE	CULTURED MARBLE/ WD	AB-1 VERTICAL PVC BLINDS SS-3/C AB-1 MISCELLAN COLOR	NEOUS COLOR

							INT	ERIOR FIN	NISH SC	HEDUL	E - PSł	1 1 STAIRS						
ROO		FLO	OR		BASE		W	ALL			CEILING		CABINET	ΓS		MISCELLAN	EOUS	
M NO.	ROOM NAME	MATERIAL	COLOF FINISH MARK	I	AL FINISH	COLOR	MATERIAL	FINISH	COLOR MARK	MATERIAL	FINISH	COLOR MARK	ITEM	MATERIAL	COLOR MARK	ITEM	MATERIAL	COLOR REM
S1-1 ST		RESIL SHEET	RB-1	RUBBE		B-3	GYP BD	PA ES	P-4	GYP BD	PA ES	P-4	<u>=</u>			R RAILINGS & HANDRAIL	PA SG	P-2
S1-2 ST	TAIR 1	RESIL SHEET	RB-1	RUBBE	:R -	B-3	GYP BD	PA ES	P-4	GYP BD	PA ES	P-4			STAIF	R RAILINGS & HANDRAIL	PA SG	P-2
S1-3 ST	TAIR 1	RESIL SHEET	RB-1	RUBBE	:R -	B-3	GYP BD	PA ES	P-4	GYP BD	PA ES	P-4			STAIF	R RAILINGS & HANDRAIL	PA SG	P-2
S1-4 ST	TAIR 1	RESIL SHEET	RB-1	RUBBE	:R -	B-3	GYP BD	PA ES	P-4	GYP BD	PA ES	P-4			STAIF	R RAILINGS & HANDRAIL	PA SG	P-2
S2-1 ST	TAIR 2	RESIL SHEET	RB-1	RUBBE	:R -	B-3	GYP BD	PA ES	P-4	GYP BD	PA ES	P-4			STAIF	R RAILINGS & HANDRAIL	PA SG	P-2
S2-2 ST	TAIR 2	RESIL SHEET	RB-1	RUBBE	:R -	B-3	GYP BD	PA ES	P-4	GYP BD	PA ES	P-4			STAIF	R RAILINGS & HANDRAIL	PA SG	P-2
S2-3 ST	TAIR 2	RESIL SHEET	RB-1	RUBBE	:R -	B-3	GYP BD	PA ES	P-4	GYP BD	PA ES	P-4			STAIF	R RAILINGS & HANDRAIL	PA SG	P-2
S2-4 ST	TAIR 2	RESIL SHEET	RB-1	RUBBE	:R -	B-3	GYP BD	PA ES	P-4	GYP BD	PA ES	P-4			STAIF	R RAILINGS & HANDRAIL	PA SG	P-2
S-2-R ST	TAIR 2	RESIL SHEET	RB-1	RUBBE	:R -	B-3	GYP BD	PA ES	P-4	GYP BD	PA ES	P-4			STAIF	R RAILINGS & HANDRAIL	PA SG	P-2

								INT	TERIOR FINIS	SH SCHEDU	JLE - UN	IT							
	FL	.OOR			BASE			WALL			CEILING		(CABINETS		MISCEL	LANEOUS		
			COLOR												COLOR			COLOR	
ROOM NAME	MATERIAL	FINISH	MARK	MATERIAL	FINISH	COLOR	MATERIAL	FINISH	COLOR MARK	MATERIAL	FINISH	COLOR MARK	ITEM	MATERIAL	MARK	ITEM	MATERIAL	MARK	REMARKS
UNIT KITCHEN	VINYL PLANK		RT-1	RUBBER	-	B-1	GYP BD	PA SG	P-1	GYP BD	PA SG	P-1	COUNTERTOP/CASEWORK	SOLID SURFACE/ WD	SS-1/CAB-1				
UNIT LIVING ROOM	VINYL PLANK		RT-1	WD	PA SG	WB-1, P-1	GYP BD	PA ES	P-1	GYP BD	PA ES	P-1				VERTICAL PVC BLINDS		WS-1	
UNIT BATHROOM	RESIL SHEET	-/-	RS-1	RUBBER	-	B-1	GYP BD	PA SG	P-1	GYP BD	PA SG	P-1	COUNTERTOP/CASEWORK	CULTURED MARBLE/	SS-3/CAB-1				
														WD					
UNIT BEDROOM	VINYL PLANK		RT-1	WD	PA SG	WB-1, P-1	GYP BD	PA ES	P-1	GYP BD	PA ES	P-1							

	1			NTERIOR FINI	SH LEGEND		1	1
FINISH TAG 03 CONCF	DESCRIPTION RETE	MANUFACTURER	PRODUCT NAME	COLOR NAME / NO.	SIZE	INSTALLATION	GREEN POINT RATING	NOTES
	SEALED CONCRETE , PLASTICS, AND COMPOSITES INTERIOR FINISHED CARPENTE						L2 Low Emitting; L3 Durable flooring	
PLAM-1	PLASTIC LAMINATE	WILSONART	STANDARD HPL	BRITTANY BLUE D321	0.4/00.11.37.7/400.7		1/4.0	
WB-1	FINGER JOINTED PINE WOOD BASE	EL & EL WOOD PRODUCTS	1 EASED EDGE CRAFTSMAN BASE	PR387FJ-3	3 1/2" H X 7/16" T		K4.2 - yes, fingerjointed; K5.3 No added Formaldehyde	
WB-2 09 FINISH	FINGER JOINTED PINE WOOD BASE	EL & EL WOOD PRODUCTS	CORONADO / #620 BASE PINE PRIMED	PR314FJ-4	4 1/4" H X 9/16" T		K4.2 - yes, fingerjointed; K5.3 No added Formaldehyde	
09 30 00 - FT-1	TILING PORCELAIN FLOOR TILE @	DALTILE	BEEHIVE	TAUPE	HEXAGON 20" X 24"X 3/8"		L2 Low Emitting; L3 Durable flooring	
	LOBBY PSH1						J. J.	
FT-2	PORCELAIN FLOOR TILE @ SEN LOBBY	ATLAS CONCORDE	PATH	SILVER PEARL	30CM X 60CM X 9MM		L2 Low Emitting; L3 Durable flooring	
FT-3	PORCELAIN FLOOR TILE @ RR	DALTILE	ARTICULO	COLUMN GREY AR09	12" X 24"X 5/16"		L2 Low Emitting; L3 Durable flooring	
TB-1	CERAMIC WALL TILE BASE @ RR	DALTILE	COLOR WHEEL CLASSIC COVE BASE	WHITE 0100	3" X 6"			
WT-1	CERAMIC WALL TILE @ PSH2 COMM. RM.	DALTILE	COLOR WHEEL RETRO, CUBE MOSAIC	WATERFALL 0169	2 X 3 X 1/4" (12" X 13" SHEET)			
WT-2	CERAMIC WALL TILE, @ SEN.	DALTILE	COLRO WHEEL CLASSIC	SPA 0148	2 X 3 X 1/4 (10 1/2" X 13"			
WT-3	COMM. RM. CERAMIC WALL TILE &	DALTILE	CHEVRON MOSAIC COLOR WHEEL CLASSIC	WHITE 0100	SHEET) 3" X 6"			
09 51 00 -	BULLNOSE TRIM @ RR ACOUSTIC PANEL CEILINGS							
AC-1	ACOUSTIC PANEL CEILING	ARMSTRONG	ULTIMA 1912	BEVELED TEGULAR	24" X 24" X 3/4"	9/16" SUPRAFINE SUSPENSION		NRC .75, CAC .35, LIGHT
AC-2	ACOUSTIC PANEL CEILING	ARMSTRONG	OPTIMA	WHITE	48" X 48"X 7/8"	9/16" SUPRAFINE SUSPENSION		SQUAR TEGULAR; NRC
09 54 26 L	INEAR WOOD CEILINGS							.93
WDC-1	LINEAR WOOD CEILING	9WOOD	2100 SERIES PANELIZED LINEAR	DOUGLAS FIR	3/4" THICK X 5 1/4" SQUARE EDGE	INSTALL WITH ACOUSTIC BACKING, DIRECT ATTACH TO 15/16" HEAVY DUTY T BAR MAIN RUNNERS		
WDP-1	WOOD WALL PLANKS	9WOOD	2600 SERIES TONGUE AND GROOVE	DOUGLAS FIR	3/4" THICK X 5 1/4" TONGUE AND GROOVE			
RS-1	RESILIENT FLOORING RESILIENT SHEET	TARKETT JOHNSONITE	ACCZENT	83016 TISSE WARM BEIGE	SHEET	GLUE-DOWN. AD ALT FOR SELF COVING BASE DETAIL.	L2 Low Emitting; L3 Durable flooring	
RS-2	RESILIENT SHEET	TARKETT JOHNSONITE	ACCZENT	82022 ZEN GRAY	SHEET	GLUE-DOWN, SELF COVE	L2 Low Emitting; L3 Durable flooring	
RT-1	LVT @ UNITS	INTERFACE	LEVEL SET TEXTURED	A00415 ANTIQUE OAK	25CM X 1M	AT TRASH GLUE DOWN, ASHLAR	L2 Low Emitting; L3 Durable flooring	22 MIL WEAR LAYER,
RT-2	LVT @ OFFICES &	INTERFACE	WOODGRAINS LEVEL SET TEXTURED	A00416 ANTIQUE DARK	25CM X 1M	GLUE-DOWN, ASHLAR	L2 Low Emitting; L3 Durable flooring	ACOUSTIC 22 MIL WEAR LAYER,
RT-3	CORRIDORS LVT @ COMMUNITY ROOMS	INTERFACE	WOODGRAINS LEVEL SET TEXTURED	OAK A00427 HEMLOCK	25CM X 1M	GLUE DOW,	L2 Low Emitting; L3 Durable flooring	ACOUSTIC 22 MIL WEAR LAYER,
RT-6	LVT @ 1ST & 4TH FLR	INTERFACE	WOODGRAINS NATIVE FABRIC	A00804 STRAW	50CM X 50CM	HERRINGBONE GLUE-DOWN	L2 Low Emitting; L3 Durable flooring	ACOUSTIC
	CORRIDOR ACCENT							
RT-7	LVT @ 2ND FLR. CORRIDOR ACCENT	INTERFACE	NATIVE FABRIC	FLAX	50CM X 50CM	GLUE DOWN LVT	L2 Low Emitting; L3 Durable flooring	
RT-8	LVT @ 3RD FLOOR CORRIDOR ACCENT	INTERFACE	NATIVE FABRIC	A00807 BLUEGRASS	50CM X 50CM	GLUE-DOWN	L2 Low Emitting; L3 Durable flooring	
09 65 13 - B-1	RESILIENT BASE & STAIR ACC	ESSORIES ROPPE	PINNACLE RUBBER BASE	191 CAMEL	4"			
			STANDARD TOE		4"			
B-2	RESILIENT BASE @ COMM. KITCH/OFFICES/LAUNDRY/UTI LITIES		PINNACLE RUBBER BASE STANDARD TOE	114 LUNAR DUST				
B-3	RESILIENT BASE @ STAIRS	ROPPE	PINNACLE RUBBER BASE STANDARD TOE	665 HORIZON	4"			
RB-1	RUBBER STAIR & TREADS	ROPPE	RUBBER TREAD WITH INTEGRATED RISER #99 HAMMERED DESIGN, CONTRASTING STRIPE FOR THE VISUALLY	665 HORIZON				
09 67 20 -	RESINOUS FLOOR		IMPAIRED AS DETAILED					
EP-1	EPOXY	KRETUS	COLOR QUARTZ SYSTEM	SALT & PEPPER				
CPT-1	CARPETING WALK-OFF CARPET	INTERFACE	STEP REPEAT	ONYX	24" X 24"		K5.2 CARB definition of No added formaldehyde	
FRP-1	FIBERGLASS REINFORCED PAN FRP	CRANE	GLASBORD	SMOOTH WHITE 85				
09 84 33 S AWP-1	SOUND-ABSORPING WALL PANE ACOUSTIC WALL PANEL	ELS AUTEX	GROOVE	SENADO	48" X 96"			
09 90 00 -	INTERIOR PAINTING		CINOCYL		le Xee			
P-1 P-2	UNITS COMMON AREA DOORS & FRAMES	SHERWIN WILLIAMS (SW) SHERWIN WILLIAMS (SW)		SW7102 WHITE FLOUR SW76325 PALISADE			K2.1 Low-VOC paints and coatings 5g/L K2.1 Low-VOC paints and coatings 5g/L	
P-3 P-4	CORRIDOR WALLS BODY CORRIDOR CEILING, OFFICE WALLS	SHERWIN WILLIAMS (SW) SHERWIN WILLIAMS (SW)		SW9109 NATURAL LINEN SW 7009 PEARLY WHITE			K2.1 Low-VOC paints and coatings 5g/L K2.1 Low-VOC paints and coatings 5g/L	
P-5 P-6	ACCENT PAINT 1ST & 4TH UNIT ENTRY, STAIR, ELEVATOR DOOR & FRAME/ MISC.	SHERWIN WILLIAMS (SW) SHERWIN WILLIAMS (SW)		SW 6488 GRAND CANAL SW6361 AUTUMNAL			K2.1 Low-VOC paints and coatings 5g/L K2.1 Low-VOC paints and coatings 5g/L	
P-7	1ST & 4TH CORRIDOR	SHERWIN WILLIAMS (SW)		SW9012 POLVO DE ORO			K2.1 Low-VOC paints and coatings 5g/L	
P-8	ACCENT & MISC. 2ND FLOOR UNIT ENTRY, STAIR, ELEVATOR DOOR & FRAME/ MISC.	SHERWIN WILLIAMS (SW)		SW6194 BASIL			K2.1 Low-VOC paints and coatings 5g/L	
P-9	2ND FLR. CORRIDOR ACCENT	SHERWIN WILLIAMS (SW)		SW9129 JADE DRAGON			K2.1 Low-VOC paints and coatings 5g/L	
P-10	& MISC. 3RD FLOOR UNIT ENTRY, STAIR, ELEVATOR DOOR & FRAME/ MISC.	SHERWIN WILLIAMS (SW)		SW9059 SILKEN PEACOCK			K2.1 Low-VOC paints and coatings 5g/L	
P-11	3RD FLR CORRIDOR ACCENT & MISC.	SHERWIN WILLIAMS (SW)		SW6520 HONEST BLUE			K2.1 Low-VOC paints and coatings 5g/L	

	ı			INTERIOR FINI	SH LEGEND			
FINISH TAG	DESCRIPTION	MANUFACTURER	PRODUCT NAME	COLOR NAME / NO.	SIZE	INSTALLATION	GREEN POINT RATING	NOTES
0 ACCES		WARTER TO TOTALIN	I NODOUT NAME	OCLOTATOR WILL / 140.	OIZL.	INCIALLATION	JALLINI OINI IVAIINO	INOTEG
	CORNER CHARDS	INDDO	CLEAD CODNED OLIABBO	TDD	1 1/0" V 1 1/0" V 10"	AT CORRIDOR EVENOUS		
CG-1	CORNER GUARDS	INPRO	CLEAR CORNER GUARDS	TBD	1 1/8" X 1 1/8" X 48"	AT CORRIDOR EXPOSED CORNERS		
0 SPECIA	ALTIES							
	DISPLAY CASES AND MARKER I		OONTEN POR A RIV OF RIFO	LIINOED DOOD 0044	ON AL			
)C-1	LOCKING DISPLAY CASE BULLETIN BOARD	CLARIDGE	CONTEMPORARY SERIES	HINGED DOOR 2041	3'X 4'		-	
C-2		CLARIDGE	TRIMLINE PLUS (TL2048-75)	1	48" X 72"		-	
				PORCELAIN TRIM: SATIN ANODIZED				
0 14 00 -	SIGNAGE			711001220				
N-1		BEST SIGN SYSTEMS	LUCENT	BACKPAINT COLOR:			-	
0 28 00 -	SIGNAGE TOILET BATH AND JANITORIAL A	L ACCESSORIES		RAINWASHED SW6211				
	T	GATCO	BLEU - MINIMALIST 34715	POLISHED CHROME			-	
BA-1B	GRAB BAR @ UNITS	MOEN	1 1/4" GRAB BAR-	WHITE	24", 36", 42" SEE		-	
BA-1C	TOWEL BAR @ UNITS	GATCO	CONCEALED SCREW 8700 BLEU - MINIMALIST 34715	STAINLESS STEEL	DRAWINGS 24"		_	
	TOWEL BY IT (G OTTITO	0,1100	BEES WIII WIII KEIST STITTE	POLISHED CHROME	21			
BA-1D	TOILET PAPER DISPENSER @	GATCO	01-201S	POLISHED CHROME			-	
BA-1E	UNITS SHOWER CURTAIN ROD @	GATCO	MODERN MINIMALIST	STAINLESS STEEL	ADJUSTABLE ROD 72"		-	
_	UNITS		CURVED SHOWER ROD	POLISHED CHROME				
A-1F	SHOWER CURTAIN HOOKS	MOEN	SET SHOWER CURTAIN	CHROME	12 PACK EA. SHOWER		_	
a v 11	SHOWER GORLAIN HOURS	INIOLIY	ROLLER RINGS SR2100	OI II COME	12 I NON LA. OHOWLK			
A-1G	MEDECINE CABINET	JENSEN	STYLELINE B772193	POLISHED STAINLESS	16 1/8" X 26 1/8" X 3 7/8"		-	
3A-2	RECESSED-MOUNTED TOILET	BOBRICK	CLASSIC SERIES	STEEL & WHITE SATIN-FINISH STAINLESS	-	-	-	_
J/ (Z	TISSUE, SEAT-COVER	DOBINOR	RECESSED-MOUNTED	STEEL				
	DISPENSER AND WASTE DISPOSAL		TOILET TISSUE, SEATCOVER DISPENSER					
	DIOI COAL		AND WASTE DISPOSAL					
	DECECOED DADED TOWE	DODDION	(B-3091)	CATINI FINIICI I CTAINII FOO				
3A-3	RECESSED PAPER TOWEL DISPENSER AND WASTE	BOBRICK	RECESSED CONVERTIBLE PAPER TOWEL DISPENSER				-	
	RECEPTACLE		/ WASTE RECEPTACLE					
3A-4	HAT AND COAT HOOK	BOBRICK	(B-3944) HAT AND COAT HOOK	SATIN-FINISH STAINLESS			_	
<i>,</i>	77.17.11.25 007.11 11001.	Bobinon	(B-6827)	STEEL				
8A-7	SURFACE MOUNTED SOAP DISPENSER	BOBRICK	SURFACE MOUNTED SOAP DISPENSER (B-4112)	SATIN-FINISH STAINLESS STEEL			-	
3A-8	GRAB BARS	BOBRICK	STRAIGHT GRAB BAR	SATIN-FINISH STAINLESS			-	
			(B-5806)	STEEL	0.48.27.408			
8A-9	MIRROR	BOBRICK	WELDED FRAME MIRROR (B-290)	SATIN-FINISH STAINLESS STEEL	24" X 48"		-	
0 55 00 -	POSTAL SPECIALTIES		,					
/L-1	USPS MAILBOX	FLORENCE	4C RECESSED MOUNT 4CADD-10	ANODIZED ALUMINUM			-	
1L-2	USPS MAILBOX	FLORENCE	4C RECESSED MOUNT	ANODIZED ALUMINUM			-	
			4CADS-04					
1L-3	PARCEL LOCKER	LUXER ONE	MAIN UNIT	TBD			-	
ЛL-4 ЛL-5	PARCEL LOCKER THROUGH THE WALL RENT	LUXER ONE DURABOX	ADD-ON D700 ADJUSTABLE	TBD GREY			-	
•	DROP BOX		THROUGH-WALL DROP	J				
2 FURNIS	SHINGS		BOX					
	VERTICAL LOUVER BLINDS							
VS-1		GRABER	G-85, DURA-VUE ONE	WHITE	3 1/2" PVC VANES			CONTROLS 42" AFF
))/ 10 M	 MANUAL ROLLER WINDOW SHAI	 	TOUCH WAND CONTROL					
<u>2 24 13 -1</u> VS-3	T	DRAPER	CLUTCH OPERATED	PHIFFER SHEERWEAVE				CONTROLS 42" AFF
			FLEXHADE NEXD	SERIES SW2701				
2 32 13 - CAB-1	WOOD VENEER FACED CASEWOOD HDWD VENEER PLYWOOD	ORK GRANDVIEW CABINETS	MAPLE	SLATE	23"D		K5.2 CARB definition of No added	
<i>י</i> ∩ט-	CASEWORK	OLVUIND AIL AA CAUDIINE 19	IVIAI LL	OLATE	20 0		formaldehyde	
IW-1	CABINET PULLS	AMEROCK	BAR PULL	STERLING NICKEL	3 3/4" CENTER TO CENTER	२	-	
łW-2	CABINET PULLS	AMEROCK	BAR PULL	STERLING NICKEL	5 1/16" CENTER TO CENTER		-	
2 36 61 -	UARTZ AGGLOMERATE COUN	TERTOPS		1	V=.11=11			l
S-1	SOLID SURFACE	CAESERSTONE	SUPERNATURAL	5000 LONDON GREY	3CM		K5.2 CARB definition of No added	
SS-2	SOLID SURFACE	WILSONART	COLLECTION SOLID SURFACE	CARRARA EMPORIO	1/2" THICK		formaldehyde K5.2 CARB definition of No added	
.U-L	JOLID GOIN AGE	WILOUIVAINI	SOLID GOIN AGE	9909SS	II		formaldehyde	
S-3	SOLID SURFACE	CULTURED MARBLE		TBD			K5.2 CARB definition of No added	
2 48 13 -	RECESSED ENTRY MAT						formaldehyde	
VM-1		BALCO INC.	FG 1 1/2A	TBD		RECESSED	K1.2, 1 point Building Entryway Health	6'-0" IN DIRECTION C
							Point, 6'-0" long permanent walk off mat at every main entrance	
4 CONVF	LEYING EQUIPMENT						at every main entrance	
		TDACTION DACCENCED EL	EVATORS					
	MACHINE ROOM-LESS ELECTRIC	, IRACTION PASSEINGER EL	EVATORS					



North Housing, Block A

Alameda, CA 94501

JOB NO. Author DRAWN

CHECKED Checker JOB CAPTAIN Approver

ISSUE DATE DESCRIPTION 6 08/22/22 50% CD SET 7 09/29/22 PERMIT SUBMITTAL

DRAWING TITLE PSH 1 - INTERIOR FINISH LEGEND

SCALE



North Housing,

PSH PHASE 1

6 08/22/22 50% CD SET

7 09/29/22 PERMIT SUBMITTAL

Checker

DESCRIPTION

500 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO.

CHECKED

ISSUE

JOB CAPTAIN

Block A

1. ALL SIGNS SHALL BE SENT TO THE LIGHT HOUSE OF THE BLIND FOR REVIEW AND APPROVAL PRIOR TO FABRICATION. 2. SIGNS CONTAINING TACTILE CHARACTERS SHALL BE LOCATED SO THAT A CLEAR FLOOR SPACE OF 18"X18" MIN. CENTERED ON THE TACTILE CHARACTERS AT THE LATCH SIDE OF THE DOOR IS PROVIDED. 3. SEE ALSO SIGNAGE PLANS, DOOR SCHEDULES, SITE PLAN, FLOOR PLANS, ACCESSIBILITY DETAILS AND FINISH SCHEDULES FOR SIGNAGE INFORMATION. 4. ALL SIGNS TO BE 0.25" NON-GLARE ACRYLIC WITH SUB-SURFACE PAINT AND STANDARD EDGES, U.O.N. NO APPLIED CHARACTERS WILL BE ACCEPTED. FONT AND COLOR SELECTION BY ARCHITECT FROM MIDPEN SIGNAGE STANDARDS OPTIONS. 5. FOR TYPICAL MOUNTING U.O.N. SEE DETAIL X/AX.XX

SIGNAGE SCHEDULE

RXS-1

SID
RESTROOM
1430

CONF./ BREAK ROOM 1420

01011710	<u>DE COMEDOLE</u>			
CODE	TYPE	DETAIL	TACTILE	REMARKS
ARS (-L,-R, -N)	ACCESSIBLE ROUTE SIGN	14 /A9.90	NO	COORDINATE IN FIELD
<u>APS</u>	ACCESSIBLE PARKING SIGN	23 /A9.90	NO	SEE CIVIL DWGS
<u>CBI</u>	CALL BOX INSTRUCTION	15 /A9.90	YES	
<u>CGG</u>	CEILING CLEARANCE GUARD	4 /A9.90	NO	
<u>EES</u>	EMERGENCY EVACUATION SIGN	21 /A9.90	NO	
ELS	ELEVATOR LEVEL DESIGNATION SIGN	11 /A9.90	NO	
<u>ISA</u>	INT'L SYMBOL OF ACCESSIBILITY	27 /A9.90	YES	
<u>ICF</u>	IN CASE OF FIRE SIGN	16 /A9.90	YES	
<u>IDS</u>	INTERIOR DIRECTIONAL SIGN	19 /A9.90	NO	
MOS	MAXIMUM OCCUPANCY SIGN	20 /A9.90	NO	REVIEW BY FIRE DEPT
<u>NSS</u>	NO SMOKING SIGN	22 /A9.90	NO	CONFIRM W/LOCAL JURISDICTION
<u>PLZ</u>	PASSENGER LOADING ZONE SIGN	26 /A9.90	NO	
RDS - 1 (2,3)	RESTROOM DOOR SIGN	8 /A9.90	NO	
RIS	ROOM IDENTIFICATION SIGN	13 /A9.90	YES	
RWS - 1 (2,3)	RESTROOM WALL SIGN	5 /A9.90	YES	
RXS - 1 (2-4)	TACTILE ROOM EXIT SIGN	12 /A9.90	YES	
SID	STAIR IDENTIFICATION SIGN	1 /A9.90	YES	
<u>TWS</u>	TWO WAY COMMUNICATION SIGN	10 /A9.90	NO	
<u>UIS</u>	UNIT IDENTIFICATION SIGN	2 /A9.90	NO	
<u>UVS</u>	UNAUTHORIZED VEHICLE	18 /A9.90	NO	SEE CIVIL DWGS
XSS	STAIRWELL LANDING SIGN	17 /A9.90	YES	

1 PSH 1 - LEVEL 1 - SIGNAGE PLAN
3/32" = 1'-0"

TRASH ROOM

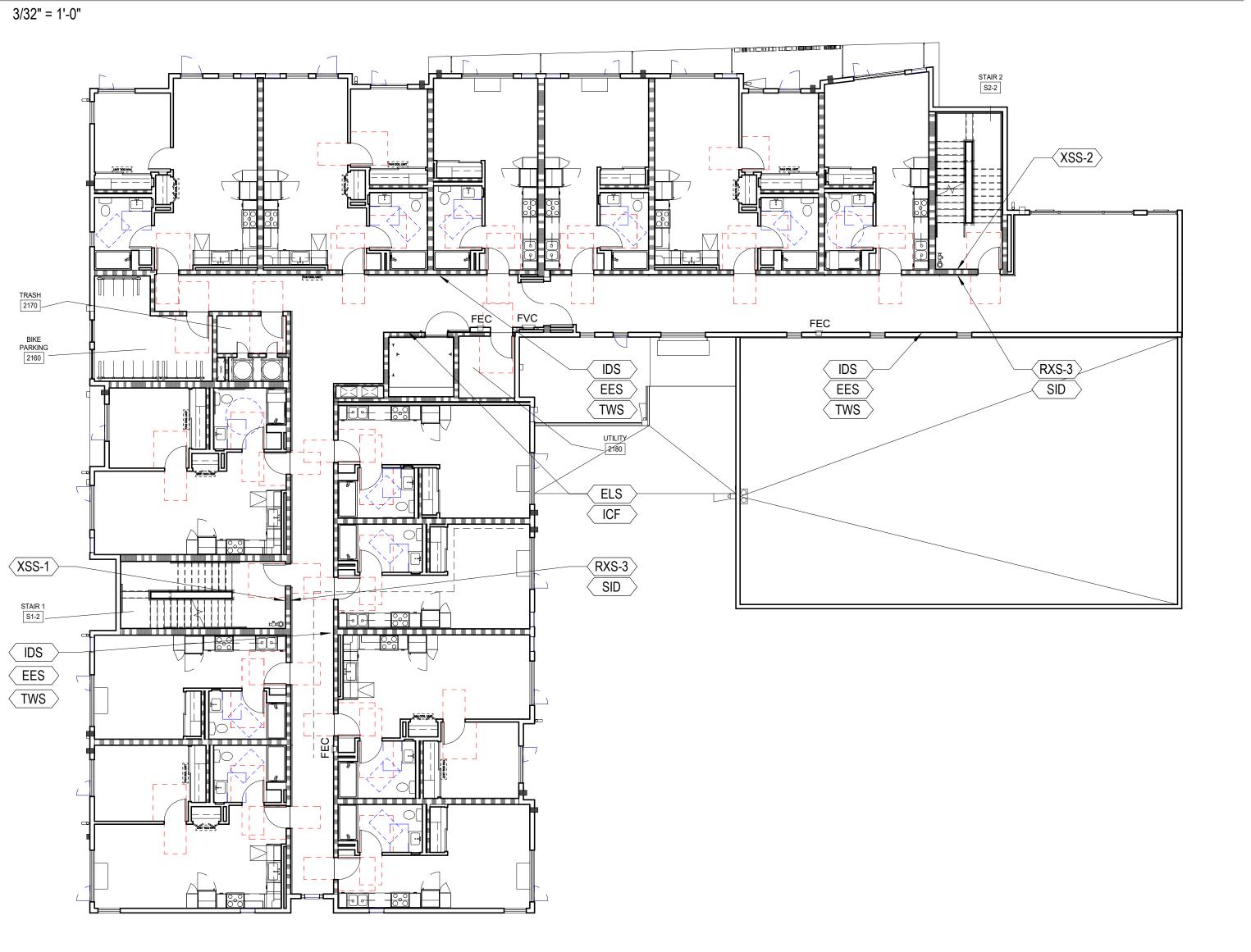
XSS-1

RXS-1

IDS EES TWS

MECHANICAL 1120

STAIR 1



LOBBY
1220
SECURITY
1220A

EES

STORAGE 1240A

ELS ICF

RXS-4 SID

RXS-1 MOS

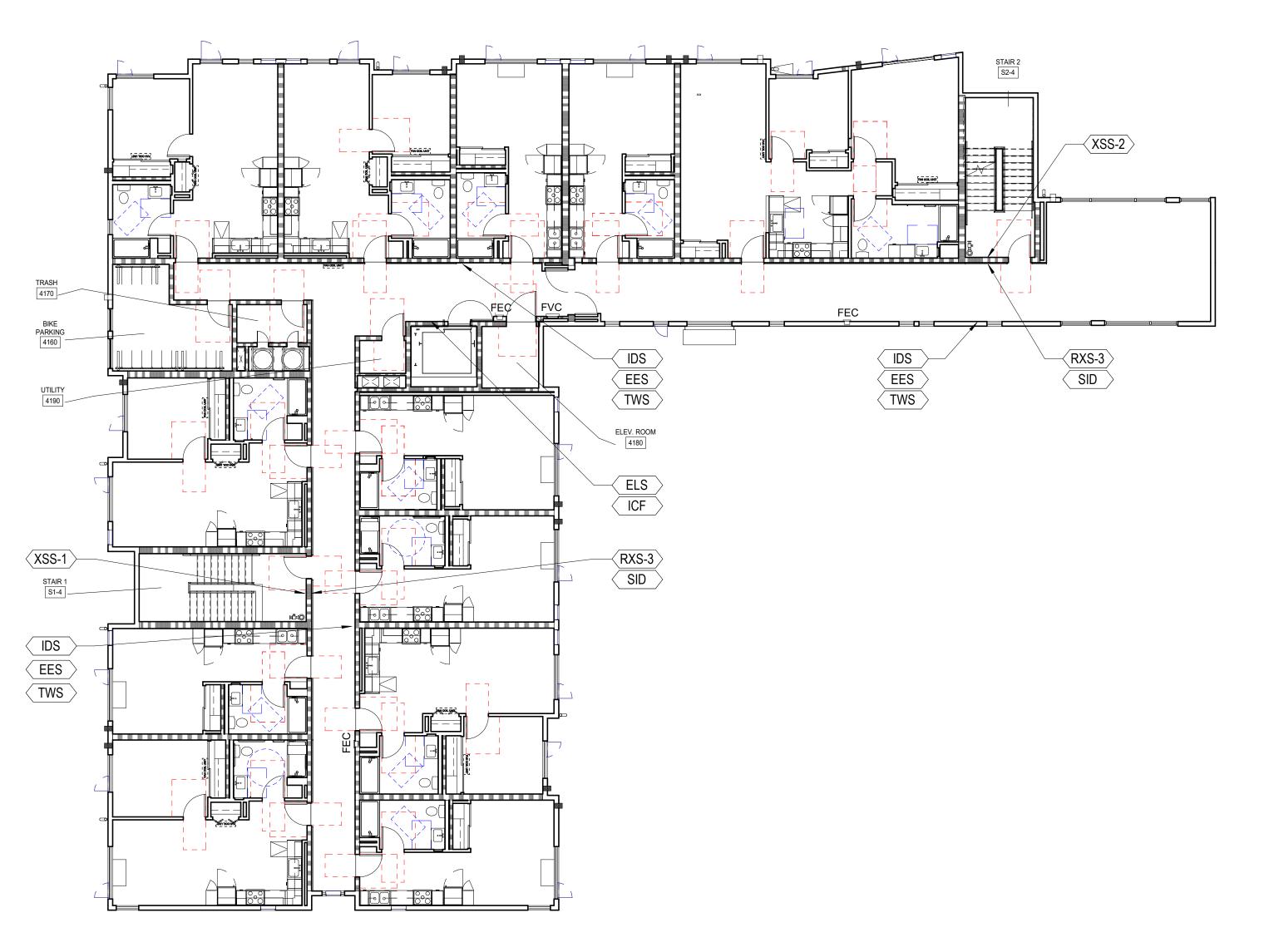
< CBI

NSS

BREAKOUT ROOM 1480

HEALTH

DRAWING TITLE PSH 1 - SIGNAGE PLAN



GENERAL NOTES - SIGNAGE PLAN

1. ALL SIGNS SHALL BE SENT TO THE LIGHT HOUSE OF THE BLIND FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.

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3. SEE ALSO SIGNAGE PLANS, DOOR SCHEDULES, SITE PLAN, FLOOR PLANS, ACCESSIBILITY DETAILS AND FINISH SCHEDULES FOR SIGNAGE INFORMATION.

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5. FOR TYPICAL MOUNTING U.O.N. SEE DETAIL X/AX.XX

SIGNAGE SCHEDULE

CODE	TYPE	DETAIL	TACTILE	REMARKS
<u>ARS (-L,-R, -N)</u>	ACCESSIBLE ROUTE SIGN	14 /A9.90	NO	COORDINATE IN FIELD
<u>APS</u>	ACCESSIBLE PARKING SIGN	23 /A9.90	NO	SEE CIVIL DWGS
<u>CBI</u>	CALL BOX INSTRUCTION	15 /A9.90	YES	
<u>CGG</u>	CEILING CLEARANCE GUARD	4 /A9.90	NO	
<u>EES</u>	EMERGENCY EVACUATION SIGN	21 /A9.90	NO	
<u>ELS</u>	ELEVATOR LEVEL DESIGNATION SIGN	11 /A9.90	NO	
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<u>ICF</u>	IN CASE OF FIRE SIGN	16 /A9.90	YES	
<u>IDS</u>	INTERIOR DIRECTIONAL SIGN	19 /A9.90	NO	
<u>MOS</u>	MAXIMUM OCCUPANCY SIGN	20 /A9.90	NO	REVIEW BY FIRE DEPT
<u>NSS</u>	NO SMOKING SIGN	22 /A9.90	NO	CONFIRM W/LOCAL JURISDICTIO
<u>PLZ</u>	PASSENGER LOADING ZONE SIGN	26 /A9.90	NO	
RDS - 1 (2,3)	RESTROOM DOOR SIGN	8 /A9.90	NO	
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<u>UIS</u>	UNIT IDENTIFICATION SIGN	2 /A9.90	NO	
<u>UVS</u>	UNAUTHORIZED VEHICLE	18 /A9.90	NO	SEE CIVIL DWGS
XSS	STAIRWELL LANDING SIGN	17 /A9.90	YES	

STREET SUITE 240 · OAKL



North Housing, Block A

PSH PHASE 1

500 MOSLEY AVENUE ALAMEDA, CA 94501

JOB NO. 19009

DRAWN Author

CHECKED Checker

JOB CAPTAIN Approver

JOR	CAPTAIN	Approver			
ISSUE					
	DATE	DESCRIPTION			
6	08/22/22	50% CD SET			
7	09/29/22	PERMIT SUBMITTAL			

DRAWING TITLE
PSH 1 - SIGNAGE
PLAN

SCALE As indicated

A10.11

2 PSH 1 - LEVEL 4 - SIGNAGE PLAN
3/32" = 1'-0"